

Wayzata Planning Commission

Meeting Agenda

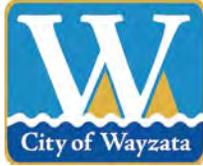
Monday, June 6, 2016

Community Room,
600 Rice Street East,
Wayzata, Minnesota

- 7:00 p.m.**
- 1. Call to Order & Roll Call**
 - 2. Approval of Agenda**
 - 3. Approval of Minutes**
 - a. None
 - 4. Public Hearing Items:**
 - a. Reger Residence – 426 Ferndale Rd S
 - Impervious surface variance
 - b. Trekeld – 353 Park St E
 - Impervious surface variance
 - c. Beacon Five – 529 Indian Mound E
 - Rezoning, PUD concept plan, height variance, and shoreland impact plan/CUP
 - 5. Old Business Items:**
 - a. Meyer Place on Ferndale – 105 Lake St E
 - Rezoning, Concurrent PUD concept and general plan of development, design review, variance, and shoreland impact plan/CUP
 - 6. Other Items:**
 - a. Review of Development Activities
 - b. Other items
 - 7. Adjournment**

NOTES:

¹ Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



**Planning Report
Wayzata Planning Commission
June 6, 2016**

Project Name: Reger Residence
Applicant Keenan & Sveiven, Inc.
Addresses of Request: 426 Ferndale Rd S
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: June 6, 2016
City Council Review: TBD
“60 Day” Deadline: June 24, 2016

Development Application

Introduction

The applicant, Keenan and Sveiven, is requesting a variance from the maximum impervious surface requirements in the R-1A zoning district from 20% to 21.6%.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
426 Ferndale Rd S	01-117-23-44-0002	426 Ferndale Road South, LLC

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	R-1A/Low Density Single Family Estate District
Comp plan designation:	Estate Single Family
Total site area:	136,960 square feet (3.14 acres)

Project Location

The property is located on Ferndale Road South between Highcroft Road and Pillsbury Drive.

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Impervious Surface Variance: The R-1A zoning district establishes a maximum impervious surface coverage of 20%. The applicant is proposing impervious surface coverage of 21.6% of impervious surface coverage on the lot, which requires a variance.

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Single-family homes	R-1A/Low Density Single Family Estate District	Estate Single Family
East	Lake Minnetonka	N/A	N/A
South	Single-family homes	R-1A/Low Density Single Family Estate District	Estate Single Family
West	Single-family homes	R-1A/Low Density Single Family Estate District	Estate Single Family

Public Hearing Notice

The public hearing notice was published in the *Wayzata Sun Sailor* on May 26, 2016. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on May 26, 2016.

Analysis of Application

Proposed Plan

In May 2014, the City issued a building permit for construction of a new house at 426 Ferndale Road South. The plans submitted with the building permit showed that the new home and all other improvements would meet the 20% maximum impervious surface requirement in the R-1A zoning district. The applicant is proposing changes to the site plan which would increase the amount of impervious surface and exceed the 20% coverage requirement. The increase in impervious surface is requested mainly for the driveway, which has been consolidated from two access points to only one, but the resulting driveway is larger. The applicant has submitted a site plan which shows all site improvements for the property. The proposed plan includes 29,535 square feet of impervious surface, or 21.6% coverage, which is 2,143 square feet more than is allowed by the zoning district.

Stormwater Management

The City's stormwater management plan states that redevelopment of a property which results in greater impervious surface coverage than allowed by the zoning ordinance requires that the stormwater for the *entire* site, not just the area that exceeds the requirement. The applicant has submitted a stormwater management plan which has been reviewed the City Engineer. The proposed plan includes six stormwater devices (BMPs) that would capture the stormwater from all impervious surfaces. The BMPs would include four underground stormtech chambers, a rock trench, and a dry creek bed. The stormwater management plan would provide infiltration, and treatment of phosphorus and sediment, and meets the city's stormwater management rules.

Although the City's water resources management plan provides standards for exceeding the maximum impervious surface requirements, the R-1A zoning district ordinance does not provide any credits or reductions for stormwater treatment of impervious surfaces that exceed the maximum coverage. Therefore the proposed site improvements require a variance, even though the proposal would meet the city's stormwater management requirements.

Applicable Code Provisions for Review

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.

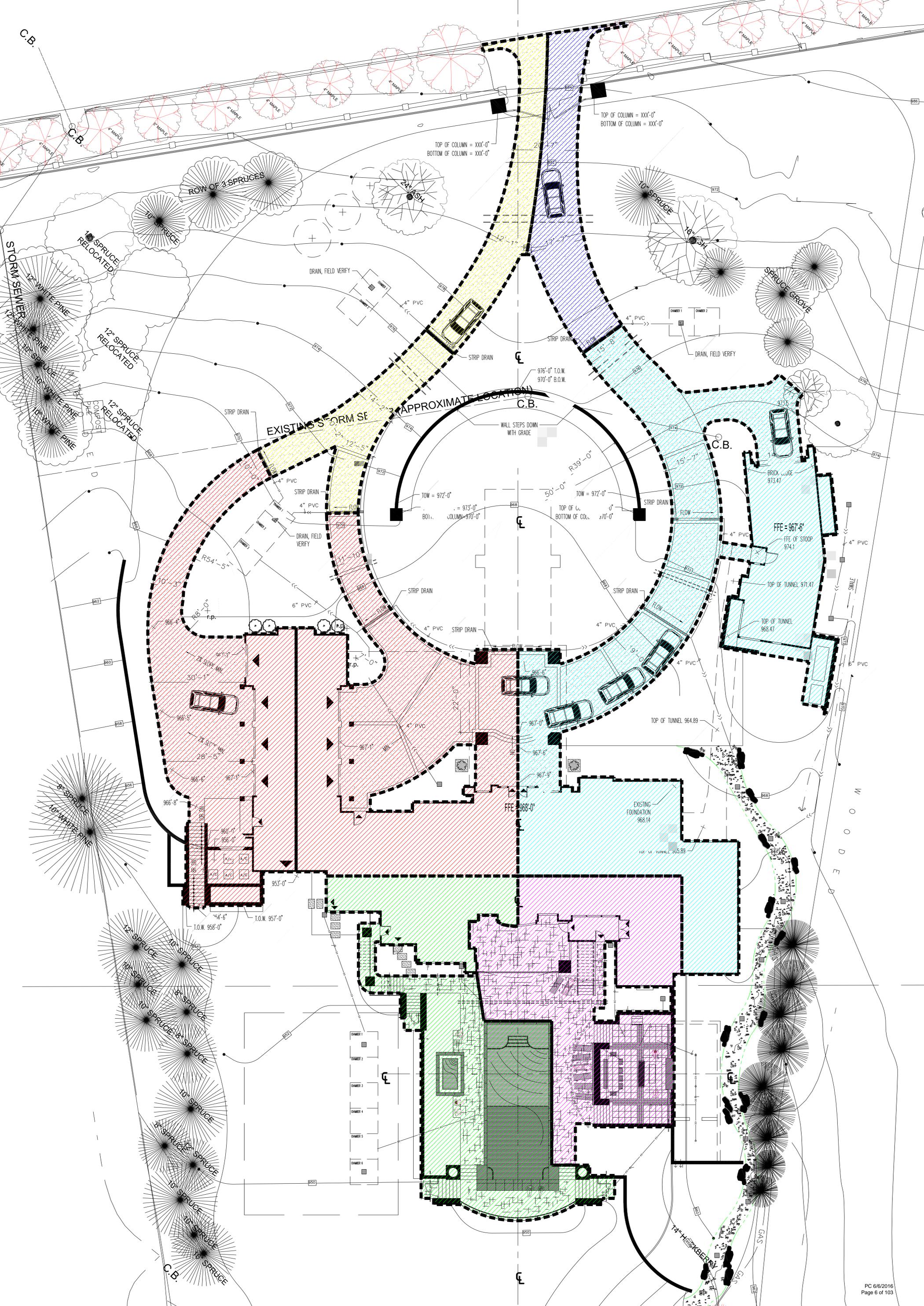
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

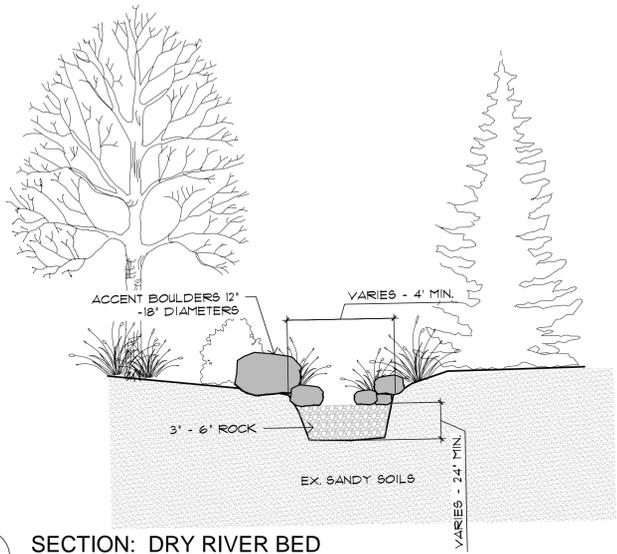
Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

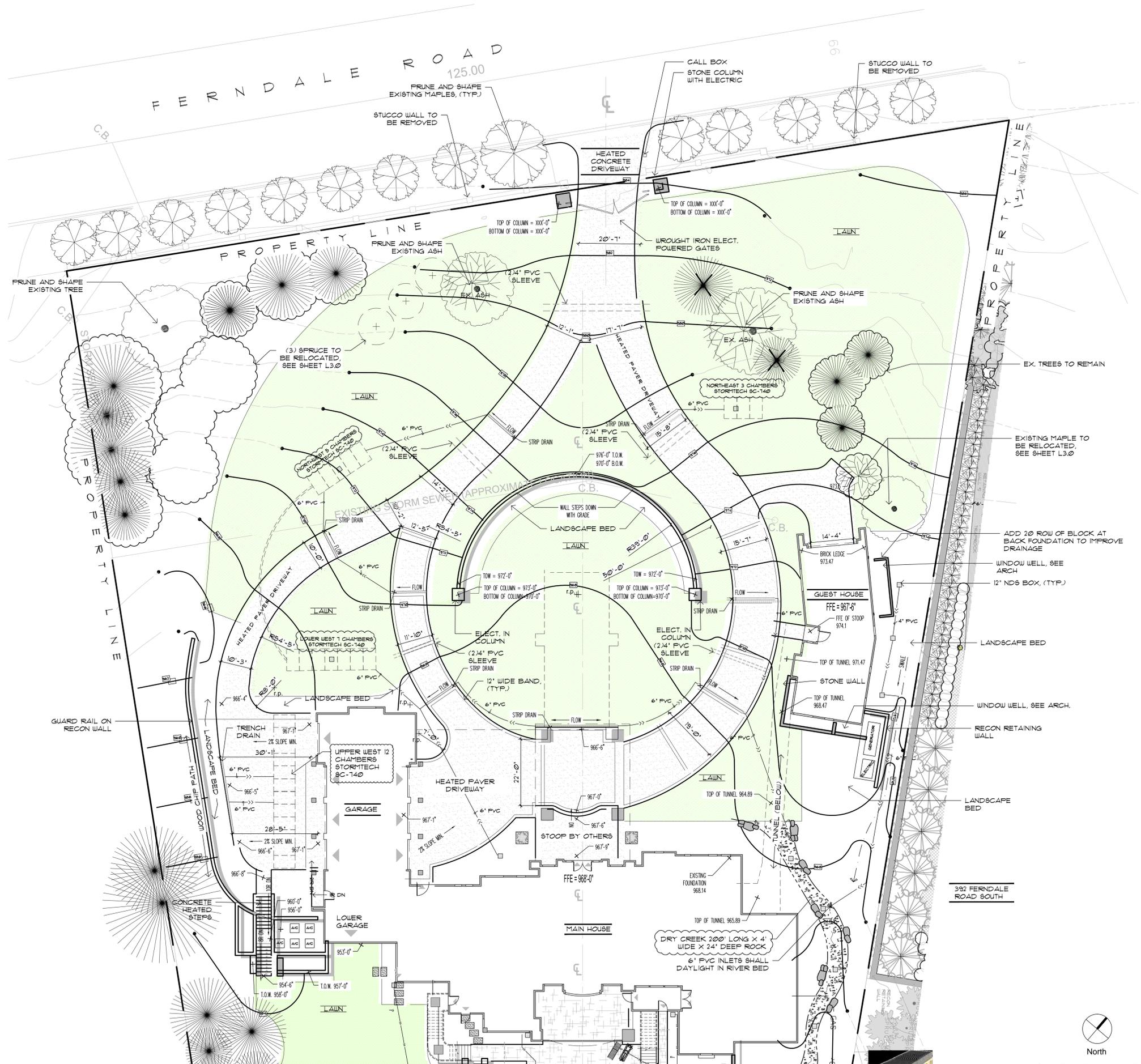
Attachments

- Attachment A: Plans





2 SECTION: DRY RIVER BED
Scale: 1/4" = 1'-0"



1 PLAN: FRONT ENTRY SITE AND LAYOUT
Scale: 1/16" = 1'-0"



Keenan & Sveiven, Inc.
15119 Minnetonka Blvd.
Minnetonka, Minnesota 55345
Telephone 952.475.1229
Facsimile 952.475.1667

DESIGN · BUILD
Landscape Architecture

Reger Residence
426 Ferndale Road
Wayzata, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Landscape Architect under the laws of the State of Minnesota.

