

# Wayzata Planning Commission

## Meeting Agenda

Monday, January 4, 2016

Community Room,  
600 Rice Street East,  
Wayzata, Minnesota

- 7:00 p.m.**
- 1. Call to Order and Roll Call, and Approval of Minutes**
    - a. Approval of the December 7<sup>th</sup> Planning Commission Minutes
    - b. Approval of the December 21<sup>st</sup> Planning Commission Minutes
  
  - 2. Regular Agenda Public Hearing Items:**
    - a. Holdridge Homes – 1405, 1407 and unaddressed parcel on Holdridge Terrace
      - i. PUD Rezoning, Concurrent PUD Concept Plan and General Plan of Development, Preliminary Plat
  
  - 3. Regular Agenda Old Business Items:**
    - a. None
  
  - 4. Other Items:**
    - a. Review of Development Activities
    - b. Election of Chair and Vice-Chair
    - c. Other items
  
  - 5. Adjournment**

NOTES:

<sup>1</sup> Time(s) are estimated and provided for informational purposes only.

<sup>2</sup> Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



1 Commissioner Gruber expressed concerns about the price of the units being proposed, and she  
2 stated that this would not be considered affordable housing.

3  
4 Mr. Whitten stated land prices dictate the cost of housing and the closer to the lake, the more  
5 costly the land and the more costly the housing.

6  
7 Commissioner Gonzalez asked what kind of stormwater plan the developer would provide to  
8 ensure the water that ends up in the lake is clean.

9  
10 Mr. Whitten that they are in the process of working on the Stormwater Maintenance Plan and  
11 have not determined the perfect solutions at this time. This will be finalized prior to the project  
12 moving forward.

13  
14 Commissioner Gonzalez stated the policy question for the Council would be if the City wants to  
15 build luxury condominiums in areas that are zoned mixed use because these facilities may be  
16 empty as demographics change. Ms. Gonzalez stated that when the Comp Plan was updated the  
17 idea had been for mixed-use buildings for this area. The Staff report also specifies that multi-  
18 family condominium buildings are not a permitted or conditional use in the C-1 Zoning District.  
19 The Council had also made a decision on another project that they would not allow buildings to  
20 extend above 35-feet. Ms. Gonzalez clarified the use of a planned unit development (PUD)  
21 should not be used as a tool to get around the zoning ordinance. Ms. Gonzalez stated that she  
22 does not see any value to the City that would justify a PUD with so many variances.

23  
24 Mr. Whitten stated having a mixed-use building presented several legal challenges such as who  
25 owns and/or maintains the various components of the building. The other challenge they face is  
26 that more people are working from home, which has reduced the need for small office spaces.  
27 Mr. Whitten stated that he would count people working from their homes as office use.

28  
29 Chair Vanderheyden stated this particular lot was the same size as his home parcel and he  
30 struggled with applying the mixed-use requirement to this size parcel. It is difficult to hold every  
31 parcel in a commercial district to the same standard when the parcel is this small. There is an  
32 opportunity to apply a reasonable test and what the City would get in exchange is long-term  
33 tenants in this area.

34  
35 Commissioner Iverson stated the Commission needed to be aware of the demographics that these  
36 types of condominiums would draw. Most may have other residence and are older, and she is  
37 concerned that they would not be spending as much as those demographics that are in their  
38 thirties and forties. These people may not be supporting the City's retail. She stated in order to  
39 support the City's retail they needed to get more affordable inner City housing. Affordable  
40 housing and small business can come back to Wayzata if the City starts making different choices.

41  
42 Commissioner Young stated he agreed there was a broader policy question on housing but when  
43 looking at this particular parcel, the land costs, and the proximity to the lake he did not feel this  
44 would be the right parcel for affordable housing. He would rather see more residential housing

1 in this area than additional empty office space. The drainage and hardcover issues need to be  
2 addressed and would be as the project moves forward.

3  
4 Commissioner Gonzalez stated the only thing that would justify a PUD was if the developer  
5 brought forward a good stormwater management plan and if the plan limited the lot coverage.  
6 The City's 35-foot building height requirement has been upheld by the courts, and she would like  
7 to see this project be 35-feet and not require a variance.

8  
9 Mr. Whitten clarified at the time the 35-foot height requirement was established, the building  
10 requirements were different and the new codes require more height. He suggested changing the  
11 maximum height requirement to 37-feet to provide flexibility for builders. They are not trying to  
12 build a taller building than others in the area. The ceiling heights are 9-feet and the garage would  
13 be constructed to accommodate handicap vehicles. They would like to have the ceilings at 9-feet  
14 4-inches in order to accommodate mechanical systems.

15  
16 Mr. Thomson stated the building height is measured to the coping on a flat roofed building, not  
17 the actual deck of the roof.

18  
19 Chair Vanderheyden stated the visual line is the most important line to protect. He asked what  
20 the tallest a building could be based on the City's ordinances under any circumstances.

21  
22 Mr. Thomson stated for this type of building the maximum height would be 35-feet to the top of  
23 the coping.

24  
25 Commissioner Iverson stated she would like to push the developer to be creative and stay within  
26 the boundaries the City has set. All of the buildings are looking the same and this concerns her.

27  
28 Commissioner Gonzalez asked if the garage could be lowered.

29  
30 Mr. Whitten stated the garage could not be lowered due to the slope grade from the street to enter  
31 the garage. The City Code's grade requirement for driveways is 10% but if they could lower the  
32 garage it would make everything easier. They would not want to have a grade more than 10%  
33 because it would be difficult to enter/exit the parking garage. He stated they did have flexibility  
34 with the parapet. He explained they created movement in the building so that it would not  
35 visually appear to be over 35-feet in height at any one place. He explained the units would be  
36 more affordable if they were able to increase the density on the site but they are working within  
37 the City's Shoreland regulations.

38  
39 Commissioner Gonzalez stated the density could be increased with a PUD and she would be  
40 more in favor of the project with a good stormwater management plan, the lot coverage does not  
41 exceed 50%, and a reduction in the height.

42  
43 Commissioner Iverson asked if the developer would consider reducing the square footage of the  
44 units.

45

1 Mr. Whitten stated they would discuss this with the developers.

2  
3 Chair Vanderheyden stated the location of this parcel makes it difficult to keep values affordable  
4 unless the City makes a policy change that mandates certain price points or development.

5  
6 **AGENDA ITEM 3. Other Items:**

7  
8 **a.) Review of Development Activities**

9  
10 Mr. Thomson stated the City's Design Team for the Lakefront Central Project is visiting  
11 Wayzata December 7 and 8. There is not a community meeting during this visit. The next  
12 meetings are scheduled for January 12 and this would include a community meeting. There will  
13 be design concepts presented at this meeting.

14  
15 Mr. Thomson announced that City Manager Nelson has accepted a position with another City,  
16 and that there will be a going away reception on December 10.

17  
18 Mr. Thomson stated that the City Council would be reviewing Council-requested changes to the  
19 proposed new Telecommunications Ordinance at its next meeting.

20  
21 Commissioner Gonzalez stated the City Council reviewed the 1120 Wayzata Boulevard medical  
22 office building project at their last meeting. The issues they discussed were why the building was  
23 closer to the sidewalk than the other buildings. The Mayor did explain that the City had decided  
24 they did not want parking in front of buildings, and the City had changed the design standards.  
25 The City Council also discussed the awning versus canopies, but the City Council did approve  
26 the metal awnings and the project on a 3-2 vote.

27  
28 Mr. Thomson stated the December 21 Planning Commission agenda is scheduled to include  
29 public hearings for a two (2) lot subdivision on Bushaway Road and a fence height variance  
30 request on Stonecrest, for a pool. The first meeting in January would include two (2) new  
31 Commissioners, election of a new chair and vice chair, and would be preceded by a workshop for  
32 training and orientation.

33  
34 **b.) Other Items**

35  
36 Mr. Thomson stated he would be attending the Heritage Preservation Board meeting and would  
37 provide the Commission with an update.

38  
39 **AGENDA ITEM 4. Adjournment.**

40  
41 There being no further business, Commissioner Young made a motion, seconded by  
42 Commissioner Iverson, to adjourn the meeting. The motion passed unanimously.

43  
44 The meeting was adjourned at 8:03 p.m.

45

1 Respectfully submitted,  
2  
3 Tina Borg  
4 *TimeSaver Off Site Secretarial, Inc.*

DRAFT



1 Mr. Thomson explained in this situation the house faces a private driveway and this is not  
2 technically considered a front yard. The only street frontage the subject property has is  
3 Bushaway Road, which is considered the front yard. The City Code definition of front yard is not  
4 based on the orientation of the house.

5  
6 Commissioner Gonzalez suggested the Planning Commission review the Fence Ordinance at a  
7 future meeting and make clarifications.

8  
9 Chair Vanderheyden opened the public hearing at 7:15 pm.

10  
11 Mr. Tom Hanlin, 322 Bushaway Road, Wayzata, clarified the proposed fence would be located  
12 on the east side of the line of spruce trees located in this area. He explained to the residents in  
13 this neighborhood the frontage on the private road or driveway is considered the front of the  
14 house.

15  
16 Chair Vanderheyden closed the public hearing at 7:17 pm.

17  
18 Commissioner Gruber asked Mr. Carlson to explain the practical difficulties of the trail and the  
19 security issues.

20  
21 Mr. Bob Carlson, Jyland Homes, 401 Lake Street E, Wayzata, stated the main reason for the  
22 request is because City Code requires a 5-foot fence around a swimming pool. He clarified when  
23 the home and pool were constructed they had not been able to apply for the variance request to  
24 locate the fence in the proposed area due to time constraints.

25  
26 Commissioner Young made a motion, Seconded by Commissioner Gnos to adopt the Planning  
27 Commission Report and Recommendation, as presented by staff, recommending approval of the  
28 application for a Fence Height Variance at 324 Bushaway Road. The motion carried  
29 unanimously.

30  
31  
32 **AGENDA ITEM 3. Regular Agenda Old Business Items:**

33  
34 a.) None.

35  
36  
37 **AGENDA ITEM 4. Other Items:**

38  
39 a.) **Review of Development Activities**

40  
41 Mr. Thomson stated the next meeting would be January 4, starting with a training workshop for  
42 the two (2) new Commissioners who were recently appointed by Council, and whose terms  
43 commence in January 2016. He noted that this evening's meeting is the last meeting for Chair  
44 Vanderheyden and Commissioner Ramy, whose terms expire at the end of the year.

45

1 Commissioner Gruber reported that the City Council had discussed the parking ramp during a  
2 workshop meeting on December 21<sup>st</sup>. The Council had voted 3-2, in favor of a 3-story parking  
3 ramp design but noted that a four-fifths vote was required for the City to issue debt for the  
4 project. The Council instructed staff to continue working on a design and bring that back to the  
5 City for consideration. The City Council had also discussed the Wayzata Country Club Gun  
6 Range because residents are upset about the noise. The Council had expressed its desire for the  
7 Country Club and residents to find a compromise. The City Council discussed the 529 Indian  
8 Mound E condo project proposal, and provided feedback to the Application regarding the  
9 number of variances and related items. The City Council approved a liquor license application  
10 for the Brew Works.

11  
12 Commissioner Iverson stated the City Council had also discussed the Lake Effect and asked for  
13 additional details regarding funding requests.

14  
15  
16 **b.) Other Items**

17  
18 Chair Vanderheyden stated the Walgreens is advertising that they are open until midnight. He  
19 asked if they had been granted an exception for the extended hours.

20  
21 Mr. Thomson stated Walgreens had not received approval of any changes to the hours of  
22 permitted operation that are set forth in the original PUD approvals. He stated that is looking  
23 into the hours of actual operation, and will ensure they comply with the standard for the PUD.  
24 He stated they are also working on getting the historical pictures placed in the windows along  
25 Wayzata Blvd E that was included as a condition of the City Council approval.

26  
27 Commissioner Gonzalez stated her neighbor had expressed concerns that the Walgreens does not  
28 seem to be complying with the design standards by having season plantings by the entrance. The  
29 building does not fit in with the others in the City.

30  
31 Commissioner Iverson suggested they also do something to hide the computer cables and other  
32 items from view in the windows.

33  
34 Mr. Thomson stated staff would follow up with Walgreens on the compliance items raised by the  
35 Commissioners.

36  
37 **AGENDA ITEM 4. Adjournment.**

38  
39 There being no further business, Commissioner Ramy made a motion, seconded by  
40 Commissioner Young, to adjourn the meeting. The motion passed unanimously.

41  
42 The meeting was adjourned at 7:31 p.m.

43  
44 Respectfully submitted,

45

- 1 Tina Borg
- 2 *TimeSaver Off Site Secretarial, Inc.*

DRAFT



**Planning Report  
Wayzata Planning Commission  
January 4, 2016**

**Project Name:** Holdridge Homes  
**File Number:** PR 2015-17  
**Applicant/Owner:** Lake West Development, LLC  
**Addresses of Request:** 1405 & 1407 Holdridge Terr, and unaddressed parcel  
**Property ID #s:** 04-117-22-32-0034; 04-117-22-32-0035; 04-117-22-32-0036  
**Prepared by:** Jeff Thomson, Director of Planning and Building  
**Planning Commission Review:** January 4, 2016  
**City Council Review:** February 2, 2016 (Tentative)  
**“120 Day” Deadline:** February 12, 2016

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## **Section 1. Development Application**

- 1.1. General. The applicant and property owner, Lake West Development, LCC (the “Applicant”) has submitted a Development Application requesting rezoning from R-2/Medium Density Single Family Residential to PUD/Planned Unit Development, Concurrent PUD Concept Plan and General Plan of Development approval, and preliminary plat review (collectively, the “Application”) to subdivide the properties at 1405 & 1407 Holdridge Terrance, and an unaddress parcel on Holdridge Terrace (PID 04-117-22-32-0036) (collectively, the Property), for a seven (7) lot single-family residential development (the “Project”).

The Property has a total area of 2.5 acres, and includes a wetland on the south side of the Property. The upland area of the Property is 1.7 acres in size. The Property is currently undeveloped, except for a City-owned lift station located along Holdridge Terrace.

The Project includes constructing seven (7) new single-family homes. One (1) single-family home would have access onto Holdridge Terrace on the west side of the Property, Lot 1. The other six (6) homes (Lots 2 to 7) would have shared

driveways, and would have driveway access from Holdridge Terrace on the north side.

Along with the Development Application, the following plans are included with the Application and attached to this Report as Attachment A:

- Narrative Letter
- Street Elevations
- Preliminary Plat
- Existing Conditions and Demolition
- Site Plan
- Wetland Plan
- Grading, Drainage, and Erosion Control
- Stormwater Pollution Prevention Plan (SWPP)
- Utilities
- Civil Details
- Tree Preservation

## 1.2 Application Requests.

As part of the submitted Application, the Applicant is requesting approval of the following items:

- A. Rezoning from R-2/Medium Density Single Family Residential District to PUD/Planned Unit Development District (City Code Section 801.33).

Note that the Application includes rezoning of the two easterly parcels, 1407 Holdridge Terrace and the unaddressed parcel. The existing lot at 1405 Holdridge Terrace would retain the current R-2 zoning.

- B. Concurrent PUD Concept Plan and General Plan of Development approval for a seven (7) lot single-family residential development (City Code Section 801.33)
- C. Preliminary Plat Review to subdivide the three (3) existing lots into seven (7) lots (City Code Section 805.14)

## 1.3 Project Location.

The Project is located on the south side of Highway 12 along Holdridge Terrace.

*Map 1: Project Location.*



The property identification numbers and owners for the Property involved in the proposed Application are as follows:

1405 Holdridge Ter	04-117-22-32-0034	Lake West Development, LLC
1407 Holdridge Ter	04-117-22-32-0035	Lake West Development, LLC
Unaddressed Parcel	04-117-22-32-0036	Lake West Development, LLC

1.4 Relevant Property Information

Current zoning:	R-2/Medium Density Single-Family Residential
Comp plan designation:	Low Density Single Family
Total project area:	108,136 square feet or 2.5 acres

1.5 Surrounding Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Holdridge Terrace and	NA	NA

	Highway 12, City of Minnetonka beyond		
East	City of Minnetonka	NA	NA
South	Single-family homes	R-2/Medium Density Single Family Residential	Low Density Single Family
West	Holdridge Terrace and single-family homes beyond	R-2/Medium Density Single Family Residential	Low Density Single Family

### 1.6 Property Background.

In January 2014, the City Council approved a subdivision, with conditions, that included the Property. The subdivision, Fretham 17<sup>th</sup> Addition, divided one larger lot that included the Property and the property at 1409 Holdridge Terrace. The approved subdivision created three (3) single-family residential lots and one (1) outlot that was encumbered by an easement by MnDOT. The Applicant subsequently sold Lot 1 of Fretham 17<sup>th</sup> Addition, which is not included in the current Application. In September 2015, MnDOT conveyed the Outlot easement to the property owner. The preliminary plat from the previous subdivision approval is included as Attachment B.

In July 2015, the City Council reviewed a concept to develop the Property into a ten (10) unit detached townhome project. The plans from the workshop meeting are included as Attachment C.

### 1.7 Public Hearing Notice.

Zoning Ordinance Sections 801.03.2.C, 801.33.5.B.2 and Section 805.14.B require the Planning Commission to hold a public hearing on the Rezoning, PUD Concept and General Plan of Development, and Preliminary Plat applications. The Notice of Public Hearing was published in the *Lakeshore Weekly* on December 22, 2015. A copy of the Notice of Public Hearing was also mailed to all property owners located within 350 feet of the subject Property on December 23, 2015.

## **Section 2. Analysis of Application**

### 2.1 Comprehensive Plan Guidance.

The Property is guided in the City's Comprehensive Plan for Low Density Residential. The Low Density Residential land use category represents the single family detached neighborhoods, with an allowed density range of one (1) to four (4) units per acre or less. The total Property size is 2.5 acres in the size, and the Project would have a gross density of 2.8 units per acre, which is consistent with the Comprehensive Plan land use designation.

## 2.2 Zoning.

The Property is currently zoned R-2/Medium Density Single Family Residential. The Project deviates from the requirements of the R-2 zoning district. The PUD zoning district is an Ordinance that can be used to allow for greater flexibility in development by incorporating design modifications from the strict application of the standard zoning district requirements. The PUD Ordinance allows the City Council to approve deviations from the lot area, width and depth, and setback requirements. It is not the intent of the PUD ordinance to not apply any standards to a development project. Rather, it allows modifications of the strict standards for projects that meet a specific purpose, as outlined in Section 3.2 of this report. In addition, the PUD zoning district establishes general and residential standards for a PUD, which are also outlined below.

The Applicant is requesting a PUD/Planned Unit Development rezoning for the Project to deviate from the strict provisions of the Ordinance related to lot area, lot width, and front and side yard setbacks. The following tables outline the proposed lot and home arrangements for the Project, and include the zoning standards for R-2 lots for comparison purposes.

*Table 1: Proposed Lots*

	Lot area (sq. ft.)	Lot width	Lot depth
R-2 Requirements	15,000 (min.)	100 ft. (min.)	100 ft. (min.)
Lot 1	15,472	101 ft.	151 ft.
Lot 2	14,115	68 ft.	207 ft.
Lot 3	14,115	68 ft.	207 ft.
Lot 4	12,794	53 ft.	206 ft.
Lot 5	16,497	47 ft.	206 ft.
Lot 6	17,835	54 ft.	205 ft.
Lot 7	17,314	75 ft.	205 ft.

\* Note that the Application includes rezoning of the two easterly parcels, 1407 Holdridge Terrace and the unaddressed parcel. The existing lot at 1405 Holdridge Terrace would retain the current R-2 zoning, which is Lot 1 of the proposed Project.

*Table 2: Proposed Homes*

	Front yard setback	Side yard setback	Rear yard setback	Lot coverage	Impervious surface	Height Maximum
R-2 Requirements	25 ft. (min)	10 ft. (min)	20 ft. (min)	20% (max.)	30% (max.)	2 ½ stories or 30 ft.
Lot 1	25 ft. 25 ft.	16 ft.	77 ft.	Not provided	22.5%	Not provided
Lot 2	15 ft.	11 ft.	100+ ft.		21.6%	

		15 ft.			
Lot 3	15 ft.	16 ft. 11 ft.	100+ ft.		21.6%
Lot 4	15 ft.	8 ft. 7 ft.	100+ ft.		20.5%
Lot 5	15 ft.	5 ft. 8 ft.	100+ ft.		12.6%
Lot 6	15 ft.	11 ft 5 ft.	100+ ft.		13.0%
Lot 7	15 ft.	5 ft. 32 ft.	100+ ft.		13.8%

2.3 House Plans

The plans submitted with the Application include a streetscape elevation of the homes on Lots 2 to 7, as viewed along Holdridge Terrace. The Application does not include detailed house plans for each of the lots. So, it is not know the size, exterior materials, or heights of each of the homes. The general plans indicate that each home would be one and half stories with either a walkout or lookout basement on the rear of the home. Each of the homes would have a two car garage, and would have a shared driveway with an adjacent lot.

2.4 Tree Inventory.

The Application materials include a tree inventory of the Property, which shows a total of 232 significant trees on the property having a minimum diameter of 6 inches. The property includes a wide variety of species: Spruce, Ash, Black Walnut, Oak and Box Elder. The tree preservation plan indicates that 63 trees, or 26% of the site's trees, would be removed for construction of the homes, driveways, and associated grading.

2.5 Stormwater Management

The plans submitted with the Application include four (4) small infiltration basins which would be constructed on the back side of the homes. The infiltration basins would capture stormwater runoff from each of the Lots, and provide infiltration to meet the City's stomrwater management requirements. The infiltration basins would outlet to the adjacent wetland on the back of the Property.

2.6 Traffic.

Based on data from the Institute of Transportation Engineers (ITE) *Trip Generation, Ninth Edition*, a single family detached housing unit has approximately 9.5 trips per day. For a seven (7) lot single family development, the average daily trips would be approximately 67 trips.

**Section 3. Applicable Code Provisions for Review**

3.1 Standards for Rezoning Section 801.03.2

Under the City's Zoning Ordinance, the City Council acts on any proposed amendment upon receiving the report and recommendation of the Planning Commission. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

### 3.2 PUD Purpose (Section 801.33.1)

This Section is established to provide comprehensive procedures and standards designed to all greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of this Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.

- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

### 3.3 PUD General Standards (Section 801.33.2.A)

1. In its review of any application under this Section, the City Council shall consider comments on the application of those persons appearing before the Council, the report and recommendations of the Planning Commission, the recommendations of the Design Review Board and any staff report on the application. The Council also shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area and shall evaluate the project's conformance with the overall intent and purpose of this Section. If the Council determines that the proposed project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area and that the project does conform with the overall intent and purpose of this Section, it may approve a PUD permit, although it shall not be required to do so.
2. Ownership. An application for a PUD District or conditional use permit approval must be filed by the land owner or jointly by all land owners of the property included in a project. The application and all submissions must be directed to the development of the property as a unified whole. In the case of multiple ownership, the approved Final Plan shall be binding on all owners.
3. Comprehensive Plan Consistency. The proposed PUD shall be consistent with the City Comprehensive Plan.

4. Sanitary Sewer Plan Consistency. The proposed PUD shall be consistent with the City Comprehensive Sewer Plan and shall not create a discharge which is in excess of the City's assigned regional limitations.
5. Common Open Space. Common private or public open space and facilities at least sufficient to meet the minimum requirements established in the Comprehensive Plan and such complementary structures and improvements as are necessary and appropriate for the benefit and enjoyment of the residents of the PUD shall be provided within the area of the PUD development.
6. Operating and Maintenance Requirements for PUD Common Open Space Facilities. Whenever common private or public open space or service facilities are provided within the PUD, the PUD plan shall contain provisions to assure the continued operation and maintenance of such open space and service facilities to a predetermined reasonable standard. Common private or public open space and service facilities within a PUD may be placed under the ownership of one or more of the following, as approved by the City Council: (a) dedicated to public, where a community-wide use is anticipated and the City Council agrees to accept the dedication; (b) landlord control, where only use by tenants is anticipated; or (c) Property Owners Association, provided all of the conditions of 801.33.2.A.6.c are met
7. Staging of Public and Common Open Space. When a PUD provides for common private or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.
8. Density.
  - a. The maximum allowable density in a PUD District shall be determined by standards negotiated and agreed upon between the applicant and the City. In all cases, the negotiated standards shall be consistent with the development policies as contained in the Wayzata Comprehensive Plan. Whenever any PUD is to be developed in stages, no such stage shall, when averaged with all previously completed stages, have a residential density that exceeds one hundred twenty-five (125) percent of the proposed residential density of the entire PUD.
  - b. There shall be no density variation from the standards applied in an applicable zoning district for PUD conditional use permits.

9. Utilities. In any PUD, all utilities, including telephone, electricity, gas and telecable shall be installed underground.

10. Utility Connections.

a. Water Connections. Where more than one property is served from the same service line, individual unit shut off valves shall be provided as required by the City Engineer.

b. Sewer Connections. Where more than one (1) unit is served by a sanitary sewer lateral which exceeds three hundred (300) feet in length, provision must be made for a manhole to allow adequate cleaning and maintenance of the lateral. All maintenance and cleaning shall be the responsibility of the property owners association or owner.

11. Roadways. All streets shall conform to the design standards contained in the Wayzata Subdivision Regulations unless otherwise approved by the City Council.

12. Landscaping. In any PUD, landscaping shall be provided according to a plan approved by the City Council, which shall include a detailed planting list with sizes and species indicated as part of the Final Plan. In assessing the landscaping plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.

13. Setbacks.

a. The front, rear and side yard restrictions on the periphery of the Planned Unit Development site at a minimum shall be the same as imposed in the underlying districts, if a PUD condition use permit, or the previous zoning district, if a PUD District.

b. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern.

c. No building within the project shall be nearer to another building than one-half (1/2) the sum of the building heights of the two (2) buildings.

d. In PUD Districts that were zoned commercial prior to PUD and exceed 13 acres, the allowable setbacks shall be as negotiated and agreed upon between the applicant and the City.

14. Height.

- a. The maximum building height within a PUD District shall be thirty five (35) feet and three (3) stories, whichever is lesser.
- b. There shall be no deviation from the height standards applied within the applicable zoning districts for PUD conditional use permits.
- c. In PUD Districts that were zoned commercial prior to PUD and exceed 13 acres, the maximum allowable height shall be as negotiated and agreed upon between the applicant and the City.

### 3.4 PUD Residential Area Standards (Section 801.33.3)

- A. Purpose. The purpose of this Section is to establish standards for single family, multiple family, institutional and other residential PUD District and conditional use permit projects, in addition to those standards contained elsewhere in this Ordinance for all PUD projects. All residential PUD projects shall be developed in accordance with the following residential area standards:
1. Minimum Lot Area. There shall be no minimum lot or area size required for a tract of land for which a PUD District project is proposed. There shall be no minimum lot or area size imposed for a PUD conditional project except for standards applicable within the zoning district in which it is utilized.
  2. Minimum Frontage. There shall be no minimum frontage on a public street required for a tract of land for which a PUD project is proposed.
  3. The tract of land for which a PUD project is proposed shall have municipal water and sewer available to it.
  4. It is the City's policy to discourage private roadways within a residential PUD project. Regardless if roads are private or dedicated to the public, they shall be designed to right-of-way widths and constructed to standards imposed by the Wayzata Subdivision Regulations.
  5. For single family residential PUD District projects, the normal standards of either the R-1A, R-1, R-2, or R-3 zoning districts shall apply to each project, excepting usage standards, as determined by the City Council and as provided above in Section 801.33.2, Subd. 3.
  6. For multiple family residential PUD District projects, the normal standards of either the R-4 or R-5 Zoning Districts shall apply to each project, excepting usage standards, as determined by the City Council and as provided above in Section 801.33.2, Subd. 1.

7. In addition to the above standards, the City Council may impose such other standards for a residential PUD project as are reasonable and as the Council deems are necessary to protect and promote the general health, safety and welfare of the community and the surrounding area.

### 3.5 Preliminary Plat Criteria (Section 805.14.E)

The Planning Commission shall consider possible adverse effects of the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.

10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

3.6 Parkland Dedication Fee (Section 805.37)

Section 805.37 of the Subdivision Ordinance requires a parkland dedication of land or fee in lieu for new single family lots at the time of recording of the Final Plat. As the proposed Subdivision creates four (4) new lots, the Applicant would be required to dedicate land or pay a fee in lieu for the four (4) new lots.

3.7 Premature Subdivision (Sections 805.16-18)

The Subdivision Ordinance requires the City Council to deny any preliminary plat of a proposed subdivision deemed premature for development. Section 805.16. The burden is on the applicant to show that the proposed subdivision is not premature. Section 805.18. Under Section 805.17 of the Subdivision Ordinance, a subdivision may be deemed premature should any of the conditions listed in Section 805.17 exist, including inadequate drainage, inadequate water supply, inadequate roads, inadequate waste disposal systems, and inconsistency with the Comprehensive Plan, in ability to provide public improvements, and MEQB policies.

**Section 4. Staff Input.**

City Staff has reviewed the proposed Project. Comments are as follows.

City Engineer

1. Applicant shall obtain all necessary permits for the project and provide copies to the City (MDH, Sewer extension permit, City ROW permit, etc.)
2. New watermain shall be HPDE pipe not DIP (existing watermain in neighborhood is HDPE)
3. Connection to existing watermain will need to be cut in NOT wet tap, as existing watermain is HDPE.
4. Water services shall be HDPE between main and curb stop box.
5. Fernco couplers will not be allowed as a connection to existing sewer main.
6. Development must protect City lift station and transformer during construction.
7. Sidewalk access shall be maintained throughout project

8. Sidewalk and concrete curb shall be repaired/replaced if damaged by construction
9. Underlying zoning is R-2. Application should meet R-2 requirements for hardcover.
10. Fire Marshal should determine if having only one fire hydrant is sufficient.

### **Section 5: Discussion Items**

In evaluating merits of the Application, Staff would offer the following topics for Planning Commission discussion:

- Does the Project meet the purpose of the Planned Unit Development ordinance? The Project varies from the zoning standards in the current zoning district for the Property, R-2/Medium Density Single Family Residential. The Planning Commission should consider and evaluate whether the rezoning to PUD meets the purpose outlined in the Ordinance.

### **Section 6. Action Steps.**

After considering the items outlined in this Report, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the Application for review and adoption at the next Planning Commission meeting.

#### **Attachments:**

Attachment A	Narrative and Plans
Attachment B	Fretham 17 <sup>th</sup> Addition – 2014 Subdivision
Attachment C	2015 Concepts

# LAKE WEST

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## DEVELOPMENT, LLC

Monday, September 28, 2015

**Eric Zweber, AICP**

Interim City Planner

C/O City of Wayzata

600 East Rice Street

Wayzata, MN 55391-1799

(P) 952-404-5300

(E) [ezweber@wsbeng.com](mailto:ezweber@wsbeng.com)

**RE: HOLDRIDGE HOMES: PLANNED UNIT DEVELOPMENT GENERAL PLAN,  
PRELIMINARY AND FINAL PLAT, WETLAND DELINEATION**

1405 & 1407 Holdridge Terrace, Wayzata, MN 55391

99 Address Unassigned, Wayzata, MN 00000

PIDs: 0411722320034, 0411722320035, 0411722320036

Dear Mr. Zweber

Lake West Development is pleased to bring to your attention a planned unit development, preliminary and final plat application for the development of six new single family lots along Holdridge Terrace. We believe that the proposed redevelopment and design of the underutilized site into a single family community that is an extension of the existing neighborhood is consistent with the goals of the City and the intent of the PUD ordinance to allow greater flexibility in the development of neighborhoods, innovation in placement of structures, more efficient use of land, and preservation of desirable natural site characteristics. We respectfully seek staff support and City Council approval of this planned unit development plan, preliminary plat, final plat application, and wetland delineation application.

Acquired in the Fall of 2013 by Lake West Development LLC, we have diligently pursued stabilizing and/or active re-uses for the site while attending to certain restrictive title issues and other development activities. Some unique issues for the site included a MNDOT surplus highway easement, the majority of which has since been transferred to the property owner which allows for the proposed development. Throughout the development process we have been actively engaging with city staff and council members to determine best possible uses for the site. Initial PUD concepts presented to City Council included designs for 10 or 12 new lots in the same space. Feedback from a July 7<sup>th</sup>, 2015 City Council Workshop was that the proposed plan may have been too high of a density and that consideration should be given to a lower density product. Through our continued partnership and work sessions with the award-winning Landform civil engineering firm, we were able to produce a revised plan that now shows just 6 home pads spread across 2.13 acres, in addition to a separate existing home pad.

## Project Genesis

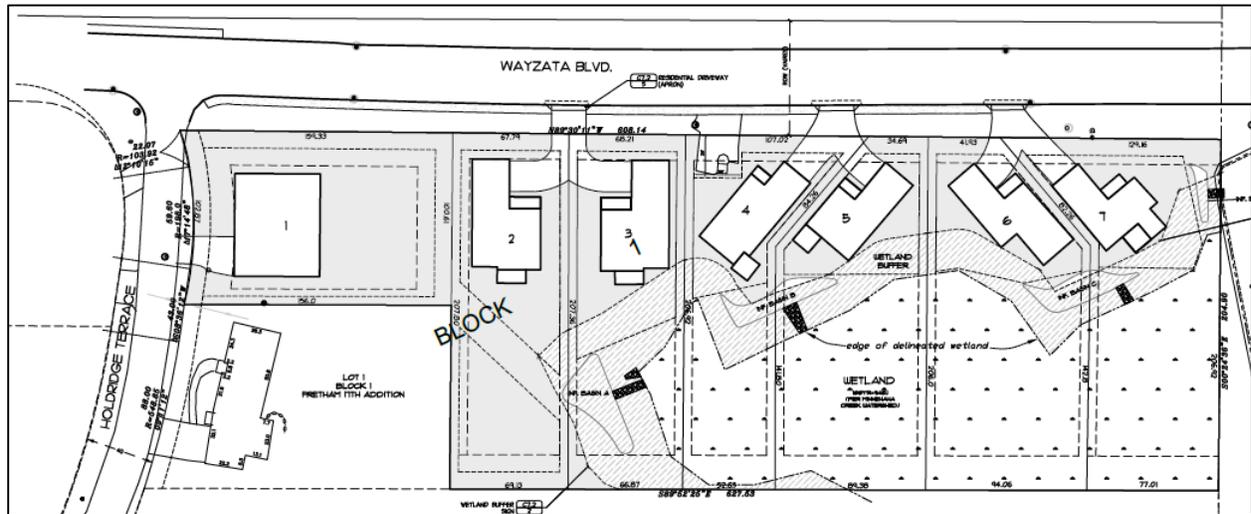
*Image 1 – INITIAL Development Concept – 12 Units*



*Image 2 – REVISED Development Concept – 10 Units*



*Image 3 – FINAL Development Concept – 6 Units plus Existing Lot (Lot 1)*



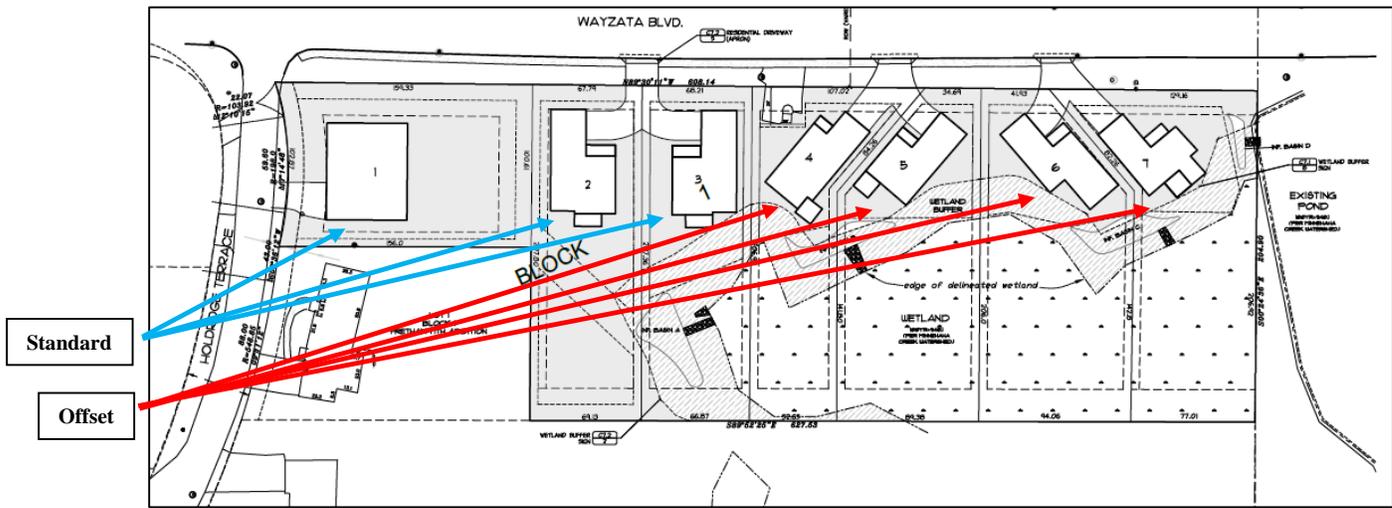
**Neighborhood Character**

The area surrounding the proposed development site provides an established mix of single family home types and layouts that are closely intertwined with the natural surroundings. The Holdridge Homes project intends to match this intent and layout by providing a mix of standard and offset units that also include the unique benefit of overlooking a wetland area, providing privacy and uninhibited southern exposure. Through the use of a PUD, the home building pads are constrained in such a way that allows them to match the scope and scale of houses already built in the neighborhood. Without a PUD, home pads would be much larger and create a situation where out of character homes could be built without as much city influence. In addition, the home pads have been laid out such that they will give the perception of a lower density product to passersby since there isn't a clear break in the home pads 4/5 & 6/7 when viewed from the street.

*Image 4 - Existing Condition – Mix of Standard & Offset Home Pads w/ Close Natural Resources*



Image 5 – Proposed Condition – Mix of Standard & Offset Home Pads w/ Close Natural Resources



### City Goals

Current R-2 Medium Density Single Family Residential Zoning for the site closely aligns with the 2030 Comprehensive Plan’s Land Use Guidelines, which call for Low Density Residential, which is defined as 1-4 units per acre. The total project includes 7 units across 2.48 acres, or 2.82 units/acre, which is in line with the land use guidelines. While the proposed development is just slightly higher density than the existing neighborhood, a buffer of the two home sites located at 1405 & 1409 Holdridge Terrace, with their front setbacks facing to the West and the wetland to the South and East help to ensure that the 6 new home pads don’t encroach or alter the visual characteristics of neighborhood residential homes. In addition, a topographical change helps to visually separate any impact of a slightly higher density product. The project does benefit from existing infrastructure, such as the sidewalks along the north property line, which will help to maintain connectivity with an already established neighborhood.

In addition to meeting the connectivity and density goals of the city, the conservative building pad sizes proposed in this PUD application, in part due to the adjacent wetlands, will help to improve affordability of the end product as opposed to a potentially much larger home that could be built under traditional R-2 Zoning.

### Conservation and Physical Environment

The proposed development site is unique in its proximity to and relationship with adjacent wetland area immediately to the South. The wetland boundary on the site is inconsistent and creates a challenge in meeting existing zoning requirements. However, the wetland boundary to the South is beneficial for the end users in that it allows for certain levels of privacy and improved southern exposure for improved sunlight.

The lots will also share driveways through an easement or maintenance agreement, this helps to minimize impervious surface and improve the linear landscaping options and a boulevard feel along Holdridge Terrace. In addition, this helps to improve screening of the frontage road and highway.

## Planned Unit Development

The proposed plan adheres to the purpose and intent of the City of Wayzata Planned Unit Development ordinance (Section 801.33.1) which is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experience land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan.
- H. A more desirable and creative environment than might be possible through the strict application of zoning and subdivision regulations of the City.

We sincerely appreciate your efforts and feedback on the redevelopment of this property previously and are looking forward to providing a welcome addition to the neighborhood as well as a significant improvement to the appearance and functionality of the property.

Please feel free to contact me directly if you have any questions or require additional information.