Todd Irvine
reg. no. 46008
date: 2015-03-XX

drawn: BMD
date: 2015-03-XX
revisions:

Site, Layout, &
Utility Plan:
Front

L2.0

REGER RESIDENCE

16-020

4/18/16

SITE INFO: TOTAL LOT AREA = 3.14 ACRES (136,960 SQ. FT.)
 ALLOWABLE IMPERVIOUS = 20% = 27,392 SQ. FT.
 PROPOSED IMPERVIOUS = 29,535 SQ. FT. (21.6%)
 EXCESS IMPERVIOUS = (29,535 - 27,392) = 2,143 SQ. FT.

STORMWATER RE-DEVELOPMENT THAT RESULTS IN EXCESSIVE
 REQUIREMENTS: IMPERVIOUS COVERAGE MUST MEET 60% TP
 AND 85% TSS REDUCTION FOR ENTIRE SITE

WAYZATA STORMWATER MANAGEMENT PLAN
 (PART 7.3.1) INDICATES FIRST 1" FROM
 IMPERVIOUS TREATED ON SITE WILL PROVIDE
 85% TP AND 95% TSS REMOVALS.

TOTAL REQUIRED WATER QUALITY VOLUME:

$$V_{REQ.} = A_{IMP.} \times 1" = (29,535 \text{ SQ. FT.}) \times (1 \text{ IN.}) \times (1 \text{ FT.} / 12 \text{ IN.})$$

$$V_{REQ.} = 2,461 \text{ CU. FT.}$$

PROPOSED DRAINAGE AREAS:	DRAINAGE AREA	CONTRIBUTING IMPERVIOUS AREA	PERCENT TOTAL IMPERVIOUS	REQUIRED VOLUME
1.	NORTHEAST	1,466 SQ. FT.	4.96 %	122 CU. FT.
2.	NORTH WEST	2,218 SQ. FT.	7.51 %	185 CU. FT.
3.	WEST	9,508 SQ. FT.	32.19 %	792 CU. FT.
4.	SOUTH	4,616 SQ. FT.	15.63 %	384 CU. FT.
5.	EAST CREEK BED	8,037 SQ. FT.	27.21 %	669 CU. FT.
6.	LAUREL PATIO	3,690 SQ. FT.	12.50 %	310 CU. FT.
	(TOTAL)	(29,535)	(100)	(3,462)

STORMWATER
SYSTEM
DESIGN:

1. NORTHEAST SYSTEM

REQUIRED VOLUME: 122 CU. FT.

PROPOSED BMP: STORMTECH SC-740 CHAMBER

PROPOSED WATER QUALITY VOLUME:

$$(40.80 \text{ CU. FT. BELOW OUTLET}) \times 3 \text{ CHAMBERS} = 122.4 \text{ CU. FT.}$$

2. NORTHWEST SYSTEM

REQUIRED VOLUME: 185 CU. FT.

PROPOSED BMP: STORMTECH SC-740 CHAMBER

PROPOSED WATER QUALITY VOLUME:

$$(40.80 \text{ CU. FT. BELOW OUTLET}) \times 5 \text{ CHAMBERS} = 204 \text{ CU. FT.}$$

3. WEST SYSTEM

REQUIRED VOLUME: 792 CU. FT.

PROPOSED BMP: STORMTECH SC-746 CHAMBER

PROPOSED WATER QUALITY VOLUME:

$$(40.80 \text{ CU. FT. BELOW OUTLET}) \times 19 \text{ CHAMBERS} = 775 \text{ CU. FT.}$$

4. SOUTH SYSTEM

REQUIRED VOLUME: 384 CU. FT.

PROPOSED BMP: STORMTECH SC-740 CHAMBER

PROPOSED WATER QUALITY VOLUME:

$$(40.80 \text{ CU. FT. BELOW OUTLET}) \times 10 \text{ CHAMBERS} = 408 \text{ CU. FT.}$$

5. EAST DRY CREEK BED

REQUIRED VOLUME: 669 CU. FT.

PROPOSED BMP: ROCK INFILTRATION TRENCH

PROPOSED WATER QUALITY VOLUME:

$$V = (\text{LENGTH}) \times (\text{WIDTH}) \times (\text{DEPTH}) \times (\text{VOIDS})$$

$$V = (200 \text{ FT.}) \times (4 \text{ FT.}) \times (2 \text{ FT.}) \times (40\%)$$

$$V = 640 \text{ CU. FT.}$$

6. LAUREL PATIO

REQUIRED VOLUME: 310 CU. FT.

PROPOSED BMP: ROCK INFILTRATION BED

PROPOSED WATER QUALITY VOLUME:

$$V = (\text{AREA}) \times (\text{DEPTH}) \times (\text{VOIDS})$$

$$V = (576 \text{ SQ. FT.}) \times (3 \text{ FT.}) \times (40\%)$$

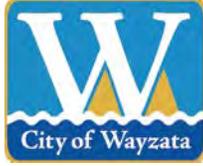
$$V = 691 \text{ CU. FT.}$$

SUMMARY:

<u>AREA</u>	<u>BMP</u>	<u>PROVIDED VOLUME</u>
1	STORMTECH	122 CU. FT.
2	STORMTECH	204 CU. FT.
3	STORMTECH	715 CU. FT.
4	STORMTECH	408 CU. FT.
5	ROCK TRENCH	640 CU. FT.
6	ROCK BED	<u>691 CU. FT.</u>

TOTAL = 2,840 CU. FT.

(MIN. REQUIRED VOLUME: 2,461 CU. FT.)



**Planning Report
Wayzata Planning Commission
June 6, 2016**

Project Name: Threlkeld Garage
Applicant Celia K. Threlkeld
Addresses of Request: 353 Park St E
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: June 6, 2016
City Council Review: TBD
“60 Day” Deadline: July 5, 2016

Development Application

Introduction

The property owner, Celia Threlkeld, is proposing to demolish the existing detached garage on the property at 353 Park Street East, and construct a new detached garage on the back of the property.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
353 Park St E	06-117-22-21-0042	Celia K. Threlkeld

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	R-3A/Single and Two Family Residential District
Comp plan designation:	Low Density Single Family
Total site area:	9,816 square feet (0.23 acres)

Project Location

The property is located on Park Street E between Klapprich Park and Barry Avenue.

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Impervious Surface Variance: The R-3A zoning district establishes a maximum impervious surface coverage of 35%. The applicant is proposing to add a detached garage and driveway which would provide 41.9% of impervious surface coverage on the lot, which requires a variance.

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Single-family homes	R-3A/Single and Two Family Residential District	Low Density Single Family
East	Single-family homes	R-3A/Single and Two Family Residential District	Low Density Single Family
South	Klapprich Park	R-3A/Single and Two Family Residential District	Park

West	Single-family homes	R-3A/Single and Two Family Residential District	Low Density Single Family
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Public Hearing Notice

The public hearing notice was published in the *Wayzata Sun Sailor* on May 26, 2016. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on May 26, 2016.

Analysis of Application

Proposed Plan

The applicant is proposing to construct a new detached garage on the back of the property. The existing detached garage would be demolished, and the new garage would be located on the northeast corner of the lot. The garage would be accessed by a new driveway that would be constructed from Park Street that is in the same general location as the existing garage. The proposed garage would meet the setback requirements and maximum garage size requirements outlined in the zoning ordinance.

Impervious Surface Coverage

The site currently contains 3,631 square feet of impervious surface, which equates to 37% impervious surface coverage on the site. The existing impervious surface exceeds the 30% maximum requirements in the R-3A zoning district. By the City's non-conforming use ordinance, the property owner is allowed to maintain the existing impervious surface coverage, but it may not be expanded or enlarged. Since the new detached garage is larger, is located further back on the lot, and had a larger side loading doorway and driveway, the proposed plan would increase the impervious surface on the site by 479 square feet. The resulting impervious surface coverage would increase from 37% to 41.9%, which requires a variance.

Alternative Plan

The applicant has submitted an alternative plan which shows how the same size three car attached garage could be constructed on the front of the property to meet the setback requirements, but would significantly reduce the size of the driveway. The alternative plan would meet the 30% maximum impervious surface requirement. However, the applicant has indicated that she does not prefer the alternative plan as it would locate the garage between the street and the house.

Applicable Code Provisions for Review

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and

- (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. “Practical difficulties,” as used in connection with the granting of a variance, means that:
- (i) the property owner’s proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person’s land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

- Attachment A: Applicant’s Narrative
- Attachment B: Plans

5-6-2016

353 Park St. E

Celia Threlkeld

Description of Request:

We would like to build a new garage to fit our family of 3 drivers; two of which currently park on the street. We would like the garage behind our home to preserve the architectural character of our neighborhood. This will push our hardcover from 36.99% (its original 3631 SF) to 41.87% (4110 SF). The alternative to building the new structure in back near the site of the original garage, is a garage built in the front which would require us to remove a 36" Silver Maple tree, and obstruct our neighbor's views of Klapprich Park. Additionally, Park Street has a lot of bus and car pool traffic due to West Middle School, which makes it less safe backing out from a front load garage. Lastly, snow removal in the winter causes problems with our need to park on the street.

The new structure will be designed by the same architect that designed our recent 2016 Mayors Preservation winning remodel award. It will include shake siding with a shed dormer to match our home. We believe our home looks extremely small in scale compared to the new homes that have been built in the last 10 years; some of which are at 50% hardcover.

Attached is a copy of both site proposals.