Sincerely,



Jon Fletcher  
President, Lake West Development  
14525 Highway 7, Suite 265  
Minnetonka, MN 55345  
O: 952-653-1355  
E: [jon@lwestdev.com](mailto:jon@lwestdev.com)

Cc: Curt Fretham, Lake West Development  
Kayla Mack, Lake West Development

Encl: Development Application  
Address, Legal Description, and Property Identification Number Exhibit  
Development Concept Street Elevations  
Application Fee Check for \$867.00  
    Preliminary Plat \$289  
    Final Plat \$289  
    PUD General Plan Application Fee \$289  
Development Application Escrow Check for \$10,300  
Civil Plans (4x Original Size, 4x 11x17")  
    Preliminary Plat  
    Existing Conditions  
    Site Plan  
    Grading, Drainage, and Erosion Control Plan  
    Utilities Plan  
    Civil Construction Details  
    Tree Preservation Plan  
Survey  
Traffic Count (Existing) Exhibit

# LAKE WEST

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## DEVELOPMENT, LLC

**RE: HOLDRIDGE HOMES: ADDRESSES, LEGAL DESCRIPTIONS, AND PROPERTY IDENTIFICATION NUMBERS**

**1. Parcel 1**

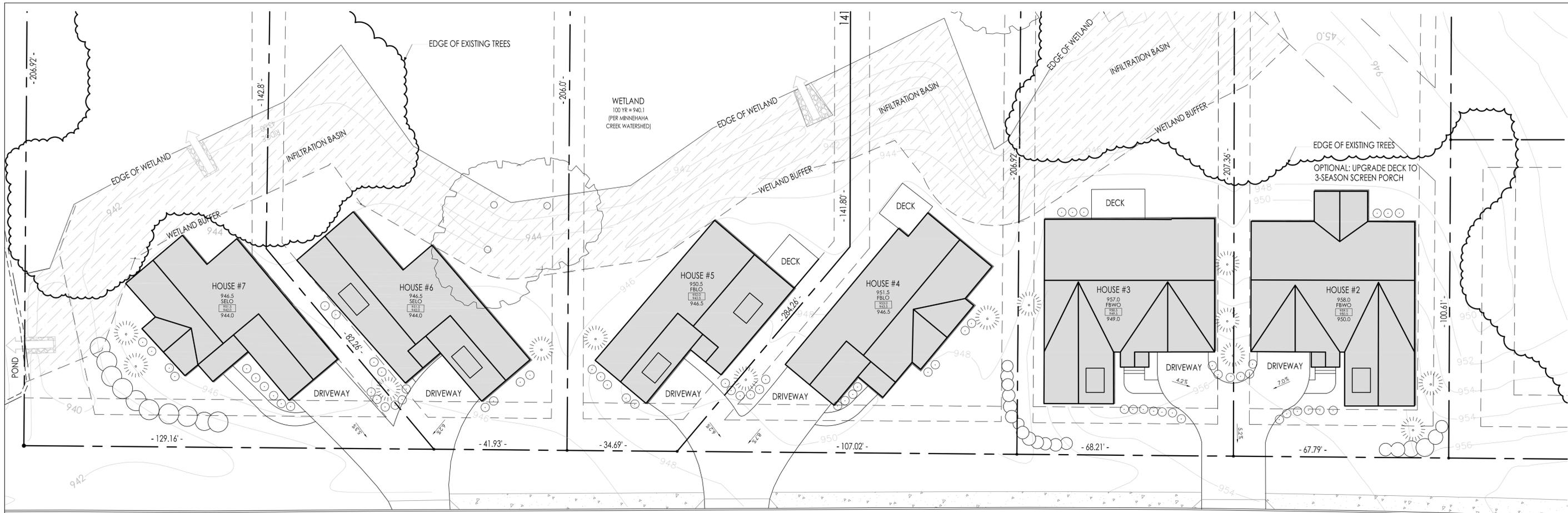
- a. Address: 1405 Holdridge Terrace, Wayzata, MN 55391
- b. Legal Description: Lot 2, Block 1, Fretham 17<sup>th</sup> Addition, Hennepin County, Minnesota
- c. Property Identification Number: 0411722320034

**2. Parcel 2**

- a. Address: 1407 Holdridge Terrace, Wayzata, MN 55391
- b. Legal Description: Lot 3, Block 1, Fretham 17<sup>th</sup> Addition, Hennepin County, Minnesota
- c. Property Identification Number: 0411722320035

**3. Parcel 3**

- a. Address: 99 Address Unassigned, Wayzata, MN 00000
- b. Legal Description: Outlot A, Subject to Highway, Fretham 17<sup>th</sup> Addition, Hennepin County, Minnesota
- c. Property Identification Number: 0411722320036



EXISTING STREET  
WAYZATA BLVD

**REFERENCE PLAN / MASTER PLAN**  
SCALE: 1/16" = 1'-0" when printed on 22" x 34" paper



**VIEW FROM  
WAYZATA BLVD**

**STREET ELEVATION - HOUSES FACING WAYZATA BLVD**  
SCALE: 1/16" = 1'-0" when printed on 22" x 34" paper

**Lake West Development**  
15400 HIGHWAY 7  
Minnetonka, MN 55345  
952-930-3000

**WELLS & COMPANY  
ARCHITECTS**  
612-609-2052  
PO BOX 8889  
Minneapolis, MN 55408  
www.WellsandCompanyArchitects.com

PROJECT TITLE:  
**HOLDRIDGE HOMES**  
A NEW HOUSING DEVELOPMENT  
WAYZATA, MN

SHEET TITLE:  
HOLDRIDGE HOMES  
STREET ELEVATIONS,  
WAYZATA BLVD  
SCALE: 1/16" = 1'-0"

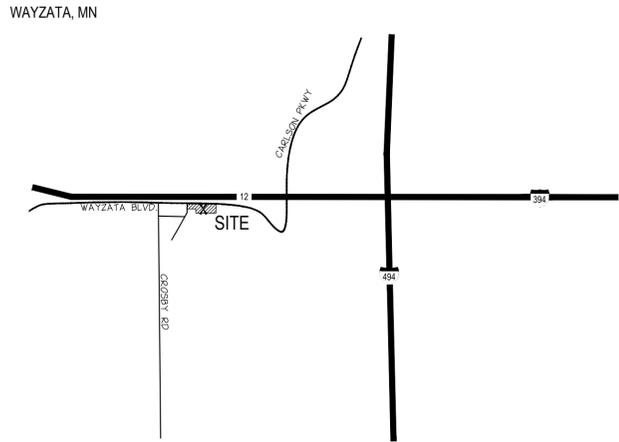
PROJECT #: 02-2015  
DRAWN BY: WELLS  
CHECKED BY: WELLS  
ISSUE: DATE:

I hereby certify that this plan  
specification or report was prepared  
by me or under my direct supervision  
and that I am a duly registered  
architect under the law of  
the state of: Minnesota  
signed: *William M. Wells*  
William M. Wells, Architect  
date: 9-24-2015 reg. no. 49815

SHEET NO:  
**A1**

GENERAL NOTE:  
THIS SITE PLAN AND GRADING SHOWN IS FOR GRAPHIC  
REFERENCE ONLY. TO SHOW THE DEVELOPER'S DESIGN INTENT.  
PLEASE SEE THE CIVIL PLANS AND SITE PLANS PREPARED  
BY LANDFORM FOR EXACT GRADES AND EXACT DIMENSIONS.  
WELLS & COMPANY ARCHITECTS GIVES ALL CREDIT TO  
LANDFORM AND LAKE WEST DEVELOPMENT FOR THE DESIGN  
OF THE PROPOSED HOUSING DEVELOPMENT SHOWN.  
THESE ARE NOT THE FINAL CONSTRUCTION DOCUMENTS.  
- FOR ZONING APPROVAL ONLY -

AREA LOCATION MAP



ABBREVIATIONS

D & @	Angle	L.F.	Lineal Feet
100 YR.	100 Year Flood Elevation	L.P.	Low Point / Liquid Petroleum
A.B.	Anchor Bolt	LB.	Pound
A.D.	Area Drain	LGU	Local Government Unit
A/C	Air Conditioning Unit	LONG.	Longitudinal
ADD.	Addendum	LT.	Light / Lighting
ADDL.	Additional	MAINT.	Maintenance
ADJ.	Adjacent / Adjust	MAS.	Masonry
AHU	Air Handling Unit	MATL.	Material
ALT.	Alternate	MAX.	Maximum
ALUM.	Aluminum	MCH.	Mechanical
ANOD.	Anodized	MD.	Medium
APPROX.	Approximate	MFR.	Manufacturer
ARCH.	Architect / Architectural	MH.	Manhole
AUTO.	Automatic	MNL.	Minimum / Minute
AVG.	Average	MISC.	Miscellaneous
B.C.	Back of Curb	MISS.	Minnesota Department Of Transportation
B/W	Basement Floor Elevation	MOD.	Module / Modular
BFE	Basement Floor Elevation	MUL.	Mulch
BIT	Bituminous (Asphaltic)	N.	North
BLDG	Building	NO. IN CONTRACT	Not In Contract
BSMT.	Basement	NO. OR #	Number
C.F.	Cubic Feet	NOT	Not to Scale
C.F.S.	Cubic Feet Per Second	NTS	Normal Water Elevation
C.G.	Corner Guard	NWL	Normal Water Level
C.J.	Control Joint	O.C.	On Center
C.L.	Centerline	O.D.	Outside Dimension
C.M.U.	Concrete Masonry Unit	O.E.	Overhead Electric
C.O.	Cleanout	OH	Overhead
C.O.E.	U.S. Army Corps Of Engineers	OH.WL	Ordinary High Water Level
C.Y.	Cubic Yards	OPNG.	Opening
CB	Catch Basin	ORIG.	Original
CBM	Catch Basin Manhole	P.C.	Point of Curvature
CEM.	Cement	P.I.	Point of Intersection
CF	Cast Iron Pipe	P.I.V.	Post Indicator Valve
CIP	Corrugated Metal Pipe	P.L.	Property Line
CONC.	Concrete (Portland)	P.O.B.	Point of Beginning
CONN.	Connection	P.S.F.	Pounds Per Square Foot
CONST.	Construction	P.S.I.	Pounds Per Square Inch
CONT.	Continuous	P.T.	Point of Tangency
CONTR.	Contractor	P.V.C.	Point of Vertical Curvature
COP.	Copper	P.V.I.	Point of Vertical Intersection
CU.	Cubic	P.V.T.	Point of Vertical Tangency
D.S.	Down Spout	PE	Polyethylene
DEG.	Degree	PEP.	Pedestal / Pedestrian
DEMO.	Demolition / Demolish	PERF.	Perforated
DEPT.	Department	PREP.	Preparation
DET.	Detail	PROJ.	Project
DIAG.	Diagonal	PROP.	Proposed
DM.	Dimension	PVC	Poly-Vinyl-Chloride (Ppma)
DN	Down	PVMT.	Pavement
DWG.	Drawing	QTY.	Quantity
E.	East	R.	Radius
E.J.	Expansion Joint	RAD.	Radius
E.O.	Emergency Overflow	R.E.	Rim Elevation (Casting)
E.O.S.	Emergency Overflow Swole	R.D.	Roof Drain
E.W.	Each Way	R.E.	Remove Existing
EA.	Each	R.O.	Rough Opening
EL.	Elevation	R.P.	Radius Point
EL.EC.	Electrical	RCP	Reinforced Concrete Pipe
ELEV.	Elevation	R.S.	Rough Slab
EPR.	Emergency	RSD	Roof Storm Drain
ENGR.	Engineer	RE.	Regrading
ENTR.	Entrance	RENF.	Reinforced
EQU.	Equal	REQD	Required
EQUIP.	Equipment	REV.	Revision / Revised
EQUIV.	Equivalent	RGU	Regulatory Government Unit
EXIST.	Existing	ROW OR R/W	Right of Way
F & I	Furnish and Install	S.	South
F.B.O.	Furnished by Others	S.F.	Square Feet
F.C.	Face of Curb	SAN.	Sanitary Sewer
F.D.	Floor Drain	SECT.	Section
F.D.C.	Fire Department Connection	SE	Side Exit
F.V.	Field Verify	SEWO	Side Exit Walk Out
FB	Full Basement	SHT.	Sheet
FBWO	Full Basement Walk Out	SIM.	Seal
FBLO	Full Basement Look Out	SINT.	Sealant
FDNL	Foundation	SPEC.	Specification
FES	Flared End Section	SQ.	Square
FFE	Finished Floor Elevation	SSD	Subsurface drain
FLR.	Floor	STMH	Storm Sewer Manhole
FLR OR ( )	Floor	STD.	Standard
FUT.	Future	STRUCT.	Structural
G.B.	Grade Break	SYM.	Symmetrical
G.C.	General Contractor	T/R	Thickness
GAL.	Gallon	T/W	Top of Wall
GALV.	Galvanized	TEMP.	Temporary
GFE	Garage Floor Elevation	THK.	Thick Thickness
GL.	Glass	T.J.	Tooled Joint
GR.	Grade	TNH	Top Nut Hydrant
H.	Height	TYP.	Typical
H.P.	High Point	UNL.	Unless Noted Otherwise
HDPEP	High Density Polyethylene Pipe	V.B.	Vapor Barrier
HGT.	Height	V.C.	Vertical Curve
HORIZ.	Horizontal	V.I.F.	Verify In Field
HVAC	Heating, Ventilation, Air Conditioning	VER.	Verify
HYD	Hydrant	VERT.	Vertical
ID.	Inside Dimension	VEST.	Vestibule
IE. or IE	Invert Elevation	W.	Width
IN. OR ( )	Inches	W.P.T.	Working Point
INFO.	Information	W.W.F.	Welded Wire Fabric
INSUL.	Insulation	W/O	Without
INV.	Invert Elevation	WO	Walk Out
JT.	Joint	WESTL.	Westland
		WP	Waterproof
		WT.	Weight
		YD.	Yard
		YR.	Year

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY / OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	STORM SEWER LINE		GUARD RAIL
	SANITARY SEWER LINE		CONCRETE RETAINING WALL
	WATER MAIN		MODULAR RETAINING WALL
	OVERHEAD ELECTRIC		FIELDSTONE RETAINING WALL
	UNDERGROUND TELEPHONE		EXIT LOCATION
	UNDERGROUND ELECTRIC		LIGHT STANDARD
	GAS LINE		POWER POLE
	CONCRETE CURB		SLOPE DIRECTION
	FENCING		CATCH BASIN
	RETAINING WALL		MANHOLE
	SET 1/2" X 14" IRON PIPE		BOLLARD
	IRON MONUMENT FOUND		STORM SEWER
	SURVEY DISK (BENCHMARK)		SANITARY SEWER-WASTE
	POWERPOLE		FORCE MAIN
	GUY WIRE		ROOF DRAIN SYSTEM
	GUARD POST		WATERMAIN
	GAS METER		FIRE LINE (IF SEPARATE)
	TRANSFORMER		FIRE DEPT. CONNECTION
	WATER SHUT-OFF VALVE		SOIL SUBDRAIN
	TRAFFIC SIGN		GAS LINE-UNDERGROUND
	FLAG POLE		ELECTRIC-UNDERGROUND
	LIGHT POLE		TELEPHONE-UNDERGROUND
	TREES		UNDERGROUND CABLE/TV
	TREE LINE		LAWN SPRINKLER SLEEVE
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLAT		
	SOL BORING		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SEDIMENT CONTROL FENCE
	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION

LOT 1, BLOCK 3, HOLDRIDGE SECOND ADDITION REARRANGEMENT, HENNINGEN COUNTY, MINNESOTA. TORRENS CERTIFICATE NO. 542759

LOT 2, BLOCK 3, HOLDRIDGE SECOND ADDITION REARRANGEMENT, HENNINGEN COUNTY, MINNESOTA. TORRENS CERTIFICATE NO. 1087573

OWNER

LAKE WEST DEVELOPMENT CO., LLC.  
 15400 HIGHWAY 7  
 MINNETONKA, MN 55345  
 TEL 952-930-3000  
 CONTACT: JON FLETCHER

PROJECT CONTACTS

<b>CIVIL ENGINEER</b> LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 FAX 612-252-9077 CONTACT: REID SCHULZ	<b>SURVEYOR</b> LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 FAX 612-252-9077 CONTACT: ERIC LINDREN
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CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX

SHEETS ISSUED BY ISSUE / REVISION DATE		12/11/15
SHEET NO.	DESCRIPTION	
C0.1	CIVIL & LANDSCAPE TITLE SHEET	X
C0.2	PRELIMINARY PLAT	X
C1.1	EXISTING CONDITIONS	X
C2.1	SITE PLAN	X
C2.2	WETLAND BUFFER PLAN	X
C3.1	GRADING & EROSION CONTROL	X
C3.2	SWPPP NOTES	X
C4.1	UTILITIES	X
C7.1	CIVIL CONSTRUCTION DETAILS	X
C7.2	CIVIL CONSTRUCTION DETAILS	X
L1.1	TREE PRESERVATION PLAN	X
L2.1	LANDSCAPE PLAN	X

SITE / UTILITY CONTACTS

<b>CITY PLANNER</b> CITY OF WAYZATA 600 RICE STREET E WAYZATA, MN 55391	<b>CITY ENGINEER</b> CITY OF WAYZATA 299 WAYZATA BOULEVARD W WAYZATA, MN 55393
<b>BRYAN GADOW</b> TEL: 952-404-5312 FAX:	<b>MKE KELLY</b> TEL: 952-4004-5316 FAX:

DEVELOPER

LAKE WEST DEVELOPMENT CO., LLC.  
 15400 HIGHWAY 7  
 MINNETONKA, MN 55345  
 TEL (952)930-3000

MUNICIPALITY



PROJECT

HOLDRIDGE HOMES  
 WAYZATA, MN

SHEET INDEX

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C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
4 SEPT. 2015	PRELIMINARY PLAT	RHS
11 DEC. 2015	CITY COMMENTS	RHS

PROJECT MANAGER REVIEW

BY	DATE
RHS	DATE 09-04-15

CERTIFICATION

**PRELIMINARY NOT FOR CONSTRUCTION**

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CITY COMMENTS

12-11-2015



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 Minneapolis, MN 55401 Web: landform.net

FILE NAME C001LWD15008.DWG

PROJECT NO. LWD15008

TITLE SHEET

**C0.1**

SHEET NO. 1/13

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# HOLDRIDGE HOMES WAYZATA, MN

SHEET	TITLE
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DATE	ISSUE / REVISION	REVIEW
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30 NOV. 2015	CITY COMMENTS	△ RH-C

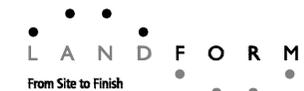
BY	DATE
RTS	09-04-15

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### CITY COMMENTS

11-30-2015



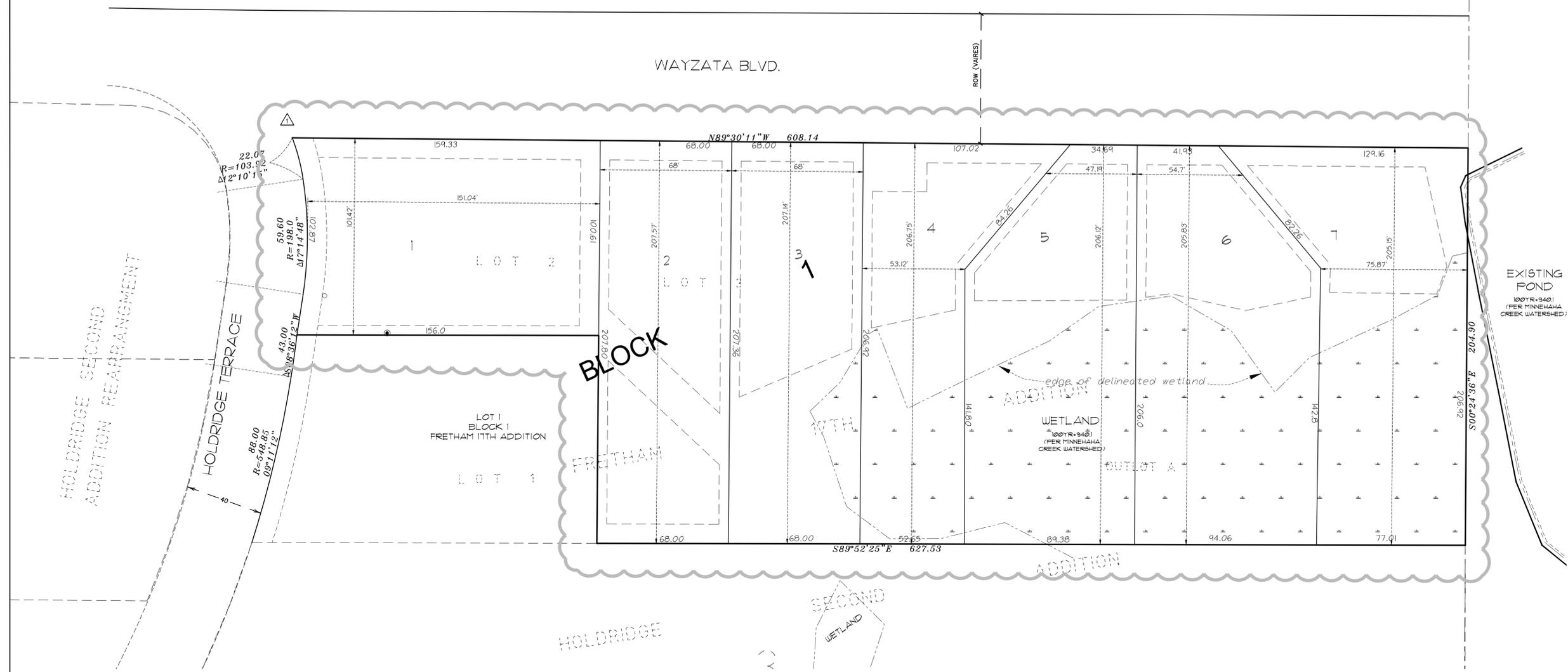
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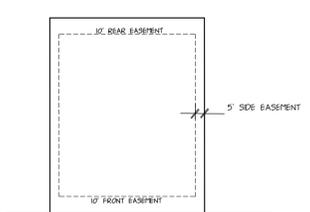
PRELIMINARY PLAT  
**C0.2**  
SHEET NO. 2/13  
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INTERSTATE 394

WAYZATA BLVD.