Sincerely,



Celia Threlkeld

612-867-8244

HARDCOVER CALCULATIONS:
THREE CAR GARAGE IN THE REAR

1st choice

LOT AREA: 9816 SF

HARDCOVER ALLOWANCES:

MAX. LOT COVERAGE @ 30% - 2945 SF

EXIST. IMPERVIOUS SURFACE @ 36.99% - 3631 SF

PROPOSED IMPERVIOUS SURFACE @ 41.87% - 4110 SF

PROPOSED LOT COVERAGE:

EXISTING STRUCTURE: 1197 SF

PROPOSED GARAGE: 736 SF

PROPOSED LOT COVERAGE: 1933 SF

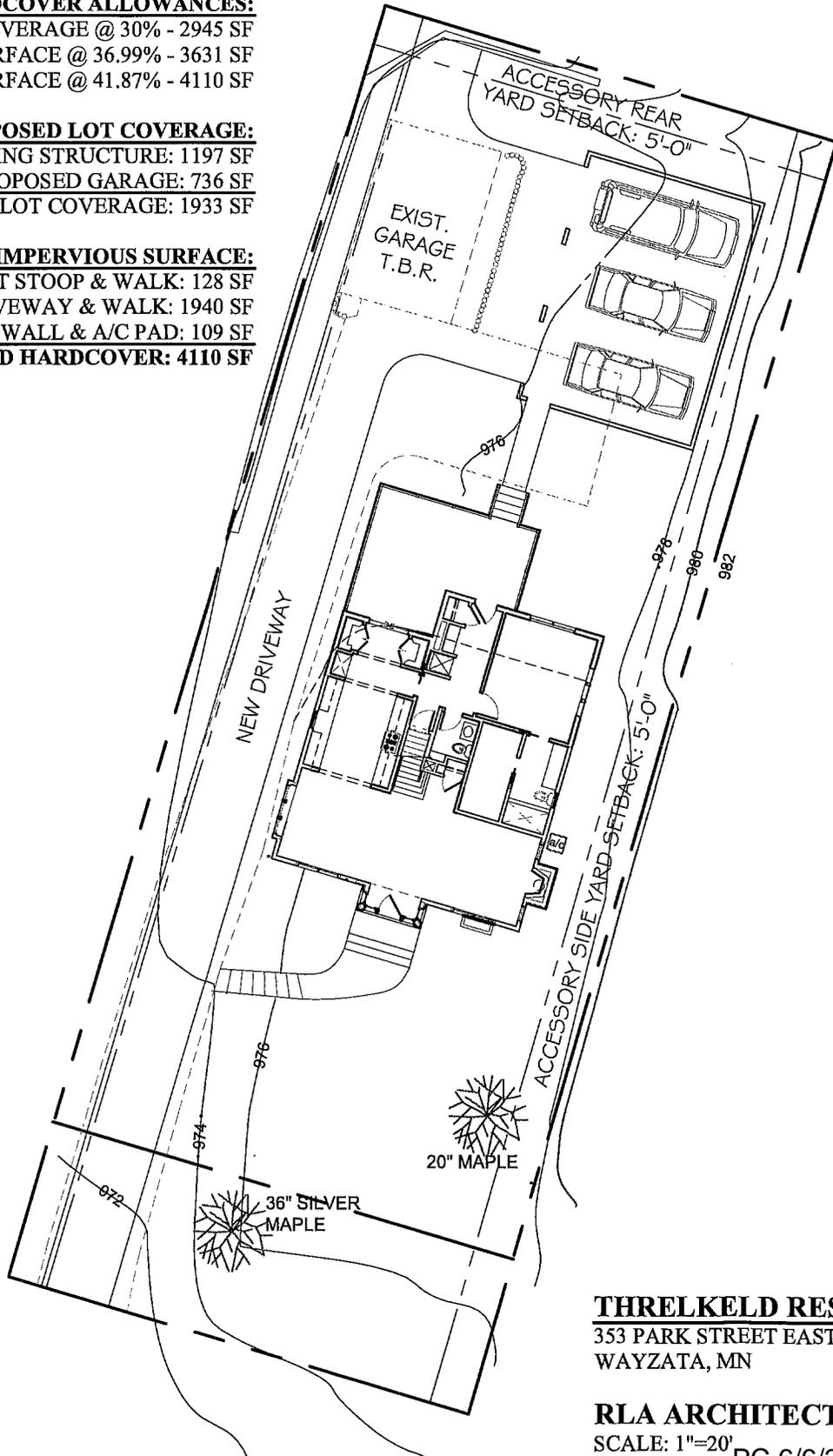
PROPOSED IMPERVIOUS SURFACE:

EXIST. FRONT STOOP & WALK: 128 SF

PROPOSED DRIVEWAY & WALK: 1940 SF

EXISTING RETAINING WALL & A/C PAD: 109 SF

TOTAL PROPOSED HARDCOVER: 4110 SF



THRELKELD RESIDENCE
353 PARK STREET EAST
WAYZATA, MN

RLA ARCHITECTS

SCALE: 1"=20'
FEBRUARY 11, 2019

PG 6/6/2016
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Alternative Plan

HARDCOVER CALCULATIONS: THREE CAR GARAGE IN THE FRONT

LOT AREA: 9816 SF

HARDCOVER ALLOWANCES:

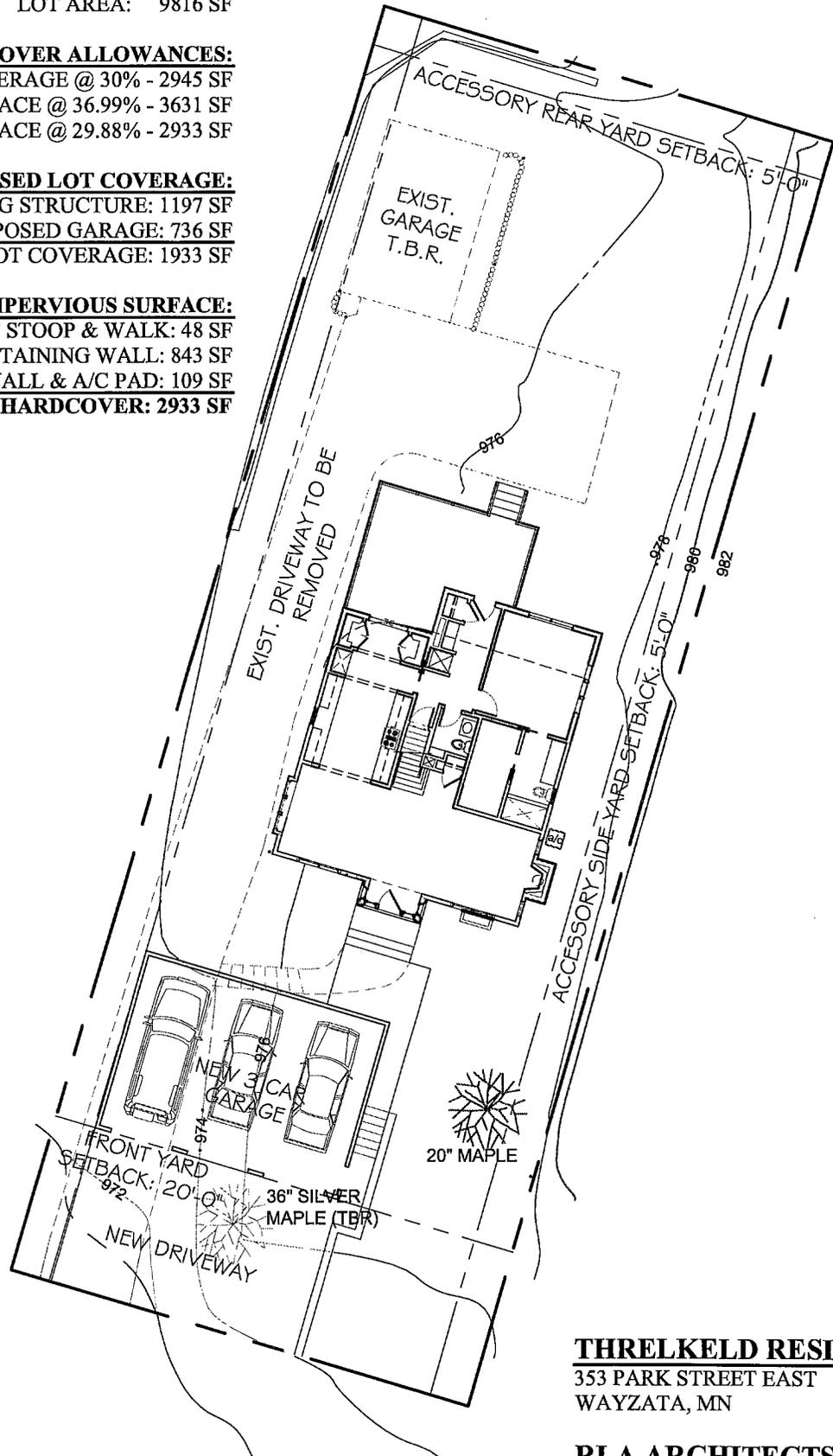
MAX. LOT COVERAGE @ 30% - 2945 SF
EXIST. IMPERVIOUS SURFACE @ 36.99% - 3631 SF
PROPOSED IMPERVIOUS SURFACE @ 29.88% - 2933 SF

PROPOSED LOT COVERAGE:

EXISTING STRUCTURE: 1197 SF
PROPOSED GARAGE: 736 SF
PROPOSED LOT COVERAGE: 1933 SF

PROPOSED IMPERVIOUS SURFACE:

FRONT STOOP & WALK: 48 SF
PROPOSED DRIVEWAY & RETAINING WALL: 843 SF
EXISTING RETAINING WALL & A/C PAD: 109 SF
TOTAL PROPOSED HARDCOVER: 2933 SF

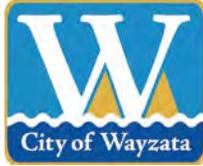


THRELKELD RESIDENCE

353 PARK STREET EAST
WAYZATA, MN

RLA ARCHITECTS

SCALE: 1"=20'
FEBRUARY 2016



**Planning Report
Wayzata Planning Commission
June 6, 2016**

Project Name: Beacon Five
Applicant Ron Clark Construction
Addresses of Request: 529 Indian Mound E
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: June 6, 2016
City Council Review: TBD
“60 Day” Deadline: June 14, 2016

Development Application

Introduction

The applicant, Ron Clark Construction, has submitted a development application to develop the property located at 529 Indian Mound E. The project includes the construction of a three story mixed use building consisting of five residential condominiums, 600 square feet of office space, and 11 underground parking.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
529 Indian Mound E	06-117-22-24-0067	R.E.C, Inc.

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	C-1/Office and Limited Commercial District
Comp plan designation:	Mixed Use Commercial
Total site area:	10,897 square feet (0.25 acres)

Project Location

The property is located on Indian Mound E between Walker Avenue and Minnetonka Avenue.

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Rezoning from C-1 to PUD/Planned Unit Development: The property is currently zoned C-1, and the applicant is requesting a rezoning to PUD.
- B. PUD Concept Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The applicant is requesting concept plan review prior to submitting the full development application for general plan of development and design review.
- C. Variance from the maximum building height requirement: The maximum building height in the PUD zoning district is 35 feet and 3 stories, whichever is less. The proposed building would be 3 stories in height, but would be 38.9 feet in height, which requires a variance.
- D. Shoreland Impact Plan/Conditional Use Permit for the building height: In addition to the PUD zoning district, the shoreland overlay district also includes a maximum height requirement of 35 feet. The shoreland ordinance states that building heights of over 35 feet may be allowed through approval of a shoreland impact plan/conditional use permit.

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Keller Williams office building	C-1/Office and Limited Commercial Building	Mixed Use Commercial
East	Keller Williams office building	C-1/Office and Limited Commercial Building	Mixed Use Commercial
South	Wayzata Place Condominiums	C-4/Central Business District	Central Business District
West	Garrison Landing (under construction)	PUD/Planned Unit Development	Mixed Use Commercial

Public Hearing Notice

The public hearing notice was published in the *Wayzata Sun Sailor* on May 26, 2016. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on May 26, 2016.

Analysis of Application

Planned Unit Development Process

The Planned Unit Development zoning district is unique compared to a standard zoning district in that the development plans that are submitted with an application and approved by the City Council, are the regulating documents for the zoning of the property. Any future changes to the development must be consistent with the approved plans, or the property must apply to amend the PUD.

In Wayzata, there is a two phase review of a PUD request. The first phase of PUD review is the concept plan, which provides a general schematic design of the project, but does not need to provide all of the detailed engineering and architectural design of the buildings. The intent of the concept plan is to review the larger project characteristics such as consistency with the Comprehensive Plan, consistency with the purpose and intent of the PUD district, and compliance with the general standards outlined in the PUD zoning district. The second phase of a PUD review is the general plan, which is a more detailed review of the site and building design.