#### TYPICAL EASEMENTS



#### LEGAL DESCRIPTION

LOT 1, BLOCK 3, HOLDRIDGE SECOND ADDITION REARRANGEMENT, HENNINGEN COUNTY, MINNESOTA, TORRENS CERTIFICATE NO. 542759  
 LOT 2, BLOCK 3, HOLDRIDGE SECOND ADDITION REARRANGEMENT, HENNINGEN COUNTY, MINNESOTA, TORRENS CERTIFICATE NO. 1087573

#### AREA SUMMARY

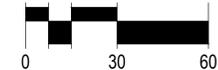
TOTAL GROSS AREA = 2.48 AC  
 • WETLAND AREA = .78 ACRE  
 NET AREA = 1.7  
 TOTAL SINGLE FAMILY LOTS = 7 UNITS  
 GROSS DENSITY = 2.82 UNITS/AC  
 NET DENSITY = 4.1 UNITS/AC



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# HOLDRIDGE HOMES WAYZATA, MN

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C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN

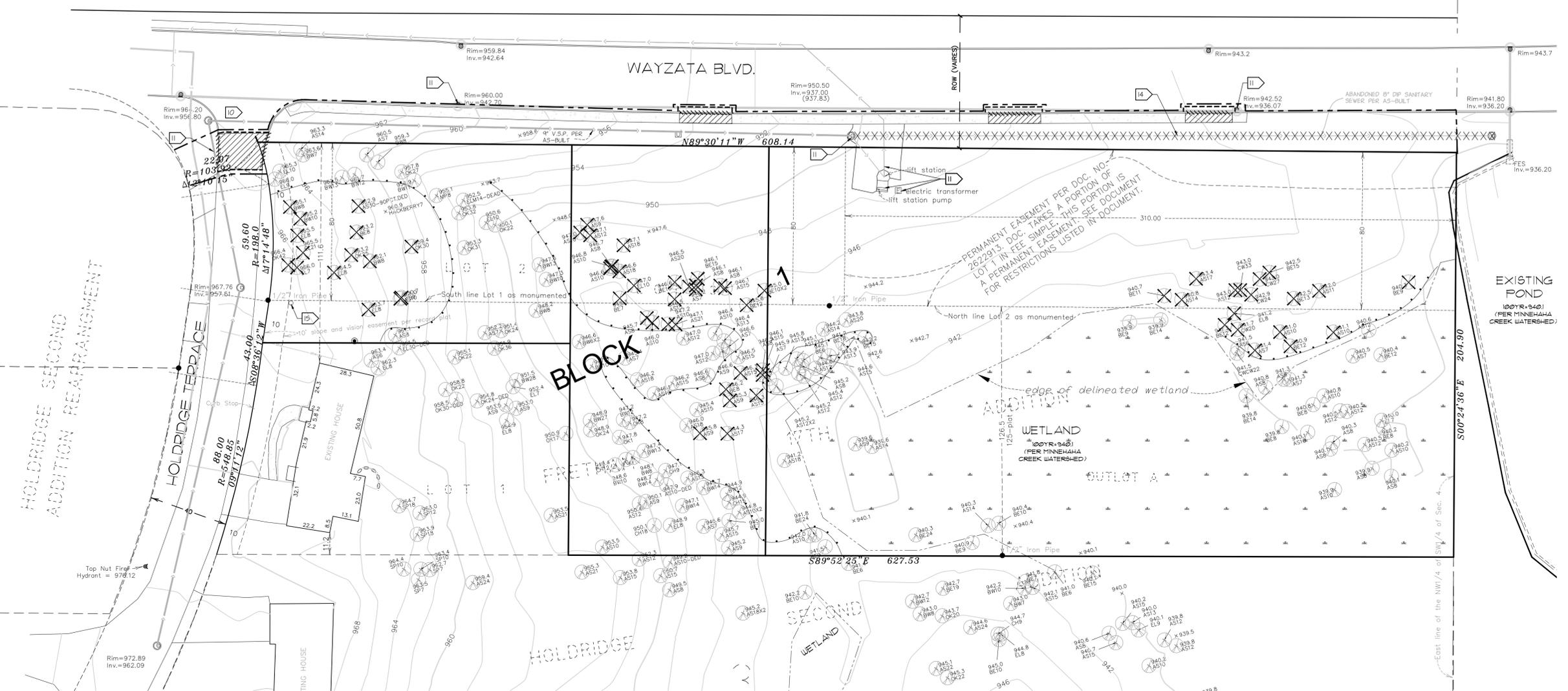
DATE	ISSUE / REVISION	REVIEW
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30 NOV. 2015	CITY COMMENTS	△ RH-C

BY RTS DATE 09-04-15

INTERSTATE 394

WAYZATA BLVD.

## BLOCK



### EXISTING CONDITIONS

1. BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY ACRE LAND SURVEYING BLAINE, MN. ON XXXXX, XXXXX, EXPRESSLY FOR THIS PROJECT, CITY OF WAYZATA, MINNESOTA RECORD DRAWINGS, AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

### DEMOLITION AND CLEARING NOTES

- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- BUILDING DEMOLITION: VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL. REMOVE STRUCTURE, COLUMNS, CANOPIES, FOOTINGS, FOUNDATIONS, AND ANY ASSOCIATED CONSTRUCTION IN ITS ENTIRETY.
- DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- REFER TO DETAILS FOR PAVEMENT SAWCUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- ABANDON WELLS AND ON-SITE SEWAGE FACILITIES PRIOR TO ANY OTHER DEMOLITION IN ACCORDANCE WITH REQUIREMENTS OF REGULATORY AUTHORITIES.

### DEMOLITION AND CLEARING NOTES

- REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING.
- REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STARWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
- HAIL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.
- CUT AND CAP EXISTING UTILITY SERVICES AT R.O.W. LINE

### LEGEND

- ✕ TREE REMOVAL
- TREE FENCE
- CONSTRUCTION LIMITS
- - - SAWCUT LINE
- ▨ STRUCTURE AND/OR PAVEMENT REMOVAL
- ////// CURB REMOVAL
- XXXXXXXX PIPE REMOVAL

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### CITY COMMENTS

11-30-2015



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FILE NAME C101LWD15008.DWG  
PROJECT NO. LWD15008

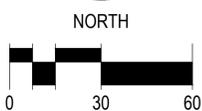
### EXISTING CONDITIONS AND DEMOLITION

# C1.1

SHEET NO. 3/13



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**HOLDRIDGE  
HOMES  
WAYZATA, MN**

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C0.2	PRELIMINARY PLAN
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BY	DATE
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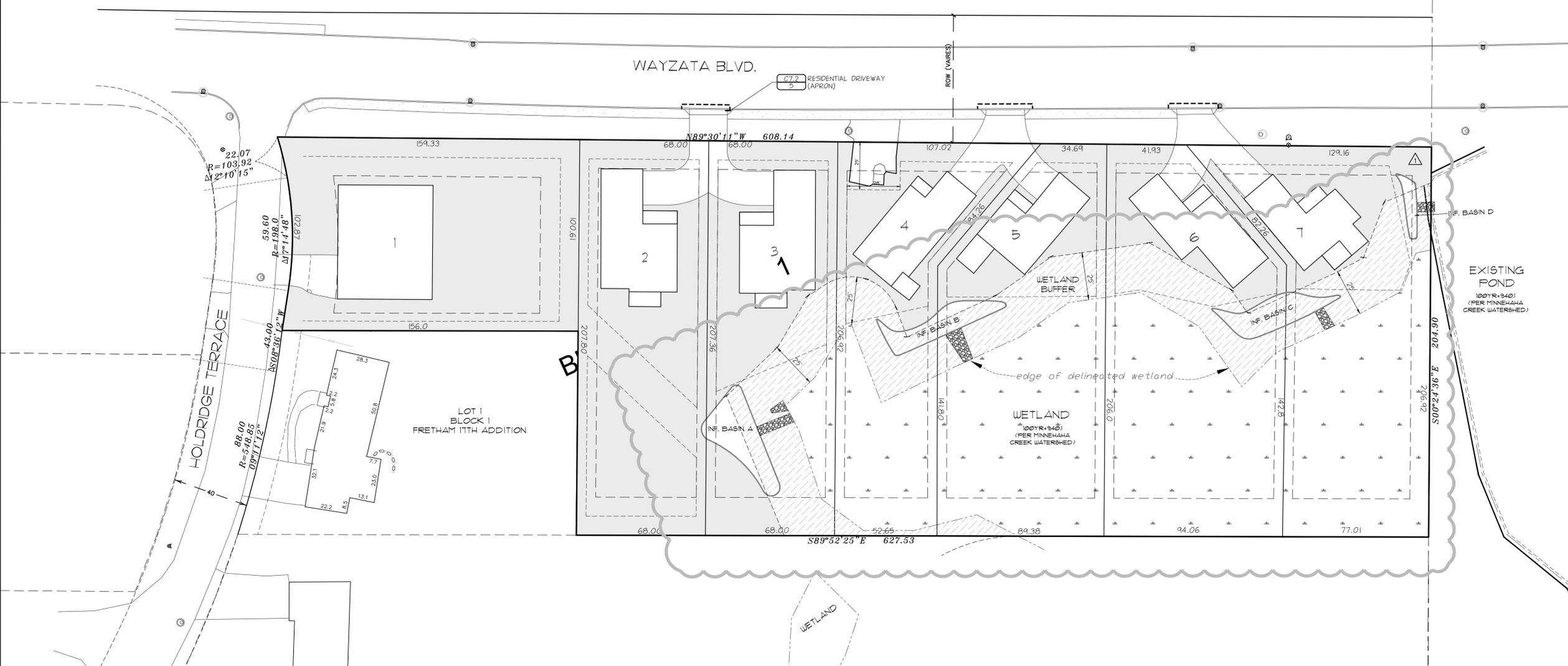
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**SITE PLAN NOTES**

- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER, THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING FOUNDATION UNLESS NOTED OTHERWISE.

WETLAND BUFFER SIGN PER CITY SPECIFICATION  
GREEN SPACE (LANDSCAPE AREA)

**AREA SUMMARY**

TOTAL GROSS AREA = 2.48 AC  
• WETLAND AREA = .78 ACRE  
NET AREA = 1.7  
TOTAL SINGLE FAMILY LOTS = 7 UNITS  
GROSS DENSITY = 2.82 UNITS/AC  
NET DENSITY = 4.1 UNITS/AC

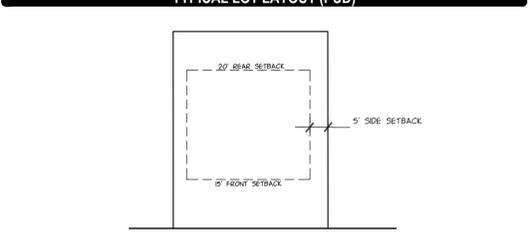
**LOT SUMMARY**

PARCEL ID:	PARCEL SIZE:	IMPERVIOUSNESS	PROPOSED ZONING:
LOT 1	15,472 S.F.	3,485 S.F.	R2
LOT 2	14,115 S.F.	3,058 S.F.	PUD
LOT 3	14,115 S.F.	3,058 S.F.	PUD
LOT 4	12,794 S.F.	2,628 S.F.	PUD
LOT 5	16,497 S.F.	2,081 S.F.	PUD
LOT 6	17,835 S.F.	2,334 S.F.	PUD
LOT 7	17,314 S.F.	2,390 S.F.	PUD

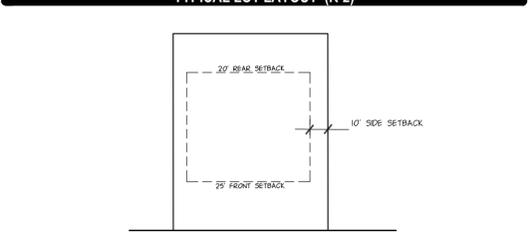
**ZONING SUMMARY**

THE PROPERTY IS CURRENTLY ZONED (R-2) MEDIUM DENSITY SINGLE FAMILY. THE PROPERTY IS BEING REZONED TO BOTH (R-2) MEDIUM DENSITY RESIDENTIAL AND PUD.  
BUILDING SETBACK INFORMATION IS AS FOLLOWS (R-2)  
FRONT YARD = 25 FT.  
REAR = 20 FT  
SIDE = 10 FT.  
LOT COVERAGE INFORMATION IS AS FOLLOWS  
LOT AREA MINIMUM = 15,000 S.F. = .33 ACRE  
LOT WIDTH MINIMUM = 100 FT  
LOT DEPTH MINIMUM = 100 FT  
MAX. IMPERVIOUS COVERAGE = 30%  
BUILDING SETBACK INFORMATION IS AS FOLLOWS (PUD)  
FRONT YARD = 15 FT.  
REAR = 20 FT  
PERIPHERAL SIDE = 10 FT.  
COMMON LOT LINE SIDE = 5 FT.

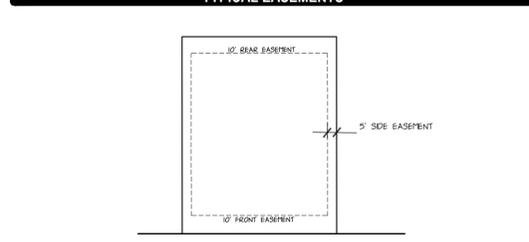
**TYPICAL LOT LAYOUT (PUD)**



**TYPICAL LOT LAYOUT (R-2)**



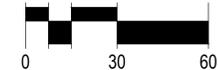
**TYPICAL EASEMENTS**



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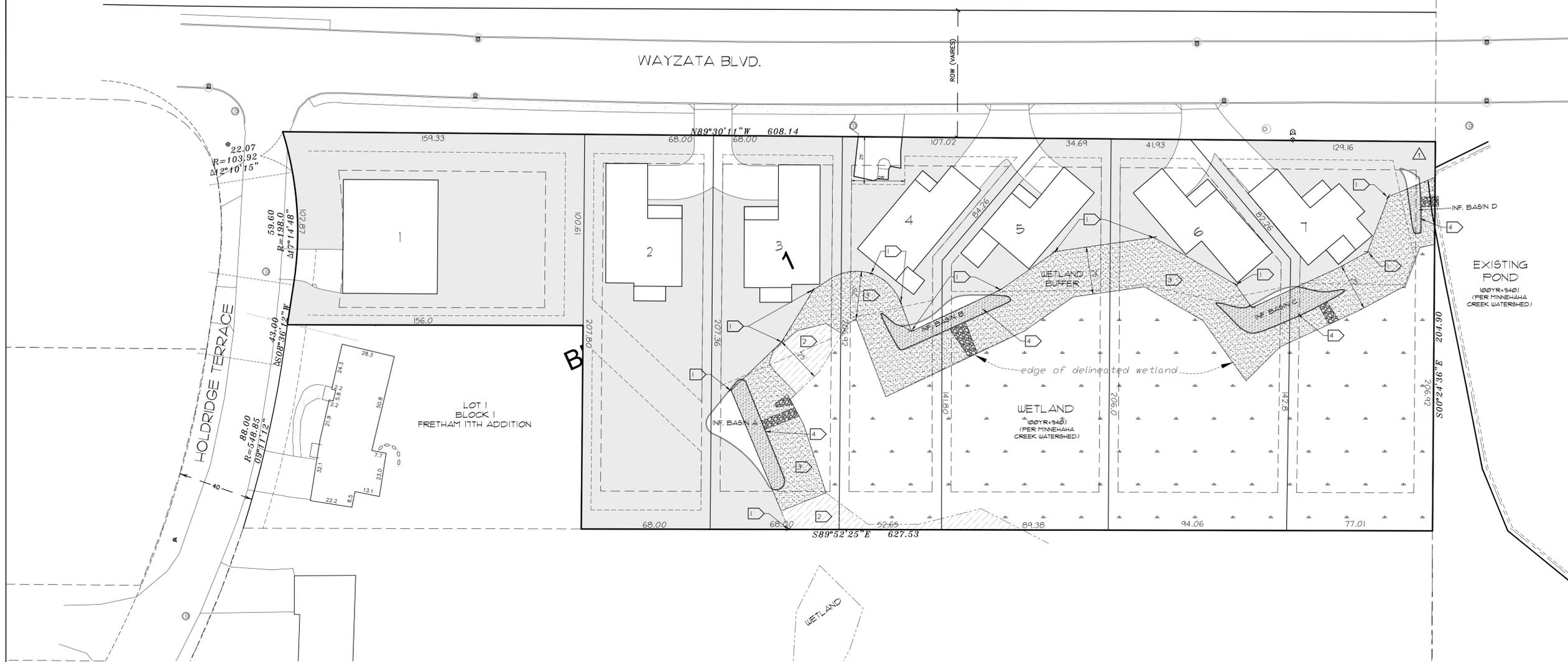


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INTERSTATE 394

WAYZATA BLVD.



DEVELOPER

LAKE WEST DEVELOPMENT CO., LLC.

15400 HIGHWAY 7  
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MUNICIPALITY



PROJECT

**HOLDRIDGE  
HOMES  
WAYZATA, MN**

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RTS	09-04-15

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**WETLAND INFORMATION**

- WETLAND - TYPE: MANAGE 2  
 APPLIED BUFFER WIDTH = 25 FEET (WAYZATA STORMWATER MANAGEMENT PLAN 4.2.2.6)  
 APPLIED BUFFER WIDTH PROVIDED = 25 FEET
- 1 WETLAND BUFFER SIGN, SEE DETAIL 2; SHEET 7.2 (13 SIGNS TOTAL)
  - 2 AREA NOT AFFECTED BY SITE GRADING
  - 3 FOR WETLAND BUFFER AREA FALLING OUT OF THE INFILTRATION BASINS, SEED MIX 34-261 RIPARIAN SOUTH AND WEST - USE DOUBLE THE RATE OF GRASSES, SEDGES/RUSHES AND FORBS
  - 4 FOR WETLAND BUFFER AREA FALLING INSIDE THE INFILTRATION BASINS, SEED MIX 33-261 STORMWATER SOUTH AND WEST - USE DOUBLE THE RATE OF GRASSES, SEDGES/RUSHES AND FORBS

**NATIVE SEED AREA NOTES**

CONTRACTOR IS TO AVOID COMPACTING SOILS ASSOCIATED TO PROPOSED INFILTRATION BASIN AREA. IF COMPACTING HAS OCCURRED CONTRACTOR IS TO RIP AREAS TO A DEPTH OF 18" AND TILL IN 6" OF ORGANIC COMPOST PRIOR TO ANY PLANTINGS.