On recent project, the City has received applications for concurrent review of both the concept and general plans of development, which is allowed by the PUD ordinance. In this case, City staff, the Planning Commission, and the City Council review both the general framework of the PUD and the details of the project at the same time. The applicant is requesting review of only the concept plans for the current application. If the City Council approves the PUD rezoning and concept plans (including the other land

use applications), the applicant would submit the general plan and design review for future review by City staff, the Planning Commission, and the City Council.

City staff has reviewed the pertinent information and City Code requirements for the PUD concept plan, and provides the following analysis and information:

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Mixed Use Commercial. The Mixed Use Commercial land use category was created to reflect the reality that many traditional service commercial uses along the Wayzata Blvd. and Central Avenue corridors, in addition to smaller commercial parcels within the Bluff neighborhood, may wish to evolve over time to include a mixture of commercial, limited office, and residential uses. This Mixed Use Commercial category provides flexibility to property owners who wish to incorporate a residential component with retail or other commercial uses on their site.

Zoning

The property is currently zoned C-1/Office and Limited Commercial District. The following table outlines the requirements of the C-1, PUD, and Shoreland District:

	C-1 Zoning	PUD Zoning	Shoreland Overlay District	Proposed PUD
Permitted Uses	Mixed use with upper story residential and ground floor office or service commercial	Shall be consistent with the Comp Plan	N/A	Mixed use building with office and residential
Density	N/A	Shall be consistent with the Comp Plan	N/A	20 units/acre
Height	3 stories and 35 feet, whichever is less	3 stories and 35 feet, whichever is less	35 feet	38.9 ft.
Floor Area Ratio	2.0	No maximum	N/A	1.4 approx)
Impervious Surface	No maximum	No maximum	25% 75% with stormwater management 100% with shoreland impact plan/CUP	60%
Lot	50%	No maximum	N/A	50%

Coverage				
Setbacks	10 ft. all property lines	Same as imposed by zoning district	N/A	Front: 20 ft. Sides: 10 ft. Rear: 25 ft

The proposed project would meet all of the C-1 zoning district requirements except for permitted uses and building height. The C-1 zoning district requires office and service commercial uses on the main level, and only allows residential uses on the upper floors. The proposed building one have 600 square feet of office and one residential unit on the main level, and four residential units on the upper two stories. The proposed building height of 38.9 feet would require a variance from both the C-1 and PUD requirements. Therefore, the applicant is requesting the PUD rezoning to allow flexibility to the main level uses in the building. If the building included office or service commercial uses on the main level, the PUD zoning would not be required.

The PUD zoning district is an ordinance that can be used to allow for greater flexibility in development by incorporating design modifications from the strict application of the standard zoning district requirements. It is not the intent of the PUD ordinance to not apply any standards to a development project. Rather, it allows modifications of the strict standards for projects that meet a specific purpose, as outlined in “Applicable Code Provisions” section of this report. In addition, the PUD zoning district establishes general standards for a PUD, which are also outlined below.

Building Height

In addition to the PUD requests, the applicant is also requesting approval of a height variance and shoreland impact plan/conditional use permit to exceed the maximum building height of the PUD zoning and Shoreland Overlay districts. Both the PUD zoning district and Shoreland Overlay district establish a maximum building height of 35 feet. By ordinance, the building height is measured from the average grade around the building to the top of the coping of a flat roof. The proposed building would be 36.9 feet from average grade to the top of the flat roof. But the proposed building would also have a two foot tall parapet wall along the perimeter of the building. By definition, the building height is measured to the coping on the parapet. Therefore, the code defined building height is 38.9 feet. The proposal requires a variance from the C-1 building height requirement and a shoreland impact plan/conditional use permit for the Shoreland Overlay district requirement.

Applicable Code Provisions for Review

Amendments to Zoning Ordinance (Section 801.03.2.F): City Council has the discretion and authority under state law and City Code to amend the City’s Zoning Ordinance. Minn. Stat. Section 462.357; Wayzata City Code Section 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Section 462.357, Subd. 4. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission and City

Council shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.

- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.
- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
- H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
- I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.

- J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
- K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.

- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

Shoreland Impact Plan/Conditional Use Permit: Section 801.91.19 states that landowners or developers desiring to develop land or construct any dwelling or any other artificial obstruction on land located within any Shoreland District within the City of Wayzata shall first submit a conditional use permit application as regulated by Section 801.04 of this Ordinance and a plan of development, hereinafter referred to as "Shoreland Impact Plan", which shall set forth proposed provisions for sediment control, water management, maintenance of landscaped features, and any additional matters intended to set forth proposed changes requested by the applicant and affirmatively disclose what, if any, change will be made in the natural condition of the earth, including loss of change of earth ground cover, destruction of trees, grade courses and marshes. The plan shall minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible, and shall affirmatively provide for the relocation or replanting of as many trees as possible which are proposed to be removed. The purpose of the shoreland impact plan shall be to eliminate and minimize as much as possible potential pollution, erosion and siltation.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

- Attachment A: Applicant's Narrative
- Attachment B: PUD Plans



7500 West 78th Street
Edina, MN
55439

(952) 947-3000
fax (952) 947-3030

Thursday, April 14, 2016

Jeff Thomson
City of Wayzata
600 Rice Street East
Wayzata, MN 55391

RE: Beacon Five

Subject: City Application Submittal

Dear Jeff,

Attached is our application for the proposed Beacon Five Condo/Office Building. Tim Whitten from Whitten Associates is the project Architect and designer and will be handling the application and City Meeting Process.

The site is 10,897.43 square feet located at 529 Indian Mound Street East and owned by Ron Clark Construction.

The existing zoning is C-1A, NEIGHBORHOOD OFFICE AND LIMITED COMMERCIAL DISTRICT. This application requests a rezoning to Planned Unit Development Concept Plan.

A previous concept was presented to the Planning Commission and City Council that included 5 residential condominiums as three story building over structured parking. This proposal did not include an office component.

After reviewing the comments from the Planning Commission, City Council and Neighbors this Concept plan was redesigned in response.

The revised proposal now includes 5 Condominiums, Office, and Common Area with 11 enclosed parking spaces.

This revised concept has several notable differences and additions including:

- An approximately 600 square foot Office space has been added with a separate entrance from Indian Mound Street East. This is a similar size Office as our WayPoint project with 8 Condominiums.
- The building size has been reduced to 50% of the site area.
- The roof top patio of the previous proposal has been removed eliminating a request for a Conditional Use Permit for stairs and elevator penthouse taller than five feet.
- The building massing now steps back at the third level opposed to cantilevering forward.





7500 West 78th Street
Edina, MN
55439

(952) 947-3000
fax (952) 947-3030

The requests for approval to the City are as noted below:

- 1) A Rezoning of the property to a Planned Unit Development District.
- 2) A Shoreland Conditional Use Permit for impervious surface coverage above 25%, this proposal shows approx. 60% impervious surface coverage.
- 3) A Variance for building height above 35 feet, we are requesting a roof height of 37' with parapets up to 39'.
 - a. Our hardship is that existing grade of the site rises 12 feet from the southwest corner to the northeast corner.
 - b. We have limited access to the site, the only location for the access to the Lower Level parking garage is from Indian Mound St. E. The City Ordinance states a maximum driveway slope of 10%, this limits the depth of the garage slab as does the existing water table.
 - c. As a reference the adjacent Garrison Landings project received a height variance up to 40 feet.

In compliance with the City procedures for “Concept Plan of Development submitted for a PUD” we have included the below listed information for your review and approval:

- 1) General Information
 - a. Landowner:
 - i. R.E.C. Inc./dba Ron Clark Construction
 - ii. 7500 West 78th Street Edina, MN 55439
 - b. Applicant Name
 - i. Beacon Five LLC
 - ii. 7500 West 78th Street Edina, MN 55439
 - c. Land Planner/Project Architect:
 - i. Whitten Associates, Inc.
 - ii. 4159 Heatherton Place Minnetonka, MN 55435
 - d. Engineer & Surveyor:
 - i. Alliant Engineering, Inc.
 - ii. 233 Park Avenue South Minneapolis, MN 55415
 - e. Evidence of property ownership
 - i. See attached copy of Title Insurance for Property
- 2) Present Status
 - a. Address & Legal Description of Property:
 - i. 529 Indian Mound Street East
 - b. Existing Zoning Classification:
 - i. The existing zoning is C-1A, NEIGHBORHOOD OFFICE AND LIMITED COMMERCIAL DISTRICT. This application requests a rezoning to Planned Unit Development Concept Plan.
 - c. Map of Adjacent Properties:
 - i. See attached documents from Whitten Associates



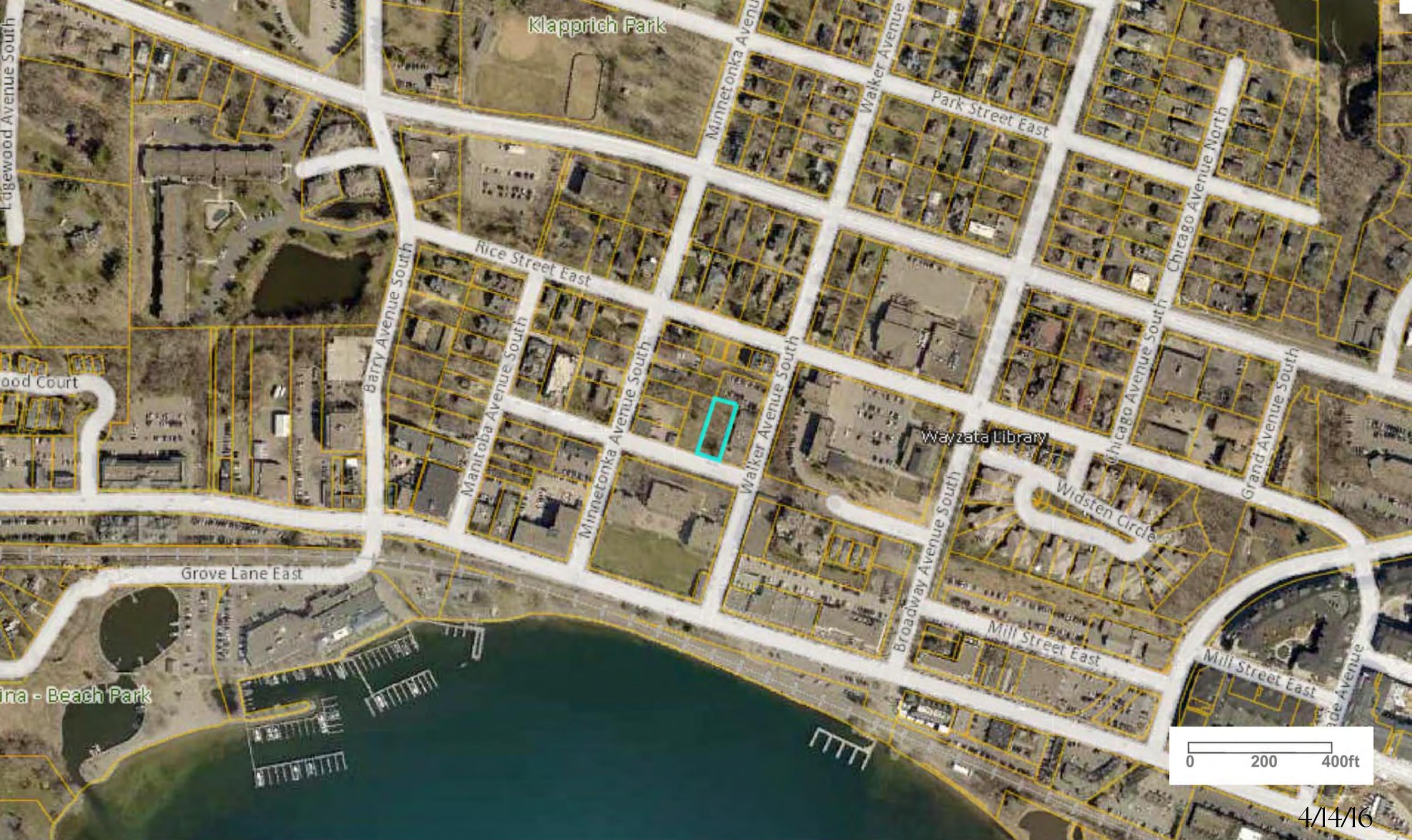
- 3) A written statement generally describing the proposed PUD
 - a. See introduction of this letter.
- 4) Site Conditions
 - a. See attached Survey from Alliant Engineering
 - b. Soil Conditions
 - i. See attached soils information from Braun Engineering
- 5) Schematic Drawings
 - a. See attached documents from Whitten Associates
- 6) A Statement of the total estimated number of dwelling units or Square Footage
 - a. Site Area is identified on Survey from Alliant Engineering
 - b. Building Areas & SF are identified on Whitten Associates Plans
- 7) Schedule for Development
 - a. 04/15/16 City Application Submittal
 - b. 05/16/16 Planning Commission Meeting
 - c. 06/07/16 City Council Meeting
 - d. 08/01/16 Final City Approvals & Construction Documents
 - e. 09/01/16 Building Permit
 - f. 09/01/17 Estimated Building Completion and Occupancy
- 8) Public or Common Space
 - a. No Public Space is included on our project.
- 9) Project Restrictive Covenants
 - a. The five living units will be part of a homeowners association which will be developed as part of our project documents and recorded prior to first occupancy.
- 10) Schematic Utility Plans
 - a. See attached Site Plan from Alliant Engineering
- 11) Additional information required by Planning Commission

Thank you for your consideration and we look forward to presenting **Beacon Five**.