CONTRACTOR IS TO MAINTAIN INFILTRATION BASIN AREA FREE FROM WEEDS AND OTHER INVASIVE PLANT MATERIAL.

LANDSCAPE ARCHITECT WILL INSPECT CONDITION OF INFILTRATION BASIN UPON COMPLETION OF INSTALLATION AND GIVE WRITTEN PROVISIONAL ACCEPTANCE. FOLLOWING ONE YEAR WARRANTY PERIOD, LANDSCAPE ARCHITECT WILL INSPECT INFILTRATION BASIN AREA FOR FINAL ACCEPTANCE. INSPECTION WILL INCLUDE OVERALL CONDITION OF PLANTINGS, INDICATION OF ANY WEEDS, AND MONITORING OF ANY SEDIMENTATION. FINAL ACCEPTANCE WILL BE OFFERED TO CONTRACTOR AFTER ANY COMMENTS ARE ADDRESSED UPON THIS INSPECTION.

CONTRACTOR IS RESPONSIBLE TO MONITOR AND CONTROL SEDIMENTATION IN PRE-TREATMENT AREAS (TURF) AND IN INFILTRATION BASIN FOR TWO FULL YEARS.

CONTRACTOR IS RESPONSIBLE TO MONITOR MOISTURE IN ALL INFILTRATION BASIN AREAS FOR TWO FULL YEARS. CONTRACTOR IS TO SUPPLEMENT WATER IF THERE IS INSUFFICIENT RAINFALL PER WEEK (ONE INCH PER WEEK).

BASIN AND WETLAND BUFFER AREAS ARE TO RECEIVE 4" DEPTH OF PLANTING SOIL. PLANTING SOIL IS TO CONSIST OF 20% ORGANIC MATERIAL, 50% SANDY SOIL, AND 30% TOPSOIL. CLAY CAN BE PRESENT TO A MAXIMUM OF 10% OF OVERALL MIX.

SEED MIXES SHALL BE PREPARED AND INSTALLED AT DOUBLE THE BWSR RECOMMENDED RATE TO COMPLY WITH LOCAL CODE. GRASSES, SEDGES/RUSHES AND FORBS SHALL BE AT MINIMUM 12 LBS/ACRE OF PURE LIVE SEED. COVER CROP SHALL BE PER BWSR RECOMMENDED RATE, BUT NOT LESS THAN 20 PLS/ACRE.

ITEMS NOT COVERED IN THESE SPECS SHALL BE GOVERNED BY THE MNDOT SEEDING MANUAL, CURRENT EDITION. THIS INCLUDES PREPARATION, SEQUENCING, ESTABLISHMENT AND MAINTENANCE OF NATIVE SEED AREAS.

**EARLY MAINTENANCE AND EVALUATION OF NATIVE GRASS**

1. YEAR 1
  - A. ESTABLISHMENT (SPRING SEEDING):
    1. PREPARE SITE - LATE APRIL-MAY.
    2. SEED - MAY 1-JULY 1
  - B. MAINTENANCE:
    1. MOW (6-10 INCHES)-JULY 15-AUGUST 15
    2. MOW- SEPTEMBER 1 (OPTIONAL).
    3. WEED CONTROL- MOW TO KEEP ANNUAL WEEDS DOWN, SPOT SPRAY THISTLES.
    4. COMPLETE MOWING WHEN ANNUAL WEEDS ARE NO TALLER THAN TWO FEET.
    5. MOWING HEIGHT TO BE SIX TO TEN INCHES.
  - C. ESTABLISHMENT (FALL SEEDING):
    1. PREPARE SITE - LATE AUGUST-EARLY SEPTEMBER.
    2. SEED-LATE SEPTEMBER TO FREEZE.
  - D. MAINTENANCE (FOLLOWING SEASON):
    1. MOW (6-10 INCHES)- JUNE 15-AUGUST 15.
    2. MOW -SEPTEMBER 1 (OPTIONAL).
    3. WEED CONTROL- MOW TO KEEP ANNUAL WEEDS DOWN, SPOT SPRAY THISTLES.
    4. COMPLETE MOWING WHEN ANNUAL WEEDS ARE NO TALLER THAN TWO FEET.
    5. MOWING HEIGHT TO BE SIX TO TEN INCHES.
  - E. EVALUATION:
    1. COVER CROP GROWING WITHIN 2 WEEKS OF PLANTING (EXCEPT DORMANT SEEDLINGS).
    2. SEEDLINGS SPACED 1-6 INCHES APART IN DRILL ROWS.
    3. NATIVE GRASS SEEDLINGS MAY ONLY BE 4-6 INCHES TALL.
    4. IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL REED CANARY GRASS, PURPLE LOOSESTRIPE, COMMON BUCKTHORN ETC., MOW SITE.
2. YEAR 2
  - A. MAINTENANCE:
    1. MOW (6-10 INCHES) - JUNE 1-AUGUST 15.
    2. MOW - SEPTEMBER 1 (OPTIONAL).
    3. WEED CONTROL- MOW TO KEEP ANNUAL WEEDS DOWN, SPOT SPRAY THISTLES.
    4. SITE MAINTENANCE MAY BE MINIMAL THE SECOND YEAR. FIELD VERIFY AND REPORT TO OWNER.
  - B. EVALUATION:
    1. COVER CROP WILL BE GONE UNLESS WINTER WHEAT WAS USED IN A FALL PLANTING.
    2. GRASSES FORMING CLUMPS 1-6 INCHES APART IN DRILL ROWS, BUT STILL SHORT.
    3. SOME FLOWERS SHOULD BE BLOOMING.
    4. IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL, REED CANARY GRASS, PURPLE LOOSESTRIPE, COMMON BUCKTHORN ETC., MOW SITE.
3. YEAR 3
  - A. MAINTENANCE:
    1. MOW ONLY IF NECESSARY FOR ANNUAL WEED CONTROL. SPOT SPRAY THISTLES.
    2. SITE MAINTENANCE IS LIKELY MINIMAL THE THIRD YEAR. FIELD VERIFY AND REPORT TO OWNER.
  - B. EVALUATION:
    1. PLANTING SHOULD BEGIN LOOKING LIKE A PRAIRIE- TALL GRASSES, FLOWERS ETC.
  4. YEAR 4&5
    1. ONGOING MAINTENANCE, EVALUATION, AND CORRECTIVE ACTIONS AS DESCRIBED IN THE YEAR 3 MANAGEMENT PLAN WILL CONTINUE.
  5. LONG TERM MAINTENANCE:
    - A. MOWING- NOT NECESSARY OR ONLY OCCASIONALLY.
    2. WEED CONTROL- SPOT SPRAY THISTLES.
    3. BURNING (3-5 YEAR ROTATION) ALTERNATE SPRING AND FALL IF POSSIBLE. CONFIRM WITH CITY OFFICIALS PRIOR TO ANY MAINTENANCE REGIME INVOLVING BURNING.

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CITY COMMENTS

12-11-2015



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FILE NAME C002LWD15008.DWG

PROJECT NO. LWD15008

WETLAND PLAN

**C2.2**

SHEET NO. 5/13



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WAYZATA, MN

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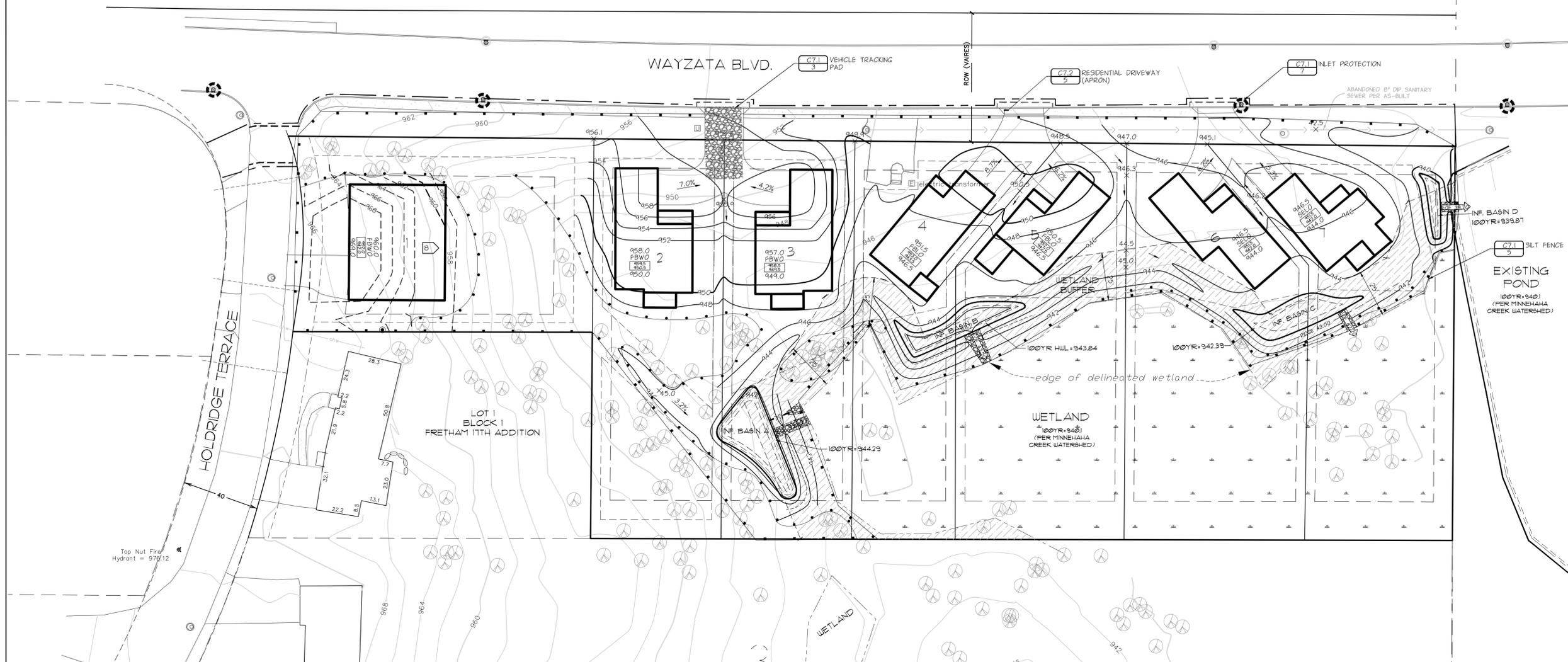
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11 DEC 2015	CITY COMMENTS	△ RH-C

PROJECT MANAGER REVIEW

BY: RJS DATE: 09-04-15

CERTIFICATION

INTERSTATE 394



GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
  - REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
  - REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
  - REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
  - AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
  - PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
  - COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.
- LOT TO BE CUSTOM GRADED BY HOMEOWNER

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY:
	INLET PROTECTION	
	SILT FENCE	
	VEHICLE TRACKING PAD	
	CONSTRUCTION LIMITS	
	SAWCUT LINE	
	TREE PROTECTION FENCING	

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- CONTRACTOR SHALL PREVENT SEDIMENT LADEN WATER FROM ENTERING THE INFILTRATION SYSTEM UNTIL THE SITE IS COMPLETELY STABILIZED.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA. (IF WITHIN 1 MILE OF TREATED WATER USE THE FOLLOWING NOTE INSTEAD) ALL EXPOSED SOILS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED:  
 TERN  
 SOD  
 SEED  
 SPECIFICATION NUMBER  
 MNDOT 3878  
 MNDOT 3876  
 MN TYPE 22-III @ 30.5 LB/AC - TEMPORARY EROSION CONTROL  
 MN TYPE 25-151 @ 120 LB/AC - PERMANENT TURF  
 MULCH (MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED) MNDOT 3882  
 FERTILIZER MNDOT 3881 MNDOT 2575
- SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
- HYDRAULIC MULCHING AND OTHER PRACTICES MUST BE USED ON SLOPES OF 3:1 OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
- AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER MUST BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
- THE CONTRACTOR MUST, AT A MINIMUM INSPECT, MAINTAIN, AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, THE CONTRACTOR MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED.

BUILDING TYPE - XXX.X : REAR ELEVATION  
 FB/WO : FIRST FLOOR ELEVATION  
 WALK OUT : MINIMUM BASEMENT ELEVATION  
 FBLO = FULL BASEMENT XXX.X : FRONT GARAGE ELEVATION  
 LOOK OUT  
 SELO = SPLIT ENTRY LOOK OUT

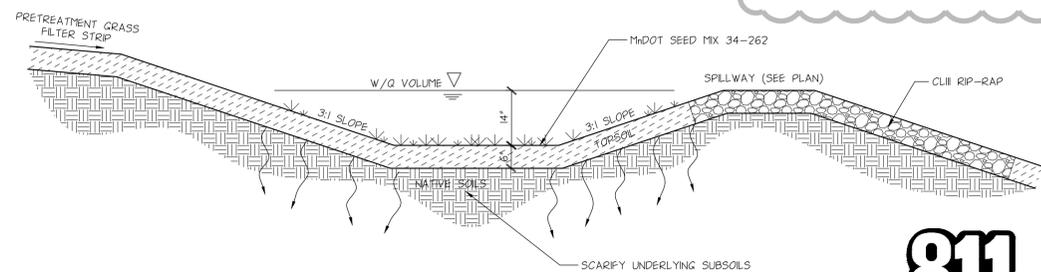
NOTES:  
 1. GARAGE LOCATION INDICATED BY DRIVEWAY.



LOT GRADE ALTERATION

Lot #	Size (Sq. Ft)	Fill (Cu. Yds)	Fill (Cu. Ft)	Total Alteration
1*	15,472	379	10,233	+0.66 Ft
2	14,115	966	26,082	+1.93 Ft
3	14,115	957	25,839	+1.83 Ft
4	12,794	700	18,900	+1.47 Ft
5	16,497	827	22,329	+1.35 Ft
6	17,835	587	15,849	+0.89 Ft
7	17,314	397	10,719	+0.62 Ft

1\* - Lot To be Custom Graded, Alteration Could Vary



**PRELIMINARY NOT FOR CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

CITY COMMENTS  
 12-11-2015

LANDFORM  
 From Site to Finish

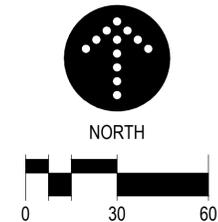
105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME C301LWD15008.DWG  
 PROJECT NO. LWD15008

GRADING, DRAINAGE AND EROSION CONTROL

**C3.1**

SHEET NO. 6/13





SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN

CONTACT ENGINEER FOR ANY PRIOR HISTORY			
DATE	ISSUE/REVISION	REVIEW	
4 SEPT. 2015	PRELIMINARY PLAT		RHS
30 NOV. 2015	CITY COMMENTS		RHS

BY/TS	DATE 09-04-15

**PRELIMINARY  
NOT FOR  
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11-30-2015



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C302LWD15008

PROJECT NO. LWD15008

NPDES PERMIT AND SWPPP COMPONENTS

- THE CURRENT MN NPDES PERMIT DATED AUGUST 1, 2013 IS REFERENCED IN THIS DOCUMENT AS THE PERMIT.

THE SWPPP INCLUDES THE FOLLOWING COMPONENTS:

- CONSTRUCTION DOCUMENTS PREPARED BY LANDFORM
- STORMWATER MANAGEMENT PLAN/NARRATIVE

SITE EVALUATION/ASSESSMENT/PLANNING

- CONTACT INFORMATION/RESPONSIBLE PARTIES  
THE OPERATOR SHALL HAVE PRIMARY RESPONSIBILITY AND SIGNIFICANT AUTHORITY FOR THE DEVELOPMENT, IMPLEMENTATION, MAINTENANCE, INSPECTION AND AMENDMENTS TO THE APPROVED SWPPP. DUTIES INCLUDE BUT ARE NOT LIMITED TO:
  - ENSURING FULL COMPLIANCE WITH THE SWPPP AND THE PERMIT
  - IMPLEMENTING ALL ELEMENTS OF THE SWPPP, INCLUDING BUT NOT LIMITED TO:
    - IMPLEMENTING PROMPT AND EFFECTIVE EROSION AND SEDIMENT CONTROL MEASURES
    - IMPLEMENTING ALL NON-STORM WATER MANAGEMENT, AND GOOD HOUSEKEEPING BMPs ENSURING THAT NO MATERIALS OTHER THAN STORM WATER ARE DISCHARGED IN QUANTITIES, WHICH WILL HAVE AN ADVERSE EFFECT ON RECEIVING WATERS OR STORM DRAIN SYSTEMS, ETC.
  - CONDUCTING ROUTINE INSPECTIONS AND MAINTENANCE
  - ENSURING ELIMINATION OF ALL UNAUTHORIZED DISCHARGES
  - COORDINATING TO ASSURE ALL OF THE NECESSARY CORRECTIONS/REPAIRS ARE MADE IMMEDIATELY, AND THAT THE PROJECT COMPLES WITH THE SWPPP, THE PERMIT, AND APPROVED PLANS AT ALL TIMES.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

- OWNER/OPERATOR MUST DEVELOP POLLUTION PREVENTION MANAGEMENT MEASURES, IMPLEMENT GOOD HOUSEKEEPING BMPs, MUST FOLLOW ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND THE GENERAL CONDITIONS AND GENERAL REQUIREMENTS OF THE CONSTRUCTION CONTRACT.
- THE OPERATOR SHALL MINIMIZE THE EXPOSURE TO STORMWATER OF ANY OF THE PRODUCTS, MATERIAL, OR WASTES STORED ON SITE.
- BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER.
- CHEMICALS AND LANDSCAPE MATERIALS SHALL BE UNDER COVER TO PREVENT THE DISCHARGE OF POLLUTANTS.
- OPERATOR TO TRACK PROGRESS OF THE FOLLOWING ITEMS ON SITE MAPS:
  - PORTABLE TOILETS
  - MATERIAL STORAGE AREAS
  - VEHICLE AND EQUIPMENT FUELING AND MAINTENANCE AREAS
  - CONCRETE WASHOUTS
  - PAINT AND STUCCO WASHOUTS
  - DUMPSTERS OR OTHER TRASH AND DEBRIS CONTAINERS
  - SPILL KITS
  - STOCKPILES
  - ANY OTHER NON-STRUCTURAL NON-STORM WATER MANAGEMENT BMPs
  - ANY TEMPORARILY REMOVED STRUCTURAL BMPs
  - ANY CHANGES TO THE STRUCTURAL BMPs
- SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- HAZARDOUS WASTE: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE OR MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
- PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER.
- CONCRETE AND OTHER WASHOUT WASTE: OPERATOR MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THE CONTAINMENT MUST BE DESIGNED SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA RULES. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASHOUT WASTES.
- EXTERNAL VEHICLE WASHING: EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE.

SWPPP CONTACT AND TRAINING INFORMATION

- OWNER:  
LAKE WEST DEVELOPMENT CO. LLC.  
ATTN: CURT FRETHERM  
14525 HIGHWAY 7,  
SUITE 265  
MINNETONKA, MN 55345  
952-930-3000  
CURTF@WESTDEV.COM
- OPERATOR:  
TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR IS SELECTED.
- LONG TERM MAINTENANCE AND OPERATION:  
TO BE DETERMINED. CONTACT OWNER UNTIL HOA IS SELECTED.
- SWPPP DESIGNER:  
CHRIS CALL, P.E.  
LANDFORM PROFESSIONAL SERVICES  
105 SOUTH FIFTH AVENUE, SUITE 513  
MINNEAPOLIS, MN 55401  
612-252-9070  
CCALL@LANDFORM.NET  
CERTIFICATION U OF MN, DESIGN OF CONSTRUCTION SWPPP, EXP. MAY 31, 2016
- SWPPP INSPECTOR/MANAGER:  
TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR AND SWPPP INSPECTOR/MANAGER IS SELECTED.  
NAME: \_\_\_\_\_  
CERTIFICATION: \_\_\_\_\_ EXP. \_\_\_\_\_
- BMP INSTALLATION AND REPAIR:  
TO BE DETERMINED. CONTACT OWNER UNTIL BMP INSTALLER AND MAINTAINER IS SELECTED.  
NAME: \_\_\_\_\_  
CERTIFICATION: \_\_\_\_\_ EXP. \_\_\_\_\_

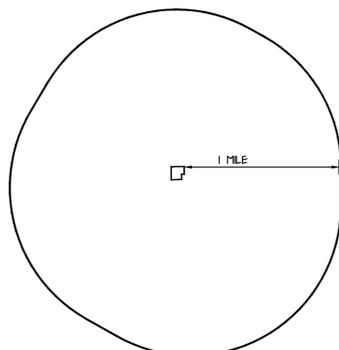
DESCRIPTION OF CONSTRUCTION ACTIVITY

- CONSTRUCTION ACTIVITY INCLUDES EROSION AND SEDIMENT CONTROL BMPs INSTALLATION, CLEARING AND GRUBBING, SITE GRADING, UTILITY INSTALLATION, BUILDING CONSTRUCTION, PAVING, AND LANDSCAPING.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

- INSTALL PERIMETER SEDIMENT CONTROL BMPs PRIOR TO START OF OTHER SITE WORK. REFER TO GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEET(S) FOR INITIAL LOCATIONS OF BMPs.
- PROTECT INFILTRATION AREAS WITH CONSTRUCTION FENCING.
- CONSTRUCT TEMPORARY/PERMANENT SEDIMENTATION BASINS PRIOR TO UPLAND DISTURBANCE. INSTALL PERIMETER SEDIMENT CONTROL BMPs AROUND NORMAL WATER LEVEL.
- STABILIZE OUTLETS FROM TEMPORARY/PERMANENT SEDIMENTATION BASINS.
- PERFORM WORK IN PHASES TO MINIMIZE DISTURBED AREA AT ANY ONE TIME.
- STRIP TOPSOIL FROM AREAS TO BE DISTURBED AND STOCKPILE WITH PERIMETER SEDIMENT CONTROL BMPs. PROVIDE STABILIZATION IF LEFT LONGER THAN 14 DAYS.
- ROUGH GRADE SITE.
- INSTALL UTILITIES.
- FINAL GRADE PAVEMENT AREAS AND COMPACT SUBGRADE.
- LAY DOWN PAVEMENT AGGREGATE AND COMPACT.
- INSTALL CURB AND GUTTER. BACKFILL AFTER A MINIMUM OF THREE DAYS.
- CONSTRUCT BUILDING/ADDITION AND SITE FEATURES.
- CONSTRUCT SITE WALKS AND PATIOS.
- PROVIDE FINAL STABILIZATION.
- CONNECT INFILTRATION/FILTRATION PRACTICE TO STORM SEWER INLETS.
- REMOVE TEMPORARY BMPs.

WATERS WITHIN ONE MILE OF SITE



IMPAIRED WATERS - REQUIRED TMDLS

- WING LAKE AND LAKE ROSE ARE IMPAIRED BASED ON THE CURRENT USEPA 303(d) CLEAN WATER ACT LIST; IS WITHIN 1 MILE OF THIS SITE; AND STORMWATER DOES NOT DISCHARGE INTO IT.

EROSION PREVENTION AND SEDIMENT CONTROL

- SEE GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEETS FOR THE LOCATION AND TYPE OF TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPs. SEE GRADING AND DRAINAGE, UTILITY, PLANTING, AND LANDSCAPE SHEETS FOR THE LOCATION AND TYPE OF PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs.
- MINIMIZE DISTURBED AREAS AND PROTECT NATURAL FEATURES AND SOIL.  
APPROPRIATE CONSTRUCTION PRACTICES (E.G. CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING) SHALL BE USED TO MINIMIZE EROSION. AREAS NOT TO BE DISTURBED WILL BE DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE ETC.) BEFORE WORK BEGINS.  
OPERATOR SHALL DEVELOP METHODS TO MINIMIZE SOIL COMPACTION OUTSIDE OF BUILDING PADS, PAVEMENT AREAS AND UTILITY TRENCHES AND SHALL USE TRACKED EQUIPMENT WHEREVER PRACTICABLE.  
TOPSOIL SHALL BE SALVAGED AND REUSED TO THE EXTENT PRACTICABLE.
- PHASE CONSTRUCTION ACTIVITY  
SEDIMENT CONTROL PRACTICES SHALL BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADE LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED IN ACCORDANCE WITH THE PERMIT.

THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.

CONTROL STORM WATER FLOWING ONTO AND THROUGH THE PROJECT

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, SHALL BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER.

STABILIZATION OF THE LAST 200 LINEAL FEET SHALL BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.

STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES SHALL BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS SHALL BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

STABILIZE SOILS

ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES) MUST BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION WHEN THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AND WILL NOT RESUME FOR 14 CALENDAR DAYS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G. CLEAN AGGREGATE STOCKPILES, DETRICTION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT.

TEMPORARY SOIL STOCKPILES SHALL HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORM WATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORM WATER.

WHEN THE SITE HAS A DISCHARGE POINT WITHIN ONE MILE OF, AND FLOWS TO, A SPECIAL OR IMPAIRED WATERS, ALL EXPOSED SOIL AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.

PROTECT SLOPES

OPERATOR SHALL AVOID WORK ON SLOPES WITH A GRADE OF 3:1 OR GREATER WHEN PRACTICABLE. GRADING ON SLOPES WITH A GRADE OF 3:1 OR STEEPER WILL REQUIRE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).

PROTECT STORM DRAIN INLETS

ALL STORM DRAIN INLETS SHALL BE PROTECTED BY APPROPRIATE BMPs DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE TEMPORARILY REMOVED IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED.

ESTABLISH PERIMETER CONTROLS AND SEDIMENT BARRIERS

RETAIN SEDIMENT ON-SITE AND CONTROL DEWATERING PRACTICES

DEWATERING OR BASIN DRAINING OF TURBID OR SEDIMENT LADEN WATER RELATED TO CONSTRUCTION ACTIVITIES SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN OR TREATED WITH THE APPROPRIATE BMP PRIOR TO ENTERING THE SURFACE WATER.

DISCHARGE SHALL NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS, ADVERSELY AFFECT RECEIVING WATER OR IMPACT WETLANDS, OR DOWNSTREAM PROPERTIES. DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION AND SCOUR BY ACCEPTED ENERGY DISSIPATION MEASURES.

DISCHARGE WATER CONTAINING OIL OR GREASE SHALL BE TREATED TO REMOVE OIL OR GREASE PRIOR TO DISCHARGE TO SURFACE WATERS.

REFER TO PERMIT REQUIREMENTS FOR TEMPORARY OR PERMANENT SEDIMENT BASINS.

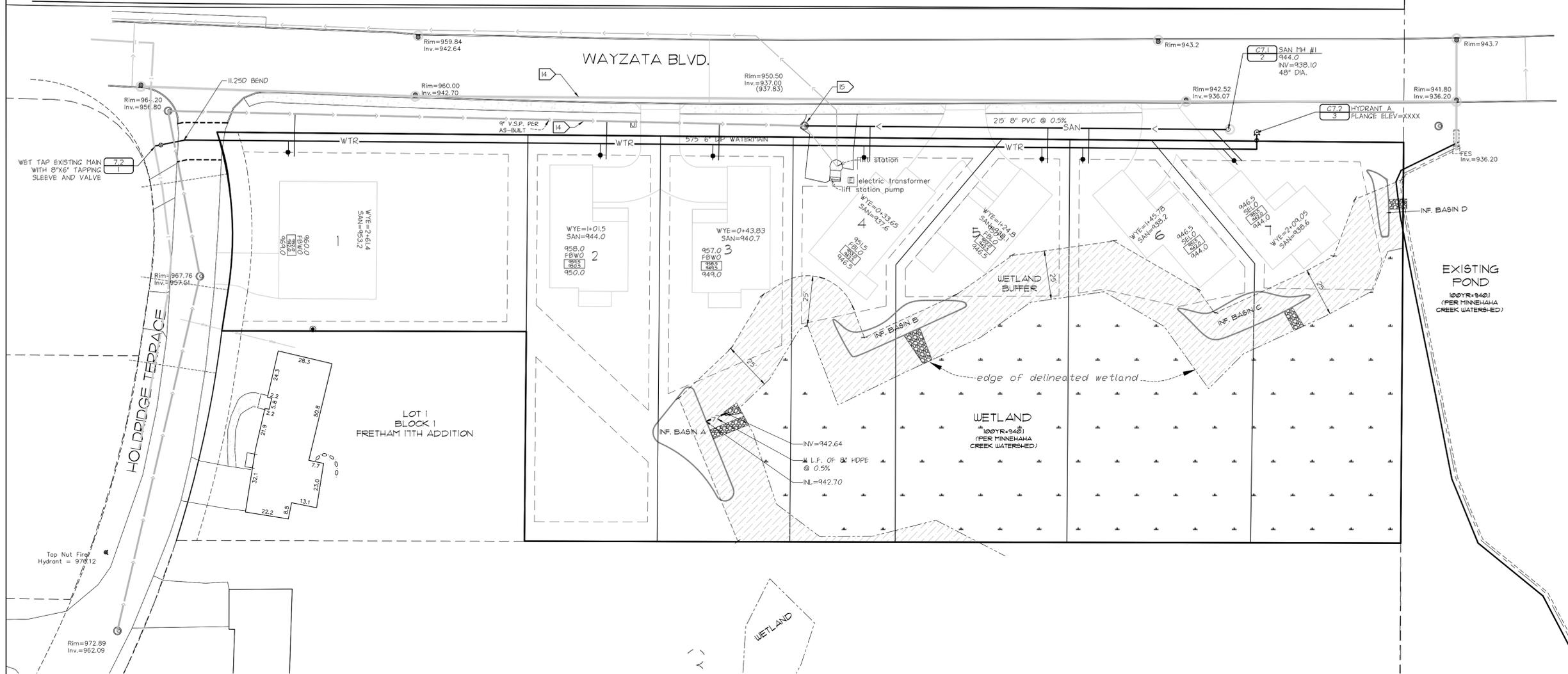
ESTABLISH STABILIZED CONSTRUCTION EXITS

VEHICLE TRACKING PADS SHALL BE ESTABLISHED AS SHOWN ON THE GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEET TO MINIMIZE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE ONTO ADJACENT STREETS.

POST CONSTRUCTION BMPs

- SEE GRADING AND DRAINAGE, AND UTILITY SHEETS FOR POST CONSTRUCTION BMPs.

INTERSTATE 394



UTILITY NOTES

- PIPE MATERIALS  
WATERMAIN 6" DP  
WATER SERVICE 1" COPPER PIPE  
SANITARY SEWER 8" PVC SCHEDULE 40 (ASTM D3034, D2665, & F891)  
SAN. SEWER SERVICE 4" PVC SCHEDULE 40 (ASTM D3034, D2665, & F891)  
STORM SEWER 8" HDPE
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO LOTS.
- PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
- ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
- INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
- CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF WAYZATA STANDARDS.
- CONTACT CITY OF WAYZATA PUBLIC WORKS AT 952-404-5360 FOR WET TAP INSPECTION.
- MAINTAIN 7.5 FEET OF COVER ON WATER.
- CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.
- THE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PER MINNESOTA RULES, PART 4715.2250.
- SANITARY SERVICES ARE BASED OFF OF CITY AS-BUILT SHOTS.
- EXISTING SEWER MAIN (CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT).
- CONNECT INTO EXISTING SANITARY MAIN WITH PVC WYE AND FERRICO COUPLINGS INV=937.0

DEVELOPER

LAKE WEST DEVELOPMENT CO., LLC.

15400 HIGHWAY 7  
MINNETONKA, MN 55345  
TEL (952)930-3000

MUNICIPALITY



PROJECT

**HOLDRIDGE HOMES**  
WAYZATA, MN

SHEET INDEX

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C1.2	SITE PLAN
C2.1	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
4 SEPT 2015	PRELIMINARY PLAT	RH
11 DEC. 2015	CITY COMMENTS	△ RH

PROJECT MANAGER REVIEW

BY RTS DATE 09-04-15

CERTIFICATION

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

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CITY COMMENTS

12-11-2015



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C401LWD15008.DWG

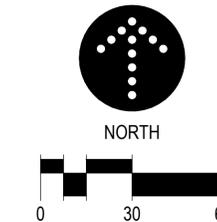
PROJECT NO. LWD15008

UTILITIES

**C4.1**

SHEET NO. 7/13

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**HOLDRIDGE HOMES**  
WAYZATA, MN

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C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN

DATE	ISSUE / REVISION	REVIEW
4 SEPT. 2015	PRELIMINARY PLAT	RH-E
30 NOV. 2015	CITY COMMENTS	RH-E

BY RTS DATE 09-04-15

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

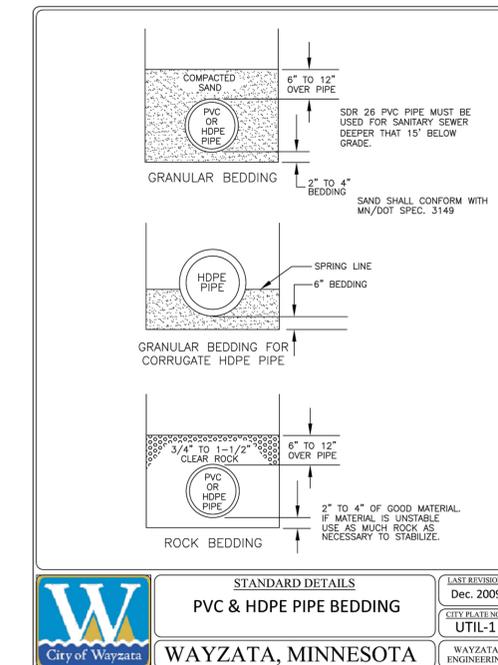
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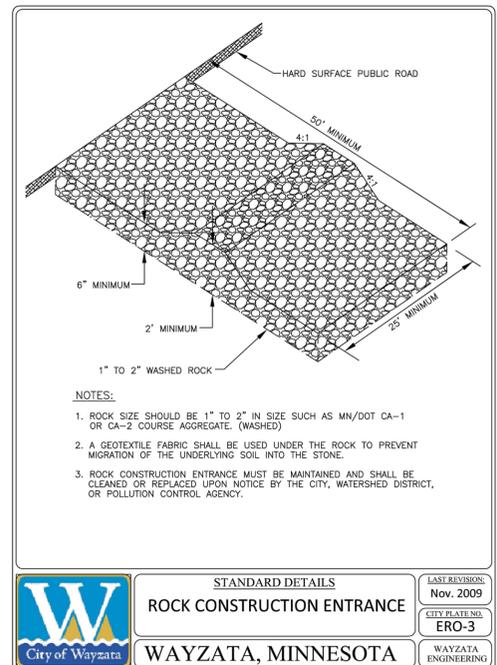
105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C701LWD15008.DWG

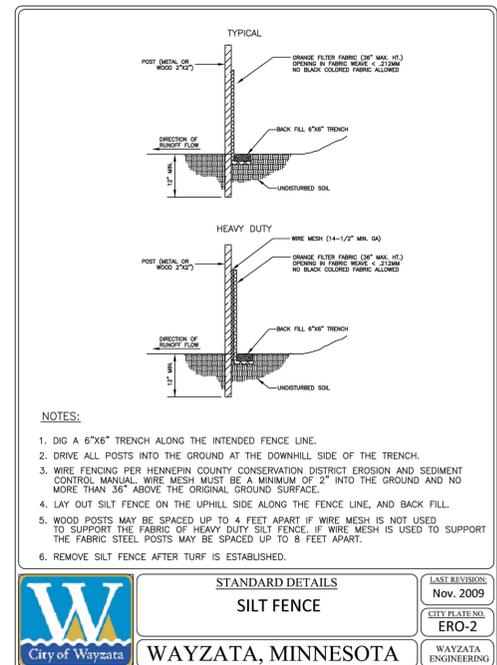
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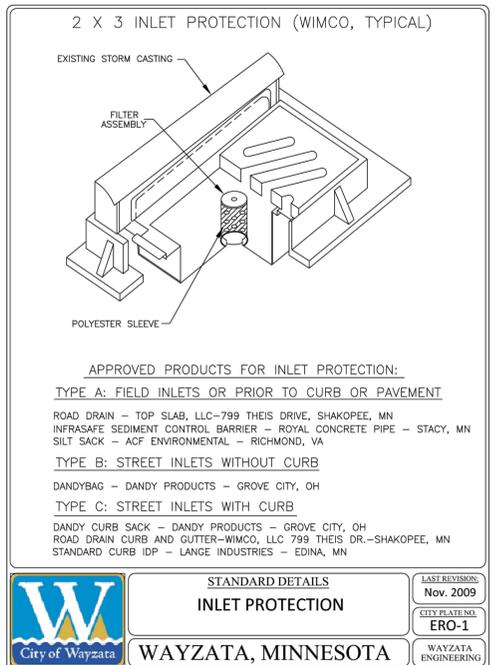
1 PVC AND HDPE PIPE BEDDING NO SCALE



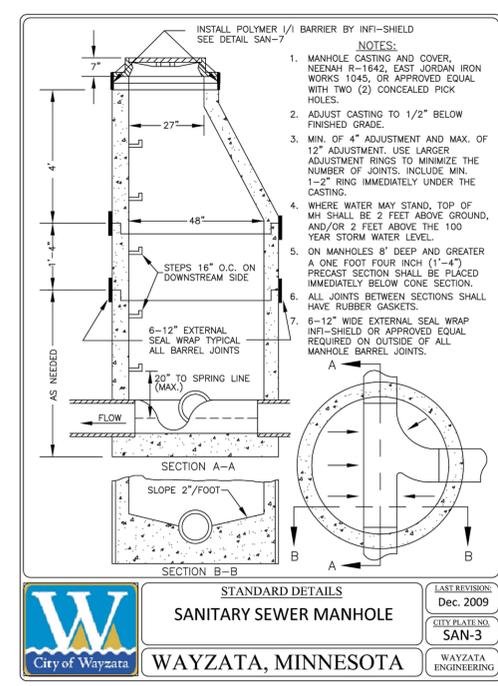
3 ROCK CONSTRUCTION ENTRANCE NO SCALE



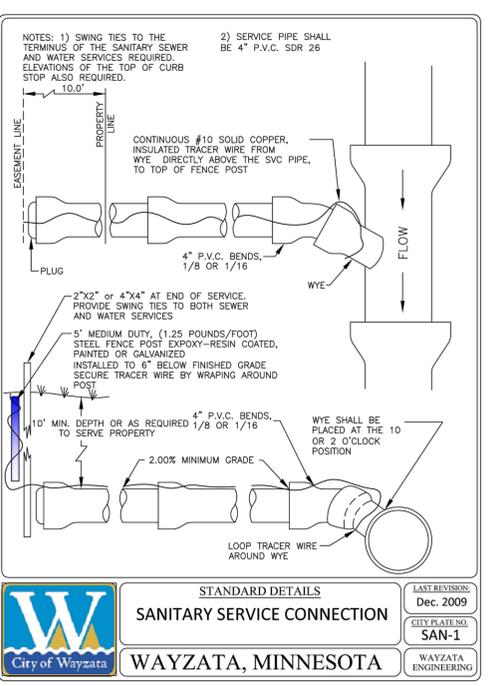
5 SILT FENCE NO SCALE



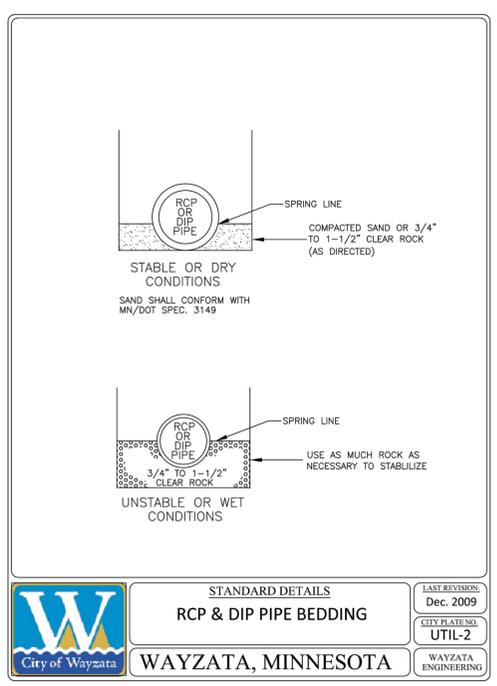
7 INLET PROTECTION NO SCALE



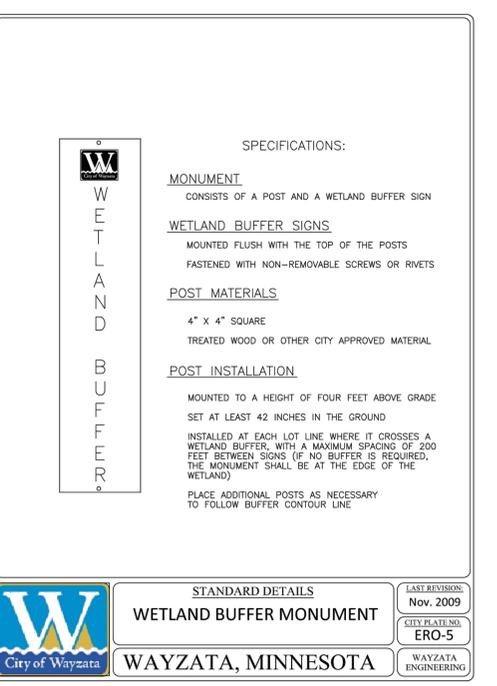
2 SANITARY SEWER MANHOLE NO SCALE



4 SANITARY SERVICE CONNECTION NO SCALE



6 RCP AND DIP PIPE BEDDING NO SCALE



8 WETLAND BUFFER MONUMENT NO SCALE

MUNICIPALITY



PROJECT

**HOLDRIDGE  
HOMES  
WAYZATA, MN**

SHEET INDEX

SHEET	TITLE
CO.1	CIVIL TITLE SHEET
CO.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
CT.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
4 SEPT. 2010	PRELIMINARY PLAT	RHS
30 NOV. 2015	CITY COMMENTS	RHS