Sincerely,

Michael Roebuck
Ron Clark Construction

Timothy Whitten
Whitten Associates



Klapprich Park

Park Street East

Rice Street East

Wayzata Library

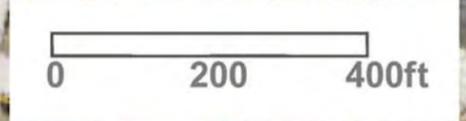
Grove Lane East

Widsten Circle

ina - Beach Park

Mill Street East

Mill Street East



4/14/16

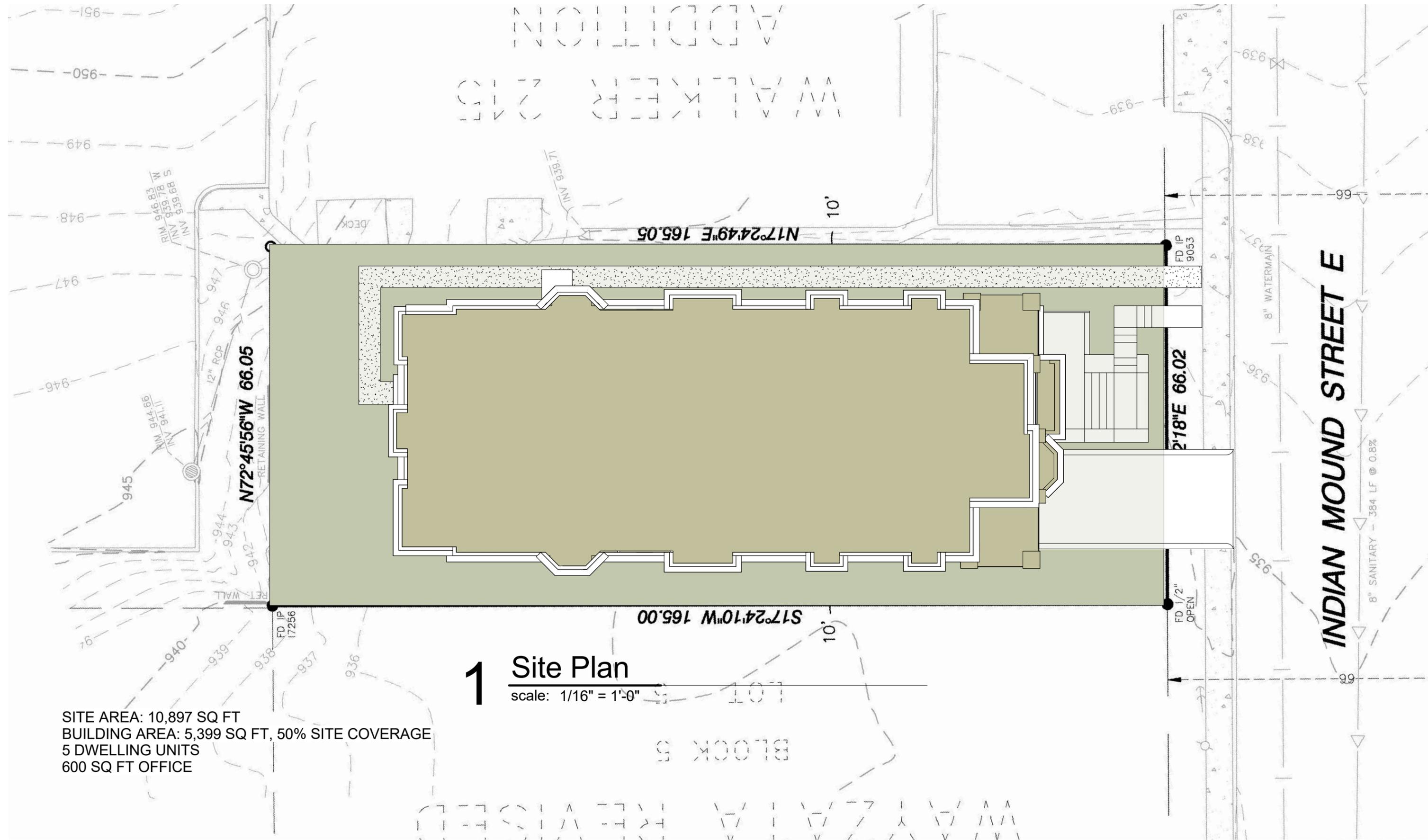
WAYPOINT

GARRISON
LANDING

4/14/16



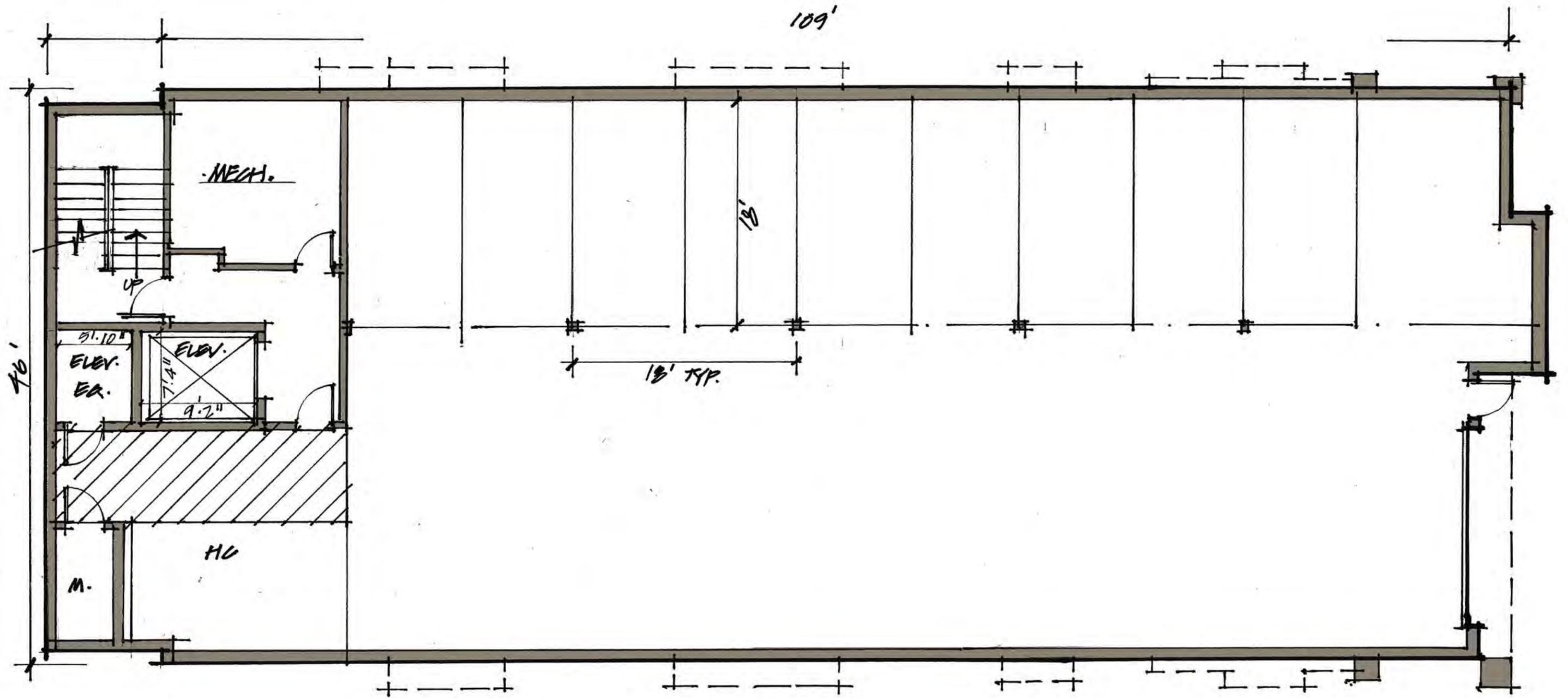
4/14/16



1 Site Plan
 scale: 1/16" = 1'-0"

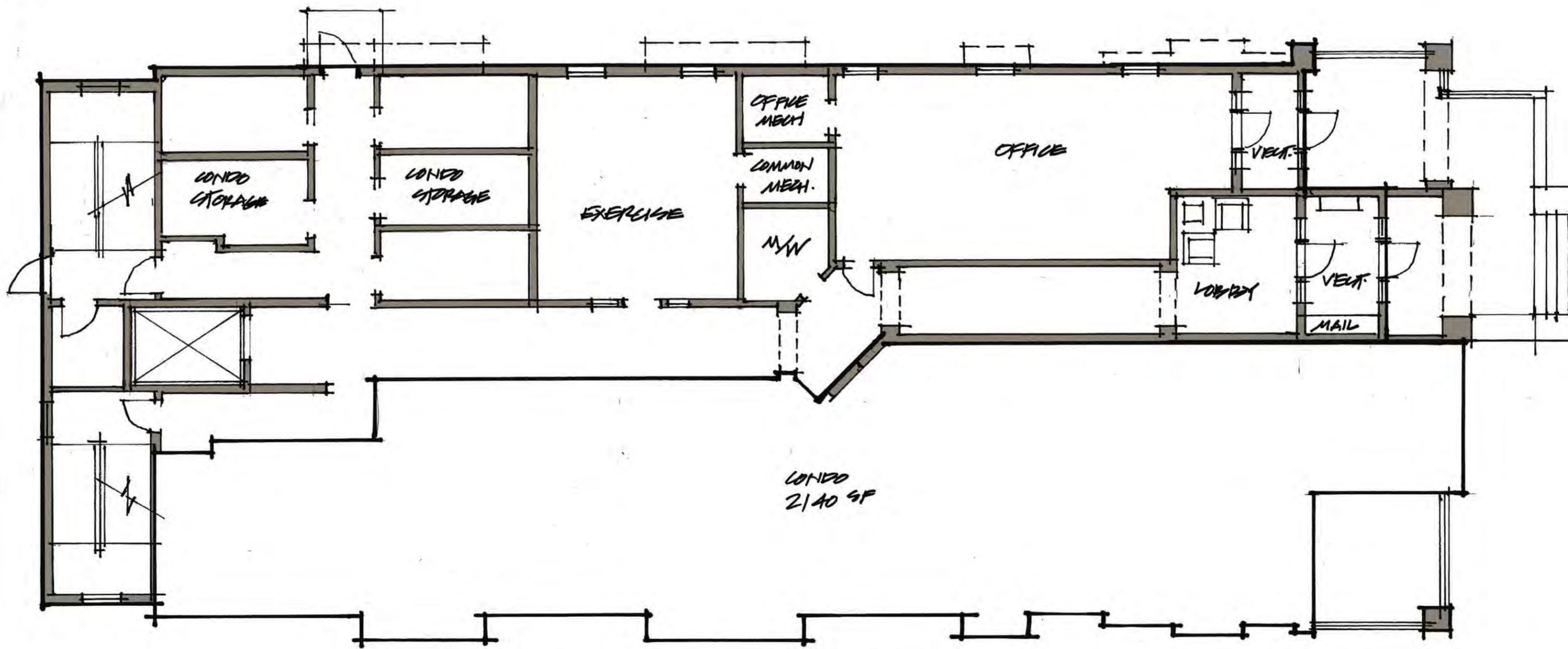
SITE AREA: 10,897 SQ FT
 BUILDING AREA: 5,399 SQ FT, 50% SITE COVERAGE
 5 DWELLING UNITS
 600 SQ FT OFFICE

14 APR 2016



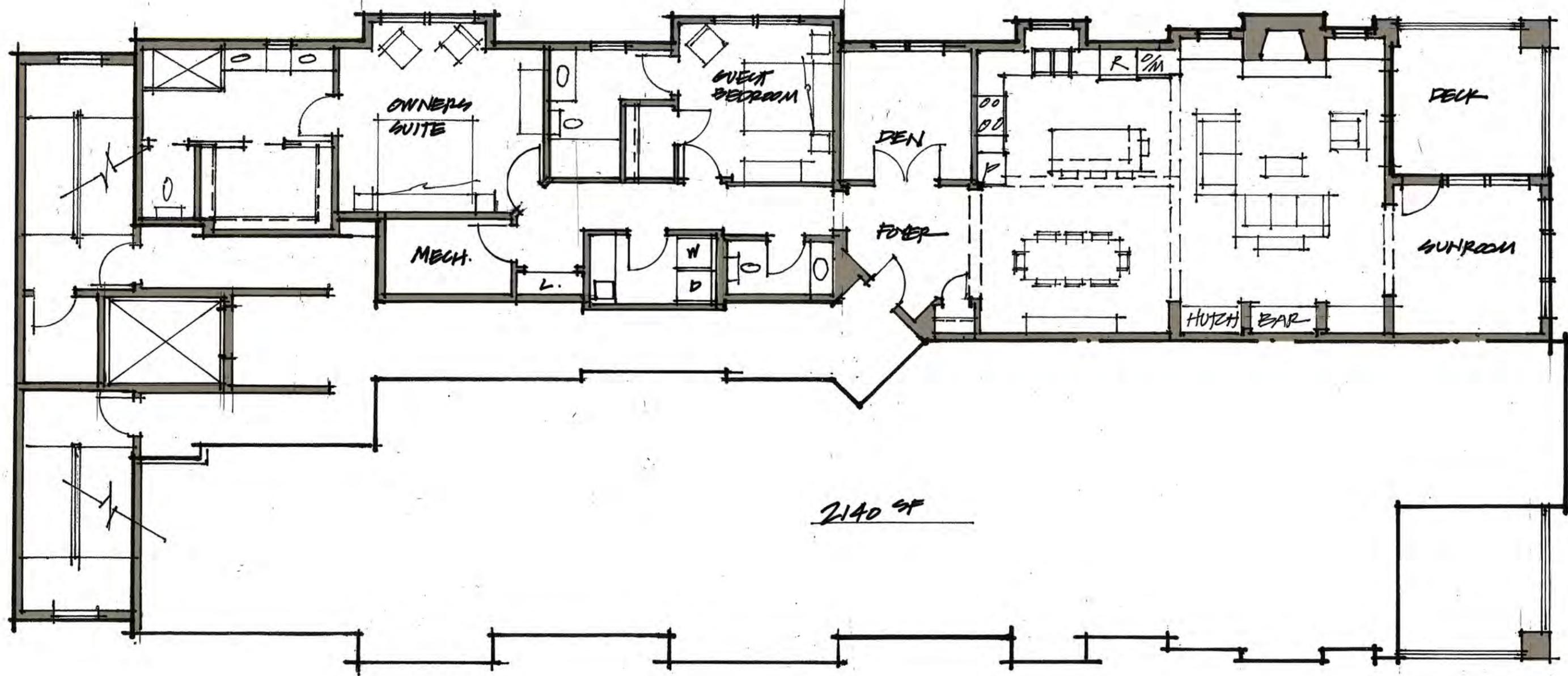
PARKING LEVEL
 1/8"=1'-0"

4/14/16



MAIN LEVEL
 1/8"=1'-0"

4/14/16



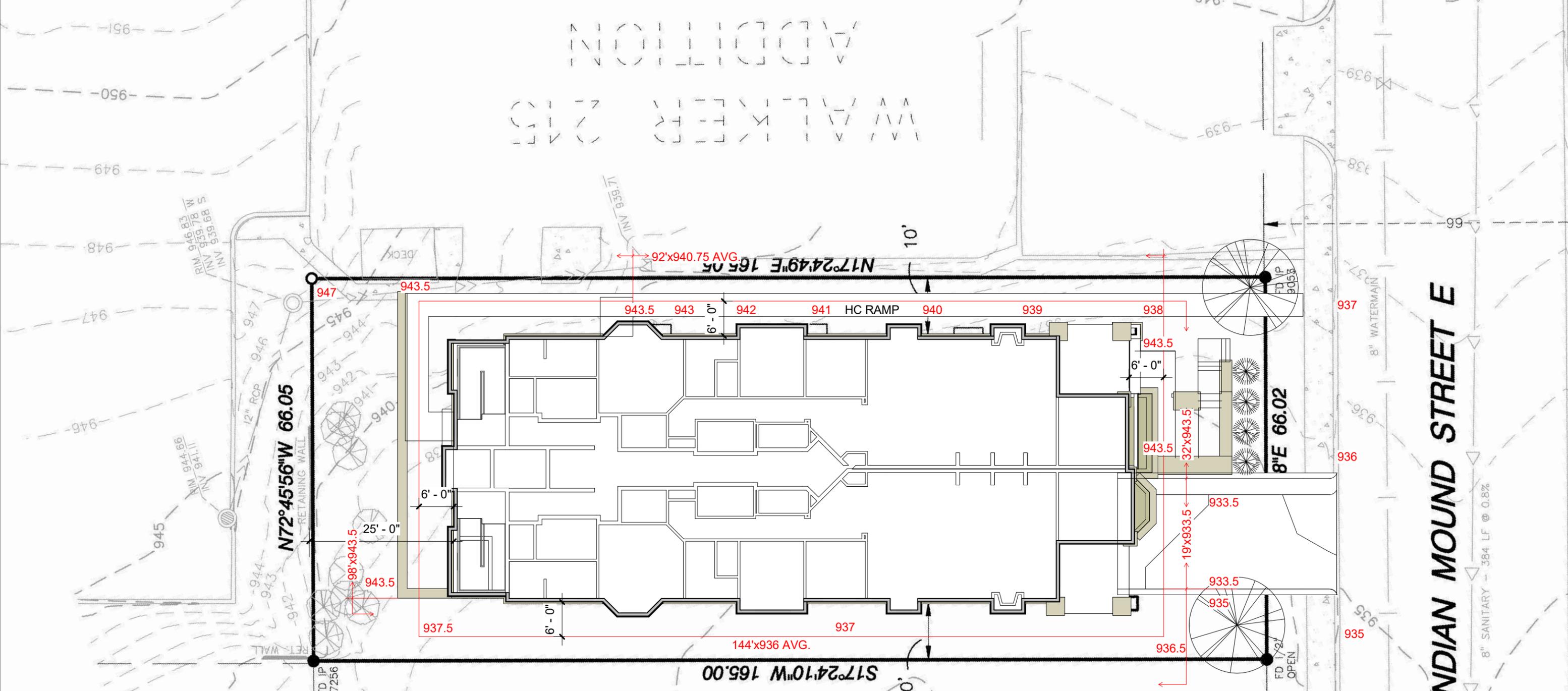
UPPER LEVELS 2/3
1/8"=1'-0"

4/14/16



STREETSCAPE AT INDIAN MOUND

4/14/16



1 Site Plan

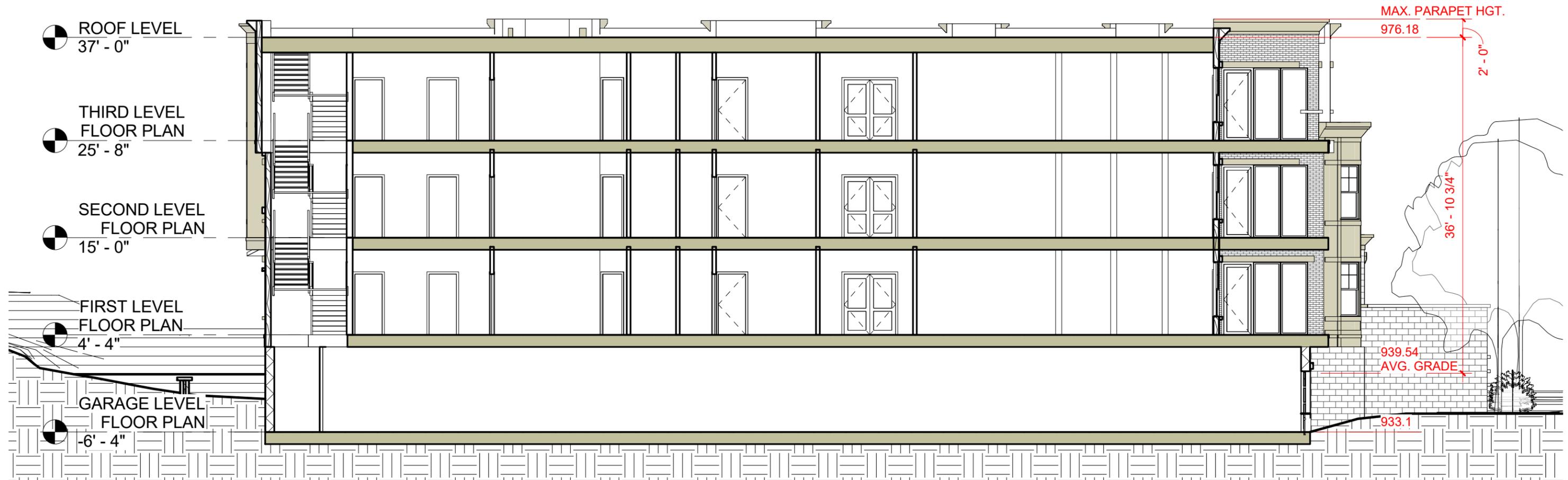
scale: 1/16" = 1'-0"