PROJECT MANAGER REVIEW

BY RTS DATE 05/04/15

CERTIFICATION

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

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CITY COMMENTS

11-30-2015

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME C702LWD15008.DWG

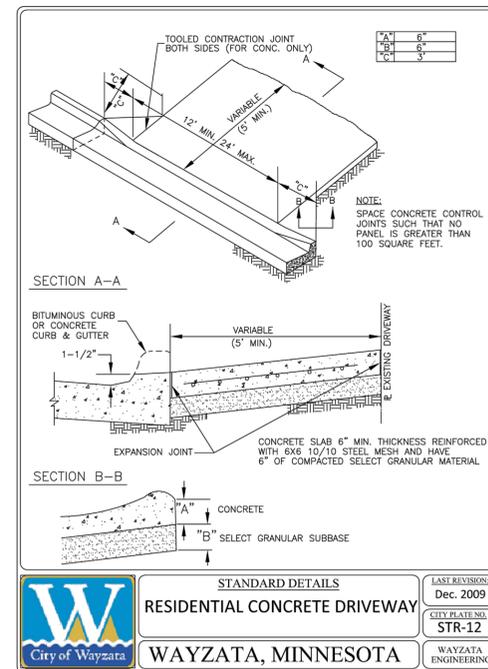
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CIVIL DETAILS

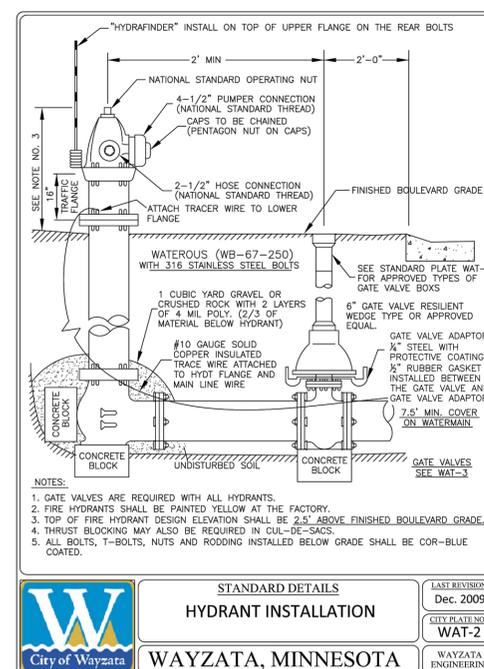
**7.2**

SHEET NO. 7/13

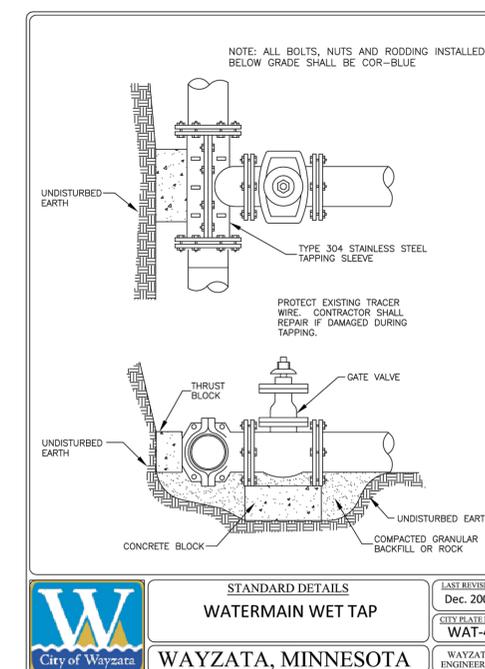
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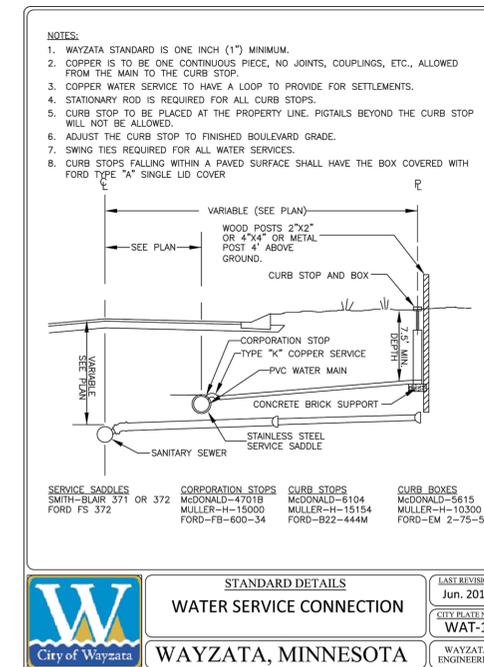
5 CONCRETE DRIVEWAY NO SCALE



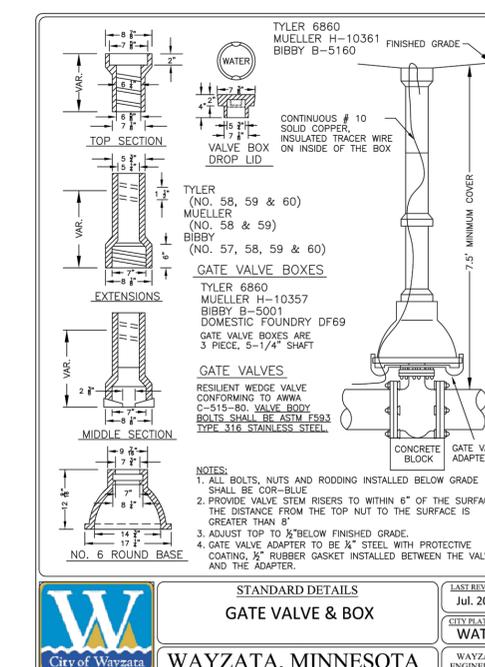
3 HYDRANT NO SCALE



1 WATERMAIN WET TAP NO SCALE



4 WATER SERVICE CONNECTION NO SCALE



2 GATE VALVE AND BOX NO SCALE



Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	
1101	ASH	15	x	Removed	1189	ASH	8		x	1244	ELM	dead 14	x		1422	ASH	18	x	Removed	1502	BOXELDER	9	x	Removed	
1102	ASH	10	x		1190	ASH	10		x	1245	OAK	32	x		1423	ASH	9	x		1504	BOXELDER	14	x		
1103	ASH	21	x		1191	ASH	10		x	1246	ELM	10	x		1424	ASH	14	x		1505	BOXELDER	11		x	
1105	ASH	24	x		1192	ASH	18		x	1247	OAK	22	x		1425	ASH	7		x	1506	ASH	14		x	
1106	Spruce	7	x		1193	ASH	12		x	1248	OAK	31	x		1426	ASH	15	x		1507	ASH	17		x	
1107	Spruce	10	x		1194	ASH	10		x	1250	OAK	30		x	1427	ASH	8		x	1509	ASH	12		x	
1108	Spruce	10	x		1195	ASH	9		x	1251	ASH	9		x	1428	ASH	15		x	1510	Cottonwood	33		x	
1109	Spruce	7	x		1197	Black Walnut	13		x	1252	ELM	dead 30	x		1429	ASH	12	x		1511	Cottonwood	24		x	
1111	Spruce	18	x		1199	Black Walnut	10		x	1253	ASH	8		x	1430	ASH	15	x		1512	Cottonwood	27		x	
1112	Spruce	12	x		1200	Black Walnut	8		x	1254	ELM	8		x	1431	ASH	18	x		1513	BOXELDER	15		x	
1113	Spruce	18	x		1202	Black Walnut	6x2	x		1255	ASH	10		x	1432	ASH	9		x	1514	ELM	8		x	
1132	ASH	21	x		1203	Black Walnut	10	x		1256	ELM	8		x	1433	ASH	17		x	1515	BOXELDER	12		x	
1143	ELM	8	x		1205	BOXELDER	7	x		1257	OAK	25	x		1436	ASH	9		x	1516	Cottonwood	20		x	
1144	ASH	6	x		1206	Black Walnut	12	x		1258	BOXELDER	8		x	1437	BOXELDER	8		x	1517	ASH	6		x	
1148	ASH	8	x		1207	OAK	8	x		1259	Black Walnut	8		x	1438	ASH	8		x	1518	Cottonwood	22	x		
1149	ASH	15	x		1208	OAK	1	x		1260	HACKBERRY	7	x		1439	ASH	8	x		1519	ASH	7		x	
1150	ASH	12	x		1209	Black Walnut	27	x		1261	ASH	dead 30	x		1440	BOXELDER	24	x		1522	BOXELDER	14	x		
1156	ASH	18x2	x		1210	OAK	24	x		1381	BOXELDER	10	x		1441	ASH	10	x		1524	BOXELDER	12		x	
1157	ASH	9	x		1211	OAK	17	x		1382	ASH	15	x		1442	BOXELDER	9	x		1525	ASH	10		x	
1158	ASH	15	x		1212	ASH	9	x		1383	ASH	20	x		1443	BOXELDER	6	x		1526	BOXELDER	13		x	
1159	BOXELDER	7	x		1213	ELM	8	x		1384	ASH	7	x		1444	BOXELDER	10	x		1527	ASH	11		x	
1160	ASH	10x2	x		1214	ASH	9	x		1385	ASH	8	x		1451	Black Walnut	12	x		1528	ASH	10		x	
1161	Cherry	15	x		1215	ELM	7	x		1386	BOXELDER	15		x	1452	Black Walnut	8	x		1529	ASH	7	x		
1162	Black Walnut	12	x		1216	Black Walnut	28	x		1387	ASH	8		x	1453	OAK	20	x		1530	ASH	8	x		
1163	ASH	7	x		1217	OAK	36	x		1388	ASH	15	x		1454	ASH	22	x		1531	ASH	8	x		
1164	Black Walnut	14	x		1218	OAK	24	x		1389	BOXELDER	12	x		1455	OAK	22	x		1532	BOXELDER	8	x		
1165	ELM	8	x		1219	ASH	7	x		1390	BOXELDER	10	x		1457	ASH	24	x		1533	ASH	10	x		
1166	Cherry	18	x		1220	OAK	22	x		1391	ASH	21		x	1458	BOXELDER	19	x		1534	ASH	12	x		
1167	ASH10	dead	x		1221	OAK	dead 24	x		1392	ASH	10		x	1459	BOXELDER	24	x		1535	ASH	12	x		
1169	Cherry	12	x		1222	OAK	dead 30	x		1393	ASH	12	x		1460	BOXELDER	9	x		1536	BOXELDER	8	x		
1170	Black Walnut	10	x		1223	OAK	22	x		1394	ASH	12	x		1461	ASH	14	x		1538	ASH	10	x		
1171	Black Walnut	8	x		1224	OAK	42		x	1395	ASH	9	x		1462	BOXELDER	10	x		1539	ASH	8	x		
1172	Black Walnut	13	x		1225	ELM	7		x	1396	ASH	15	x		1471	Cherry	9	x		1540	ASH	8	x		
1173	Black Walnut	14	x		1226	ELM	21		x	1397	ASH	7	x		1472	ELM	8	x		1541	ASH	10	x		
1174	ASH	12	x		1227	ELM	8		x	1398	ASH	13	x		1473	BOXELDER	10	x		1543	ASH	12	x		
1175	ASH	9	x		1228	Black Walnut	10		x	1399	ASH	10	x		1474	Black Walnut	7	x		1544	ASH	6	x		
1176	ASH	dead	x		1229	Black Walnut	8		x	1400	ASH	12	x		1475	Black Walnut	10	x		1546	ASH	8	x		
1177	Cherry	9	x		1230	ELM	9		x	1401	BOXELDER	6	x		1476	BOXELDER	7	x		1548	BOXELDER	8	x		
1178	ASH	13	x		1231	ELM	10		x	1402	ASH	8	x		1477	ASH	15	x		1549	ELM	7	x		
1179	Black Walnut	14	x		1232	Black Walnut	7	x		1403	ASH	13	x		1478	BOXELDER	6	x		1550	ASH	10	x		
1181	ASH	15	x		1233	ASH	14	x		1404	ASH	12	x		1481	BOXELDER	15	x		1552	BOXELDER	12	x		
1182	ASH	12	x		1234	BASSWOOD	11	x		1405	ASH	12	x		1484	ASH	13	x		1553	ASH	12	x		
1183	ASH	18	x		1235	Black Walnut	13	x		1406	ASH	12	x		1485	ELM	9	x		1555	ASH	7	x		
1184	ASH	7	x		1236	Black Walnut	12	x		1407	ASH	15	x		1486	ASH	15	x		1562	BOXELDER	9		x	
1185	ASH	10		x	1238	ASH	7		x	1408	ASH	13	x		1487	ASH	8		x						
1186	ASH	8		x	1239	Black Walnut	8		x	1409	ASH	14	x		1488	ASH	15	x							
1187	ELM	10		x	1240	OAK	27		x	1410	ASH	20	x		1490	ASH	10	x		Total Removed	63	33%			
1188	ASH	18		x	1241	Black Walnut	11		x	1412	BOXELDER	15	x		1497	ASH	12	x							
					1243	Maple	8		x	1413	BOXELDER	18	x		1498	ASH	12	x							

DEVELOPER

LAKE WEST DEVELOPMENT CO., LLC.  
15400 HIGHWAY 7  
MINNETONKA, MN 55345  
TEL: (952)930-3000

MUNICIPALITY



PROJECT

**HOLDRIDGE HOMES**  
WAYZATA, MN

SHEET INDEX

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
4 SEPT. 2015	PRELIMINARY PLAT	RH-C
11 DEC. 2015	CITY COMMENTS	△ RH-C

PROJECT MANAGER REVIEW

BY RTS DATE 09-04-15

CERTIFICATION

**PRELIMINARY NOT FOR CONSTRUCTION**

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CITY COMMENTS

12-11-2015



105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME L101LWD15008.DWG

PROJECT NO. LWD15008

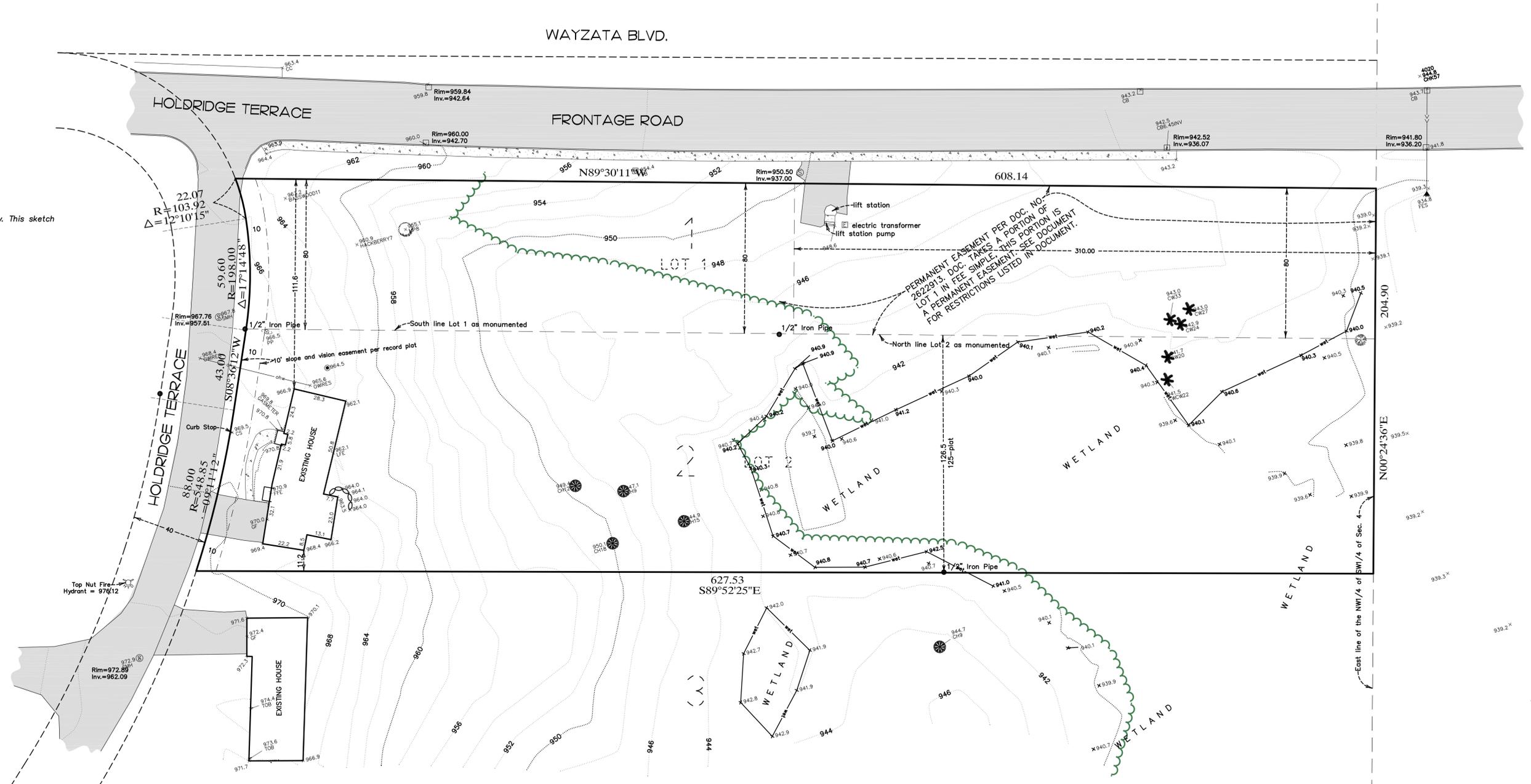
TREE PRESERVATION  
**L1.1**  
SHEET NO. 11/13

# BOUNDARY & TOPOGRAPHIC SURVEY

~for~ Lakewest Development

Property Address: 1409 Holdridge Terrace, Wayzata, MN 55391

P.I.D.#04-117-22-32-0024



### NOTES

- 2 foot Contour Interval
- Elevations shown on assumed datum.
- Boundaries shown are preliminary only. This sketch is subject to revision.

### TREE LEGEND

- DENOTES BASSWOOD
- DENOTES ASH
- DENOTES -OAK
- DENOTES CHERRY
- DENOTES ELM
- DENOTES BOXELDER
- DENOTES MAPLE
- ✱ DENOTES COTTONWOOD

### LEGAL DESCRIPTION

Lot 1, Block 3, Holdridge Second Addition Rearrangement, Hennepin County, Minnesota.  
 Torrens Certificate No. 542759.  
 Lot 2, Block 3, Holdridge Second Addition Rearrangement, Hennepin County, Minnesota.  
 Torrens Certificate No. 1087573.