SITE AREA: 10,897 SQ FT
 BUILDING AREA: 5,399 SQ FT, 50% SITE COVERAGE
 5 DWELLING UNITS
 600 SQ FT OFFICE

AVERAGE GRADE EXHIBIT

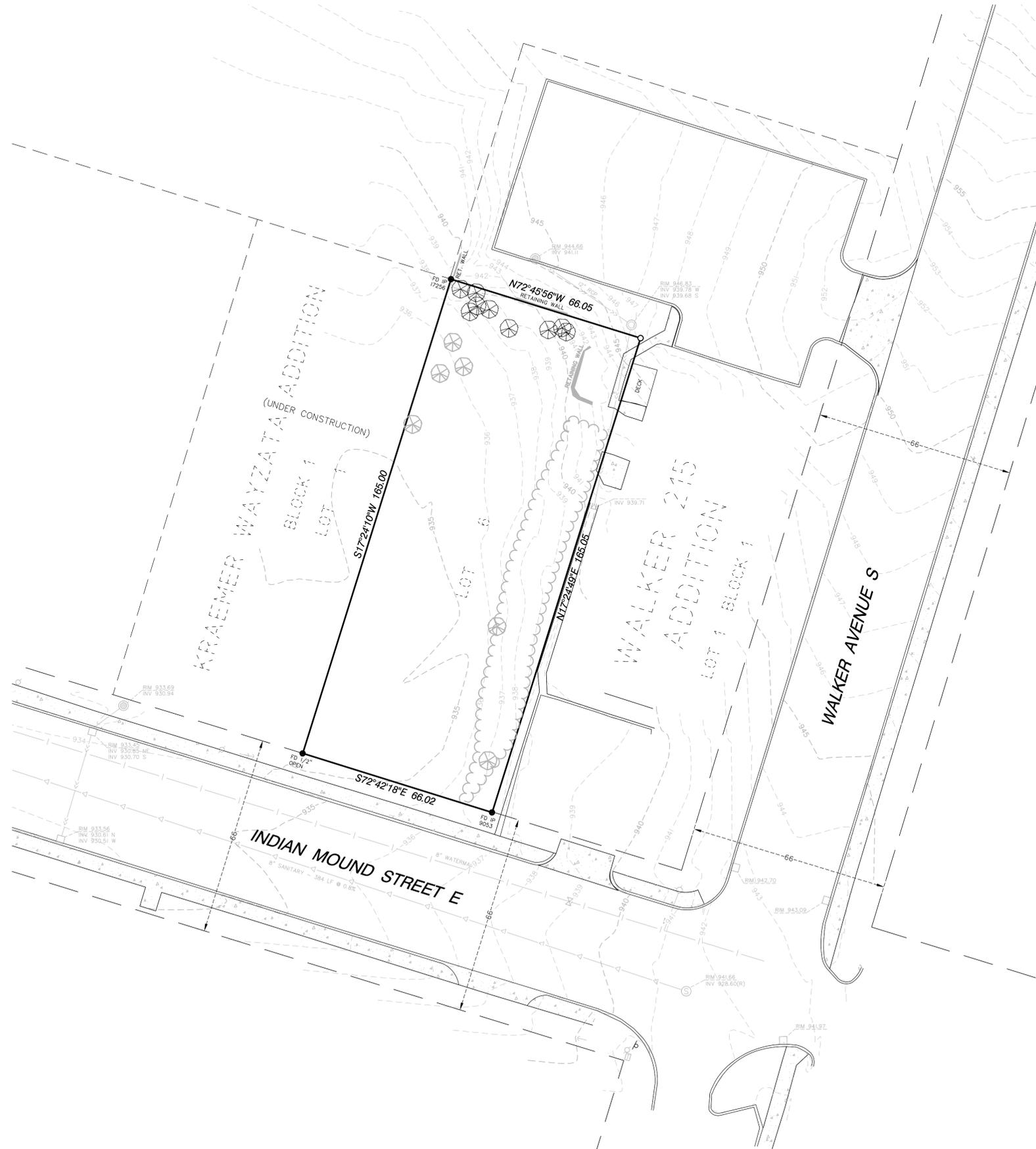
92'x40.75	=	3749
32'x43.5	=	1392
19'x33.5	=	636.5
144'x36	=	5184
98'x43.5	=	4263
385'	=	15224.5
939.54 AVG. GRADE ELEV.		
976.43 ROOF HGT. ELEV.		
36.89' ROOF HGT. FROM AVG. GRADE		
38.89' PARAPET HGT. FROM AVG. GRADE		

2 JUN 2016



1 BUILDING SECTION
 scale: 3/32" = 1'-0"

2 JUN 2016



VICINITY MAP



LEGAL DESCRIPTION

Lot 6, Block 5, Wayzata Revised, Hennepin County, Minnesota.

NOTES

1. This survey was prepared from legal descriptions supplied and our in house records and may not depict all easements, appurtenances or encumbrances affecting the property. The spot elevations, contours, existing features and utility as-built information are based on an boundary/topo survey dated 10/28/14, prepared by EVS, Inc. Alliant Engineering performed a boundary and partial topo verification of trees and features 11/06/15.
2. We did not investigate or call Gopher One Call to locate underground utilities. Contact Gopher State One Call (<http://www.gopherstateonecall.org/>) or call (651) 454-0002) to verify critical utilities prior to construction or design.
3. The orientation of this bearing system is based on the Hennepin County Coordinate System NAD83. Coordinates are Hennepin County ground feet, based on the Minnesota Coordinate System, Southern Zone, NAD83, 1986 (non HARN values). Coordinate values dated January, 2005 and Vertical Datum is NAVD88
4. All distances are in feet.
5. The area of the above described property is 10,897 square feet or 0.250 acres.

LEGEND

- SET CAP IRON MONUMENT 18425
- FOUND IRON MONUMENT
- HYDRANT
- ⊗ WATER VALVE
- ⊕ SANITARY MANHOLE
- CATCH BASIN
- ⊠ ELECTRIC BOX
- ⊛ LIGHT
- ⊙ STORM MANHOLE
- ⊚ POWER POLE
- ⊛ WATER SERVICE
- GAS
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- FENCE
- CONCRETE



ALLIANT ENGINEERING
 233 Park Ave S, Ste 300
 Minneapolis, MN 55415
 612.758.3080 MAIN
 612.758.3099 FAX
 www.alliant-inc.com

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

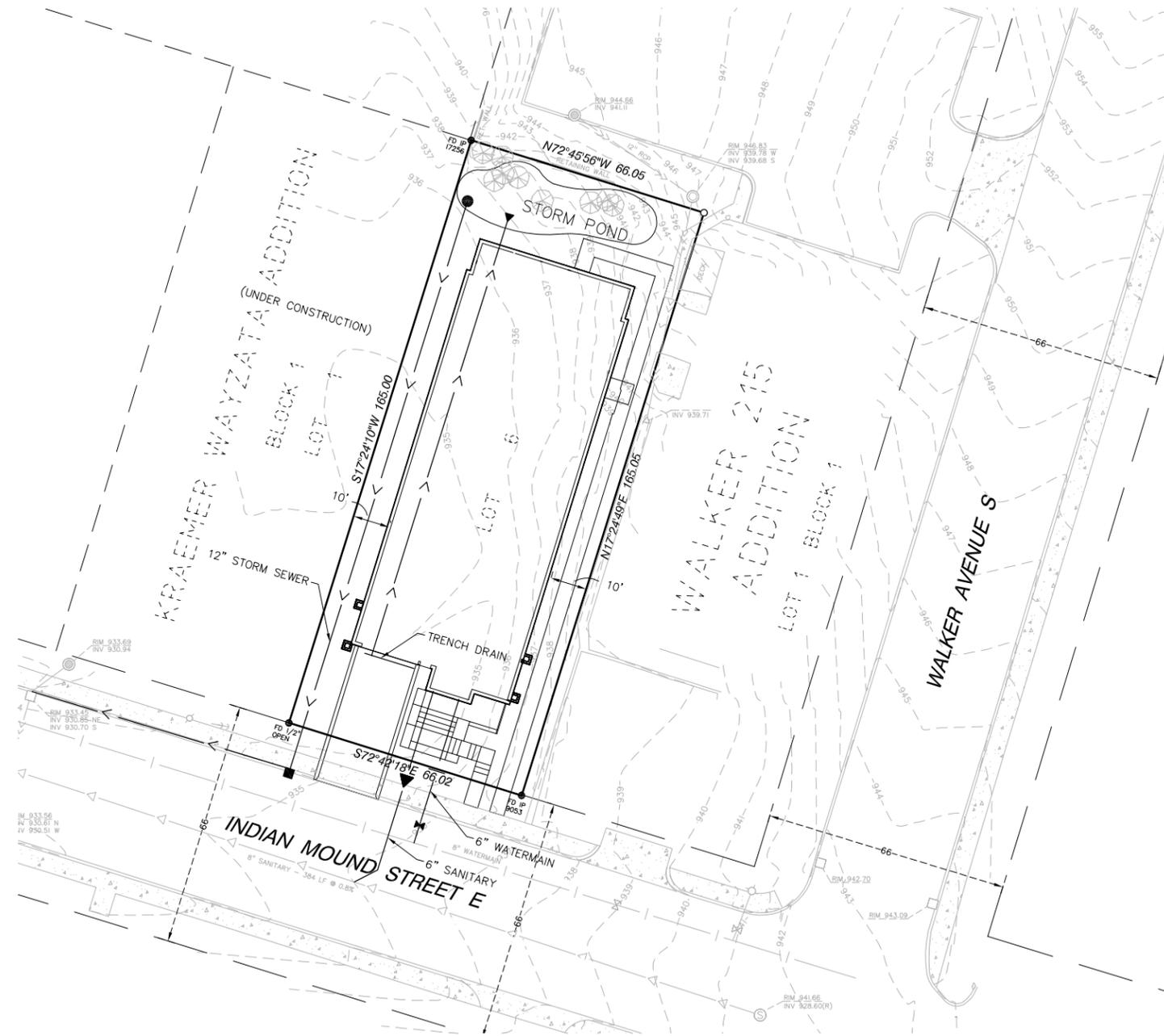
DENNIS B. OLMSTEAD
 Print Name
FOR REVIEW
 Signature
 Date _____ License Number _____

BEACON FIVE
 539 INDIAN MOUND EAST
 WAYZATA, MN

DRAWN BY	DE, GB
CHECKED BY	DBO
DATE ISSUED	4/4/16
SCALE	1"=20'
JOB NO.	150125
BOOK	1

Drawing name: X:\2015\150125\survey\existing conditions\150125surv.dwg Apr 04, 2016 7:51am

Drawing name: X:\2015\150125\plan sheets\Concept\Submit\150125util.dwg, Apr 15, 2016 - 2:45pm



PC 6/6/2016
 Page 2 of 103
 SHEET 1 OF 2



ALLIANT
 ENGINEERING
 233 Park Ave S, Ste 300
 Minneapolis, MN 55415
 612.758.3080 MAIN
 612.758.3099 FAX
 www.alliant-inc.com

BEACON FIVE
 529 INDIAN MOUND EAST
 WAYZATA, MINNESOTA
RON CLARK CONSTRUCTION
CONCEPT UTILITY PLAN

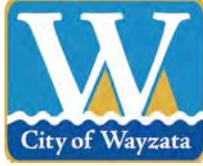
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

DAVID NASH, PE
 Date _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
12/2/15	CONCEPT
1/13/16	NEW BUILDING FOOTPRINT

PROJECT TEAM DATA
 DESIGNED: DN
 DRAWN: DPE
 PROJECT NO: 150125



**Planning Report
Wayzata Planning Commission
June 6, 2016**

Project Name: Meyer Place on Ferndale
Applicant Homestead Partners, LLC
Addresses of Request: 105 Lake Street E
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: June 6, 2016
City Council Review: July 5, 2016
“60 Day” Deadline: July 26, 2016

Development Application

Introduction

The applicant, Homestead Partners, and the property owner, Meyer Properties have submitted a development application to redevelop the Meyer Brothers Dairy site at 105 Lake Street E. The development application includes demolition of the existing vacant commercial building and construction of a three story building with a rooftop penthouse for a roof top terrace. The building would include 23 residential condominium units and 59 enclosed parking spaces. The applicant has submitted revised plans for the project, which are included on Attachment A.

Revised Building Plans

The Planning Commission reviewed the development application at its meeting on May 2, 2016. The applicant has revised the plans for the project based on the discussion at the Planning Commission meeting. The following summarizes the changes:

- The building setback from the north property line has been increased from 15 feet to 20 feet to meet the minimum requirement. The proposal no longer requires a setback variance.
- The building has been reduced in height from 4 stories to 3 stories.
- The number of condominium units has remained the same.
- The number of underground parking stalls has been increased from 48 stalls to 59 stalls.
- The building continues to include a roof top terrace that would be served by a penthouse structure containing elevator, staircases, and restroom facilities.

- The surface parking stalls have been relocated from underneath the upper levels of the building to the back of the building.
- The landscape plans have been updated to provide enhanced streetscaping along Lake Street, including a wider sidewalk consisting of the City's sidewalk specifications, additional trees planted with tree grates, and enhanced landscaping along the ground level of the building and at the building entrance.