Note: Boundary lines shown hereon excepts out property as described in doc. no. 2622913. Said document takes property in fee simple and also takes permanent easement in property.

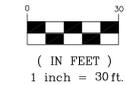
### SCHEDULE B-2 ITEMS:

- 11) Terms and conditions of easements contained in Declaration of covenants, restrictions and easements filed Feb. 14th, 1950, as doc. no. 303999.  
 \*\*\*\*\*NOTE: REVIEW THIS DOCUMENT CAREFULLY AS IT MAY AFFECT WHAT CAN OR CAN NOT BE BUILT ON LOTS!!!!\*\*\*\*\* There is a lot of restrictions placed in said document and they may or may NOT be valid at this time!
- 12) Terms and conditions of utility easement in favor of the City of Wayzata per doc. no. 708501. Easement does not affect survey area of Lot 1.
- 13) Terms and conditions of Final Certificate for Highway purposes per doc. no. 2622913. Note: Does affect a portion of Lot 1 however DOES NOT affect surveyed portion shown hereon.

### LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- DENOTES GAS METER/BOX
- DENOTES UTILITY BOX
- DENOTES SANITARY SEWER MANHOLE
- DENOTES CATCH BASIN
- ⊕ DENOTES FIRE HYDRANT
- DENOTES EXISTING CONTOUR
- DENOTES OVERHEAD WIRE
- DENOTES SANITARY SEWER
- DENOTES STORM SEWER
- x1011.2 DENOTES EXISTING ELEVATION.
- DENOTES TREE LINE
- DENOTES CONCRETE
- DENOTES BITUMINOUS
- DENOTES UTILITY BOX
- DENOTES WETLAND
- DENOTES RETAINING WALL

### GRAPHIC SCALE



Rev. 08/28/13, wetlands, boundary  
 I hereby certify that this sketch, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

ERIC R. VICKARYOUS

Date: July 22nd, 2013 Reg. No. 44125

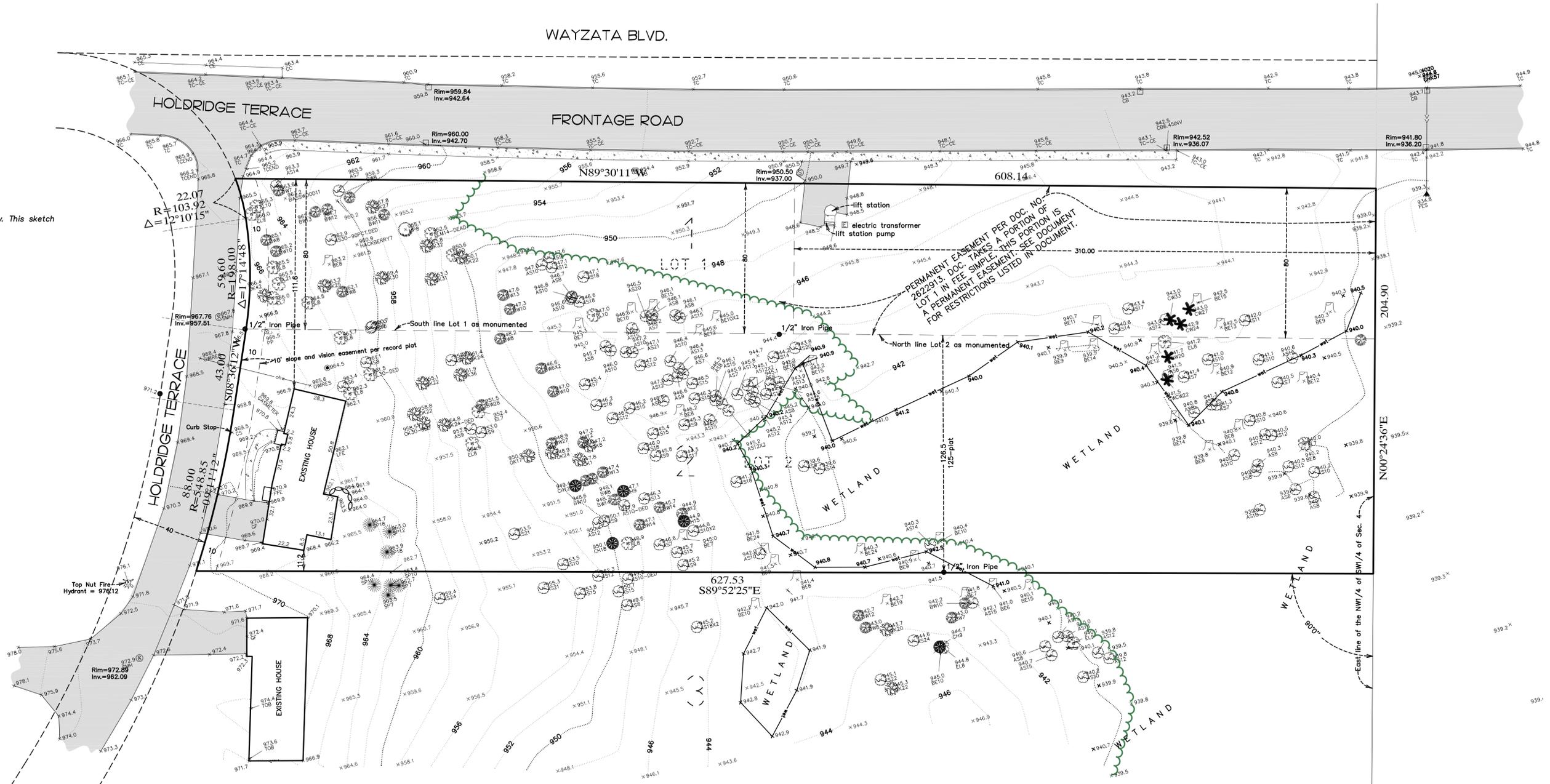
34 X 22

# BOUNDARY & TOPOGRAPHIC SURVEY

~for~ Lakewest Development

Property Address: 1409 Holdridge Terrace, Wayzata, MN 55391

P.I.D.#04-117-22-32-0024



### NOTES

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### TREE LEGEND

- DENOTES BASSWOOD
- DENOTES ASH
- DENOTES -OAK
- DENOTES CHERRY
- DENOTES ELM
- DENOTES BOXELDER
- DENOTES MAPLE
- ★ DENOTES COTTONWOOD

### LEGAL DESCRIPTION

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 Torrens Certificate No. 542759.  
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Rev. 08/28/13, wetlands, boundary

I hereby certify that this sketch, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Eric R. Vickaryous*  
 ERIC R. VICKARYOUS

Date: July 22nd, 2013. Reg. No. 44125

### LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- DENOTES GAS METER/BOX
- DENOTES UTILITY BOX
- DENOTES SANITARY SEWER MANHOLE
- DENOTES CATCH BASIN
- DENOTES FIRE HYDRANT
- DENOTES EXISTING CONTOUR
- DENOTES OVERHEAD WIRE
- DENOTES SANITARY SEWER
- DENOTES STORM SEWER
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- DENOTES TREE LINE
- DENOTES CONCRETE
- DENOTES BITUMINOUS
- DENOTES UTILITY BOX
- DENOTES WETLAND
- DENOTES RETAINING WALL

### GRAPHIC SCALE



NORTH

# TRAFFIC COUNT – WAYZATA BOULEVARD

Holdridge Homes (Approx 1407 Holdridge Terrace, Wayzata)



Source: Minnesota Department of Transportation - Traffic Data and Analysis; as of 9-28-2015

# PRELIMINARY PLAT ~ OF ~ FRETAM 17TH ADDITION

Property Address: 1409 Holdridge Terrace, Wayzata, MN 55391

P.I.D.#04-117-22-32-0024

~for~ Lakewest Development

### Tree Inventory

1101 ASH15	1339-BlackWalnut3-	1426 ASH15
1102 ASH10	1346-BlackWalnut2-	1427 ASH8
1103 OAK21	1356-BlackWalnut1-	1428 ASH15
1105 ASH24	1429-BlackWalnut1-	1429 ASH12X2
1106 Spruce7	1440-OAK27-	1430-ASH15
1107 Spruce10	1448-BlackWalnut1-	1431 ASH18
1108 Spruce10	1449-Maple 9	1432 ASH9
1109 Spruce7	1444 ELM14-DEAD	1433 ASH17
1111 Spruce18	1445 OAK32	1436-ASH9
1112 Spruce12	1446 ELM10	1437 BOXELDER8
1113 Spruce18	1447 OAK22	1438 ASH15
1121 ASH21	1448 OAK31	1439-ASH9
1143 ELM8	1450 OAK30	1440 BOXELDER24
1144 ASH6	1451-ASH9	1441 ASH10
1148 ASH8	1452 ELM30-DEAD	1442 BOXELDER9
1149 ASH15	1453-ASH8	1443 BOXELDER6
1150 ASH12	1454 ELM14	1444 BOXELDER10
1156 ASH18X2	1455-ASH10	1451 BlackWalnut2
1157 ASH9	1456-ELM8	1519 ASH7
1158 ASH15	1457 OAK29	1522 BOXELDER14
1159 BOXELDER7	1458 BOXELDER8	1524 BOXELDER12
1160 ASH10X2	1459-BlackWalnut8	1525 ASH10
1161 Cherry15	1460-BlackWalnut7	1526 BOXELDER13
1162 BlackWalnut12	1461-ASH10	1527 ASH11
1163 BlackWalnut14	1462-ASH15	1457 ASH24
1165 ELM8	1389-ASH20	1458 BOXELDER19
1166 Cherry18	1394-ASH7	1459 BOXELDER24
1167 ASH10-DEAD	1395-ASH9	1460 BOXELDER9
1168 Cherry12	1396 BOXELDER15	1461 ASH14
1170 BlackWalnut10	1387-ASH8	1462 BOXELDER10
1171 BlackWalnut13	1388-ASH8	1471 Cherry9
1172 BlackWalnut13	1389 BOXELDER12	1472 ELM6
1173 BlackWalnut14	1390 BOXELDER10X2	1473 BOXELDER10
1174 ASH12	1391 ASH21	1474 BlackWalnut7
1175 ASH9	1392 ASH10	1475 BlackWalnut10
1176 ASH10-DEAD	1393 ASH12	1476 BOXELDER8
1177 Cherry9	1394 ASH12	1477 ASH15
1178 ASH13	1395 ASH9	1478 BOXELDER6
1179 BlackWalnut14	1396 ASH15	1481 BOXELDER15
1181-ASH15	1397 ASH7	1484 ASH13
1182-ASH12	1398 ASH13	1485 ELM9
1183-ASH18	1399 ASH10	1486 ASH15
1184-ASH18	1400 ASH20X2	1487 ASH8
1185-ASH10	1401 BOXELDER6	1488 ASH15
1186 ASH8	1402 ASH8	1489 ASH15
1187-ELM10	1403 ASH13	1490 ASH10
1188-ASH15	1404 ASH12	1491 ASH12
1189-ASH18	1405 ASH12	1492 ASH12
1190-ASH10	1406 ASH12	1498 ASH12
1191-ASH10	1407 ASH15	1502 BOXELDER9
1192-ASH18	1408 ASH13	1504 BOXELDER14
1193-ASH18	1409 ASH14	1505 BOXELDER11
1194-ASH18	1410 ASH20	1506 ASH14
1195-ASH18	1411 Cottonwood23	1507 ASH17
1196-ASH18	1412 Cottonwood27	1509 ASH12
1197 BlackWalnut13	1413 BOXELDER15	1510 Cottonwood33
1198 BlackWalnut10	1414 ELM8	1511 Cottonwood24
1200 BlackWalnut8	1415 ASH18	1512 Cottonwood27
1202 BlackWalnut6X2	1423 ASH9	1513 BOXELDER15
1203 BlackWalnut10	1424 ASH14	1514 ELM8
1208-BOXELDER2	1425 ASH7	1515 BOXELDER12
1209-BlackWalnut2	1426 ASH15	1516 Cottonwood20
1207 OAK8		1517 ASH8
1208 OAK1		1518 Cottonwood22
1209 BlackWalnut27		
1210 OAK24		
1211 OAK17		
1212 ASH9		
1213 ELM8		
1214 ASH9		
1215 ELM7		
1216 BlackWalnut28		
1217 OAK30		
1218 OAK24		
1219 ASH7		
1220 OAK22		
1221 OAK30-DEAD	DEAD = DEAD (typ.)	
1222 OAK30-DEAD		
1223 OAK22		
1224-OAK24		
1225-ELM9		
1226-ELM12		
1227-ELM8		
1228-BlackWalnut10		
1229-BlackWalnut8		
1230-ELM10		
1231-BlackWalnut		
1232-ASH14		
1234-BA55W0041		

### TREE REMOVAL NOTES:

- 133 SIGNIFICANT TREES WITHIN LOTS 1, 2 AND 3.
- 50 TREES ARE PROPOSED TO BE REMOVED AS PART OF CONSTRUCTION OF HOMES AND GRADING OF LOTS. (37.6% OF TREES)

### LEGAL DESCRIPTION

Lot 1, Block 3, Holdridge Second Addition Rearrangement, Hennepin County, Minnesota.  
 Torrens Certificate No. 542759.  
 Lot 2, Block 3, Holdridge Second Addition Rearrangement, Hennepin County, Minnesota.  
 Torrens Certificate No. 1087573.

Note: Boundary lines shown herein excepts out property as described in doc. no. 2622913. Said document takes priority in fee simple and also takes permanent easement in property.

I hereby certify that this sketch, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*J.P. Schneider*  
 JOSHUA P. SCHNEIDER

Date: 10-30-13 Reg. No. 44655

### SCHEDULE B-2 ITEMS:

- [1] Terms and conditions of easements contained in Declaration of covenants, restrictions and easements filed Feb. 14th, 1950, as doc. no. 303999.  
 \*\*\*NOTE: REVIEW THIS DOCUMENT CAREFULLY AS IT MAY AFFECT WHAT CAN OR CAN NOT BE BUILT ON LOTS!!!\*\*\*\*\* There is a lot of restrictions placed in said document and they may or may not be valid at this time!

- [2] Terms and conditions of utility easement in favor of the City of Wayzata per doc. no. 708501. Easement does not affect survey area of Lot 1.

- [3] Terms and conditions of Final Certificate for Highway purposes per doc. no. 2622913. Note: Does affect a portion of Lot 1 however DOES NOT affect surveyed portion shown herein.

### ZONING AND SETBACK INFORMATION

Current & Proposed zoning = R2 Medium Density Single Family Residential District  
 - Minimum Lot Area = 15,000 sq.ft.  
 - Minimum Lot Width = 100 feet  
 - Minimum Lot Depth = 100 feet  
 Principal Building Setbacks:  
 Front Yard = 25 feet  
 Side Yard = 10 feet  
 Rear Yard = 20 feet  
 -Lot coverage shall not exceed 20% of lot area. Impervious surface shall not exceed 30% of lot area.  
 -All single family structures shall be limited to a maximum height of 2.5 stories or 30 feet, whichever is lesser.

### LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- DENOTES GAS METER/BOX
- DENOTES UTILITY BOX
- ⊙ DENOTES SANITARY SEWER MANHOLE
- DENOTES CATCH BASIN
- ⊗ DENOTES FIRE HYDRANT
- DENOTES EXISTING CONTOUR
- DENOTES OVERHEAD WIRE
- DENOTES SANITARY SEWER
- DENOTES STORM SEWER
- ⊗ DENOTES EXISTING ELEVATION.
- DENOTES TREE LINE
- DENOTES CONCRETE
- DENOTES BITUMINOUS
- DENOTES UTILITY BOX
- DENOTES WETLAND
- DENOTES RETAINING WALL
- ⊗ DENOTES TREE TO BE REMOVED
- DENOTES EXISTING TREE
- ⊗ DENOTES PROPOSED TREE

### AREA CALCULATIONS:

**LOT 1, BLOCK 1**  
 TOTAL LOT = 317,744 sq. ft.  
 Existing House = 42,447 Sq. Ft.  
 Existing Porch = 167 Sq. Ft.  
 Existing Sidewalk = 2,205 Sq. Ft.  
 Existing Driveway = 4,821 Sq. Ft.  
 Impervious = 51,646

**LOT 2, BLOCK 1**  
 TOTAL LOT = 315,492 sq. ft.  
 Proposed House = 42,248 Sq. Ft.  
 Proposed Driveway = 4,691 Sq. Ft.  
 Impervious = 51,106

**LOT 3, BLOCK 1**  
 TOTAL LOT = 420,748 sq. ft.  
 Proposed House = 42,297 Sq. Ft.  
 Proposed Driveway = 41,025 Sq. Ft.  
 Impervious = 51,604

### GRAPHIC SCALE

1 inch = 30 ft.  
 ( IN FEET )

### NOTES

- 2 foot Contour Interval
- Elevations shown an assumed datum.
- Boundaries shown are preliminary only. This sketch is subject to revision.





**SITE ANALYSIS**

# OF LOTS = 10  
MODEL A = 6 LOTS  
MODEL B = 3 LOTS  
MODEL C (CUSTOM) = 1 LOT

FRONT SETBACK = 20 FT  
SIDE SETBACK = 10 FT  
SIDE SETBACK (CORNER) = 20 FT  
REAR SETBACK = 20 FT

**WETLAND MANAGEMENT**

WETLAND TYPE = MANAGE 2  
MINIMUM BUFFER = 24 FT  
BUFFER PROVIDED = 24 FT  
AVERAGE BUFFER = 30 FT  
BUFFER PROVIDED = 30.5 FT

**LEGEND**

-  = GREEN SPACE (LANDSCAPE AREA)
-  = TREE PRESERVATION
-  = BERM



NORTH



**CONCEPT B**  
MEDIUM FAMILY RESIDENTIAL

05.13.2015

INTERSTATE HWY 394

WAYZATA BOULEVARD

HOLDRIDGE TERRACE



**MODEL A**



The Edgebrook

**MODEL B**



The Edgebrook

**DIMENSIONS**

MODEL A = 30'W X 50'D  
MODEL B = 40'W X 50'D  
MODEL C = 34'W X 60'D



The Elmwood IV



The Elmwood IV

# CITY OF WAYZATA



## PLANNING DEPARTMENT

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### MEMORANDUM

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**To:** Planning Commission  
**From:** Jeff Thomson, Director of Planning and Building  
**Date:** December 30, 2015  
**Re:** Election of Chair and Vice-Chair

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Article V of the Planning Commission's Bylaws state that the Planning Commission shall elect Officers at its first meeting in January. The two officer positions on the Planning Commission are the Chair and Vice Chair. Article V of the Bylaws is provided below.

The Planning Commission should elect a Chair and Vice chair from among its members.

#### ARTICLE V – OFFICERS

- 5.1 Officers. The officers of the Planning Commission must be members of the Planning Commission and shall consist of a Chair and Vice Chair.
- 5.2 Duties of the Chair: The Chair will preside at all meetings, appoint Planning Commission members to committees, appoint Planning Commission representatives, rule on procedural questions (subject to reversal by a two-thirds vote of those Planning Commission members in attendance), meet with all newly appointed Planning Commission members, exercise the same voting rights as other Commission members and carry out such other duties as are assigned by the Planning Commission or by the City Council.
- 5.3 Duties of the Vice Chair. The Vice Chair will act in the absence or inability to act of the Chair and in such instances the Vice Chair will have the powers and functions of the Chair.
- 5.4 Terms. The Planning Commission's officers will be elected by Planning Commission members by open ballot at the first regular meeting in January or as soon as practical after that date. The terms of office for the Chair and Vice Chair will be for one (1) year and no member will hold an office for more than three (3) consecutive years. The Commission's officers will serve until replaced by duly elected officers or until they are no longer members of the Planning Commission.

- 5.5 Vote. Candidates for office receiving a majority vote of the entire membership of the Planning Commission (four) will be declared duly elected.
- 5.6 Date of Office: Newly elected officers will take office at the first regular meeting after being elected.
- 5.7 Vacancies. Vacancies occurring in the offices of the Planning Commission will be filled as soon as practical by the election procedure specified in these bylaws.