Additional Information

In addition to the revised building and civil engineering plans, the applicant has submitted cross sections of the proposed building and a shadow study outlining wintertime shading conditions onto surrounding properties.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
105 Lake Street E	06-117-22-23-0034	Meyer Properties

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	C-4A/Limited Central Business District
Comp plan designation:	Central Business District
Total site area:	42,943 square feet (0.99 acres)

Project Location

The property is located on the northeast corner of the Lake St E/Ferndale Rd S intersection.

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Rezoning from C-4A to PUD/Planned Unit Development: The property is currently zoned C-4A, and the applicant is requesting a rezoning to PUD.
- B. Concurrent PUD Concept and General Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The applicant is requesting concurrent review of both the concept plan and general plan.
- C. Design Review: Construction of a new building requires design review by City Code Section 801.09.1.5.
- D. Variance from the maximum building height requirement: The maximum building height in the PUD zoning district is 35 feet and 3 stories, whichever is less. The proposed building would be 3 stories in height, but would be 35.4 feet in height, which requires a variance.
- E. Shoreland Impact Plan/Conditional Use Permit for the building height: In addition to the PUD zoning district, the shoreland overlay district also includes a maximum height requirement of 35 feet. The shoreland ordinance states that building heights of over 35 feet may be allowed through approval of a shoreland impact plan/conditional use permit.

F. Conditional Use Permit for the penthouse structure: The zoning ordinance establishes a maximum height of 40 feet for mechanical spaces and elevator penthouses. The proposed building includes a penthouse structure to serve a rooftop terrace which would be 16 feet above the roof the building with a total height of 51.4 feet. This requires a conditional use permit.

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Ferndale Ridge townhomes	PUD/Planned Unit Development	Medium Density Multiple Family
East	Wayzata Bay Car Wash	C-4A/Limited Central Business District	Central Business District
South	TCF office building	PUD/Planned Unit Development	Central Business District
West	Office building	PUD/Planned Unit Development	Central Business District

Analysis of Application

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The objective of the Central Business District land use category is to promote a diversity of retail, office, service, and residential land uses at a high level of development quality to enhance it as a regional destination. The Comprehensive Plan includes the follow “1st Tier” priorities for the Central Business District:

- Allow a mix of commercial, office, and residential uses that strengthen the CBD as the shopping, employment, and entertainment destination of Wayzata.
- Update development standards continually to assure the highest development quality possible for the Central Business District.
- Complement the CBD and its strong sense of place through land use choices, urban design principles, traffic, parking, and architectural style.
- Investigate strategies to increase retail vitality throughout the CBD. 2.5 Define and evaluate on-street/off-street parking needs consistent with land use, and requirements within the CBD so as to emphasize circulation ease and access control.

- Continue to provide a safe, comfortable, and attractive pedestrian scale environment through the enhancement of the pedestrian circulation system by improving sidewalks, walkways and street furniture; mitigating conflicts with traffic and street intersections, and by providing proper demarcation and sign control.
- Enhance the image and identity of the CBD by emphasizing street trees and landscaping elements.
- Plan for an orderly transition between the CBD development and adjacent residential neighborhoods.
- Accommodate traffic without negatively compromising the integrity of the downtown and its adjacent neighborhoods.
- Consider complementing abutting edges, both residential and retail/commercial.
- Consider public financial support that is fiscally responsible and provides value to the City's infrastructure and community systems.
- Consider ways to assist with redevelopment when properties become a liability to the community.
- Commercial buildings on Lake Street, west of Barry Avenue, should not be required to have a first floor retail use, although it is allowed and encouraged. Transparency requirements under the Lake Street District of the Design Standards remain in effect.
- Identify ecological and water quality impacts on the lake and other water bodies caused by proposed land use developments, for example stormwater runoff, and work to mitigate these impacts.

In addition, the Comprehensive Plan includes the following “2nd Tier” priorities:

- Plan development of parking so that it is not a focal point but rather placed behind buildings with appropriate buffers and landscaping.
- Adjust City's Zoning Ordinance to address concerns of sun-orientation on southern side of Lake Street by requiring upper story setbacks for all new construction to avoid shading the north side of Lake Street.
- Continue to evaluate ways to encourage a variety of housing options for upper-story housing.

- Consider 3rd story' uses with appropriate considerations for design and scale. Commercial and residential uses are allowed as a third story, but the third story must be set back significantly more from the front facade of the floor below.

Zoning

The Property is currently zoned C-4A/Limited Central Business District. The proposed project deviates from the requirements of the C-4A zoning district. Specifically, the C-4A district has a maximum building height requirement of 30 feet or 2 stories, whichever is less. In addition, the C-4A district requires that at least 50 percent of the building frontage on the Lake Street ground level must be used for retail or service commercial uses, and new buildings on Lake Street must be developed with more than one of the following uses: retail, service, residential, and office. The applicant has requested a rezoning to PUD for two reasons. The first reason is to allow for a taller building than is permitted in the C-4A zoning district. The second reason is that the proposed building would be 100 percent residential use, and would not meet the retail, service, and mixed use requirements of the C-4A zoning district.

The PUD zoning district is an ordinance that can be used to allow for greater flexibility in development by incorporating design modifications from the strict application of the standard zoning district requirements. It is not the intent of the PUD ordinance to not apply any standards to a development project. Rather, it allows modifications of the strict standards for projects that meet a specific purpose, as outlined in "Applicable Code Provisions" section of this report. In addition, the PUD zoning district establishes general standards for a PUD, which are also outlined below.

Building Height

The proposed building would be three stories and 35.4 feet in height. In addition to the three stories of condominiums, the proposed building also includes a rooftop terrace that would be served by a penthouse structure. The penthouse structure includes an elevator, two staircases for access, a corridor to access the staircase, and bathrooms. The elevator, staircases, and corridor are required by the building code if there is an occupy-able space on the roof. The state building code does not consider a penthouse structure as a story of the building. The height of the building, as defined in the City's zoning ordinance, is measured to the top of a flat roof of the highest story, which would be 35.4 feet. The proposed building requires a variance from the maximum height requirement from 35 feet to 35.4 feet.

The proposed penthouse structure extends 11 feet above the roof elevation with an additional 5 feet in height for the elevator overrun. The zoning ordinance establishes a maximum building height for mechanical spaces and elevator penthouses of 40 feet or five feet greater than the maximum building height, whichever is greater. The maximum height for the penthouse structure is therefore 40 feet, which the proposed structure would exceed by 6 feet to the penthouse roof and 11 feet to the elevator overrun. The proposed building requires a conditional use permit for the penthouse structure.

Design Review

The project is subject to the design standards for the Lake Street design district. A updated design review critique of the revised plans is included as Attachment B. The proposed project does not meet several of the design standards. The following summarizes the items that do not meet the design standards. The detailed information is included in the design review critique:

- Building recession: The third level of the proposed building is partially recessed from the second level. The third level along Lake Street is stepped back 10 feet for most, but not the entire length of the Lake Street elevation. The third level along Ferndale is not stepped back from the second level at all. The design standards require the entire third floor to be recessed from the lower floors. In addition, the second story must be recessed for 25 percent of the façade length, and the proposed second story is not recessed from the first level.
- Ground level expression: The proposed building does not include the required elements to distinguish the ground floor from the upper floors.
- Ferndale sidewalk: The proposed site plan includes a 12-foot wide sidewalk along Lake Street that would meet the design standards and the City's Lake Street sidewalk specifications. However, the Ferndale Road streetscape includes a 6-foot wide concrete sidewalk. The design standards require a sidewalk of at least 12 feet in width of exposes aggregate surface along all street frontages. There is not currently a sidewalk along either side of Ferndale Road that the proposed sidewalk could connect to. However, the Ferndale Road sidewalk would still require a deviation from the design standard.
- Mechanical equipment on the roof: The proposed plans include mechanical equipment that would be located on the roof of the building that would be screened by the penthouse structure and a parapet screening wall. The design standards for the Lake Street District state that there may be no mechanical equipment on the roof deck and all such equipment must be located within the interior of the structure.
- Roof color: The proposed building would have a flat roof which would be comprised of a tan colored membrane. The tan color would not meet the design standards which require a dark colored flat roof.
- Boulevard trees along Lake Street: The boulevard trees along Lake Street are placed 38 feet apart, which is greater than the 26 feet specified in the design standards.

Parking

The City's parking ordinance establishes the minimum number of parking stalls that must be provided in a development. For a multiple family development, the parking ordinance requires a minimum of two fee-free spaces for each dwelling unit, of which one must be enclosed. The proposed building consists of 23 dwelling units and 59

enclosed parking spaces within an underground parking garage. In addition, there would be 6 guest parking stalls in a surface parking stall located behind the building. The surface parking lot would be screened from the property to the north by a hedge of 8-foot tall arborvitae that would be planted along the north property line. The proposed project provides 2.5 stalls per dwelling unit, plus 6 additional guest parking stalls, which meets the requirements of the City's parking ordinance.

Site Access and Circulation

The proposed site plan includes one driveway access on the east side of the site from Lake Street. The driveway would provide access to the guest surface parking stalls and to the underground parking garage entrance, which would be located along the back side of the building.

Applicable Code Provisions for Review

Amendments to Zoning Ordinance (Section 801.03.2.F): City Council has the discretion and authority under state law and City Code to amend the City's Zoning Ordinance. Minn. Stat. Section 462.357; Wayzata City Code Section 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Section 462.357, Subd. 4. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission and City Council shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design

modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.

- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
- H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
- I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
- J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
- K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.

Concurrent PUD Plan – 801.33.5. In cases of single stage PUDs or for projects of limited size and scope, the applicant may, at the discretion of the Zoning Administrator, submit the General Plan of Development for the proposed PUD simultaneously with the submission of a Concept Plan. The applicant shall comply with all provisions of this section applicable to submission of General Plan of Development. The Planning Commission and City Council shall consider such plans simultaneously and shall grant or deny a General Plan of Development in accordance with the provisions of Section 801.33.6 hereof.

Design Standards City Code §801.09: The design standards set forth in Section 9 of the Wayzata City Zoning Ordinance are referred to collectively as the “Design Standards” or the “Standards”. The purpose of the Design Standards is to shape the City’s physical form and to promote the quality, character and compatibility of new development in the City. The Standards function to:

- A. To guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;
- B. To assist the City in reviewing development proposals;
- C. To improve the City's public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.

- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

Shoreland Impact Plan/Conditional Use Permit: Section 801.91.19 states that landowners or developers desiring to develop land or construct any dwelling or any other artificial obstruction on land located within any Shoreland District within the City of Wayzata shall first submit a conditional use permit application as regulated by Section 801.04 of this Ordinance and a plan of development, hereinafter referred to as "Shoreland Impact Plan", which shall set forth proposed provisions for sediment control, water management, maintenance of landscaped features, and any additional matters intended to set forth proposed changes requested by the applicant and affirmatively disclose what, if any, change will be made in the natural condition of the earth, including loss of change of earth ground cover, destruction of trees, grade courses and marshes. The plan shall minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible, and shall affirmatively provide for the relocation or replanting of as many trees as possible which are proposed to be removed. The purpose of the shoreland impact plan shall be to eliminate and minimize as much as possible potential pollution, erosion and siltation.

Conditional Use Permits: City Code Section 801.04.2.F. states that the Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's compatibility with present and future uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property values in the area in which it is developed.
- F. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Action Steps

After considering the items outlined in this report, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

- Attachment A: Revised Plans
- Attachment B: Updated Design Review Critique



VIEW AT MAIN ENTRANCE

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



VIEW FROM LAKE ST AND FERNDALE

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



VIEW FROM SOUTHEAST CORNER

5/26/16



VIEW FROM NORTHEAST CORNER

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



VIEW FROM NORTHWEST CORNER

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



AERIAL VIEW FROM THE SOUTH

5/26/16



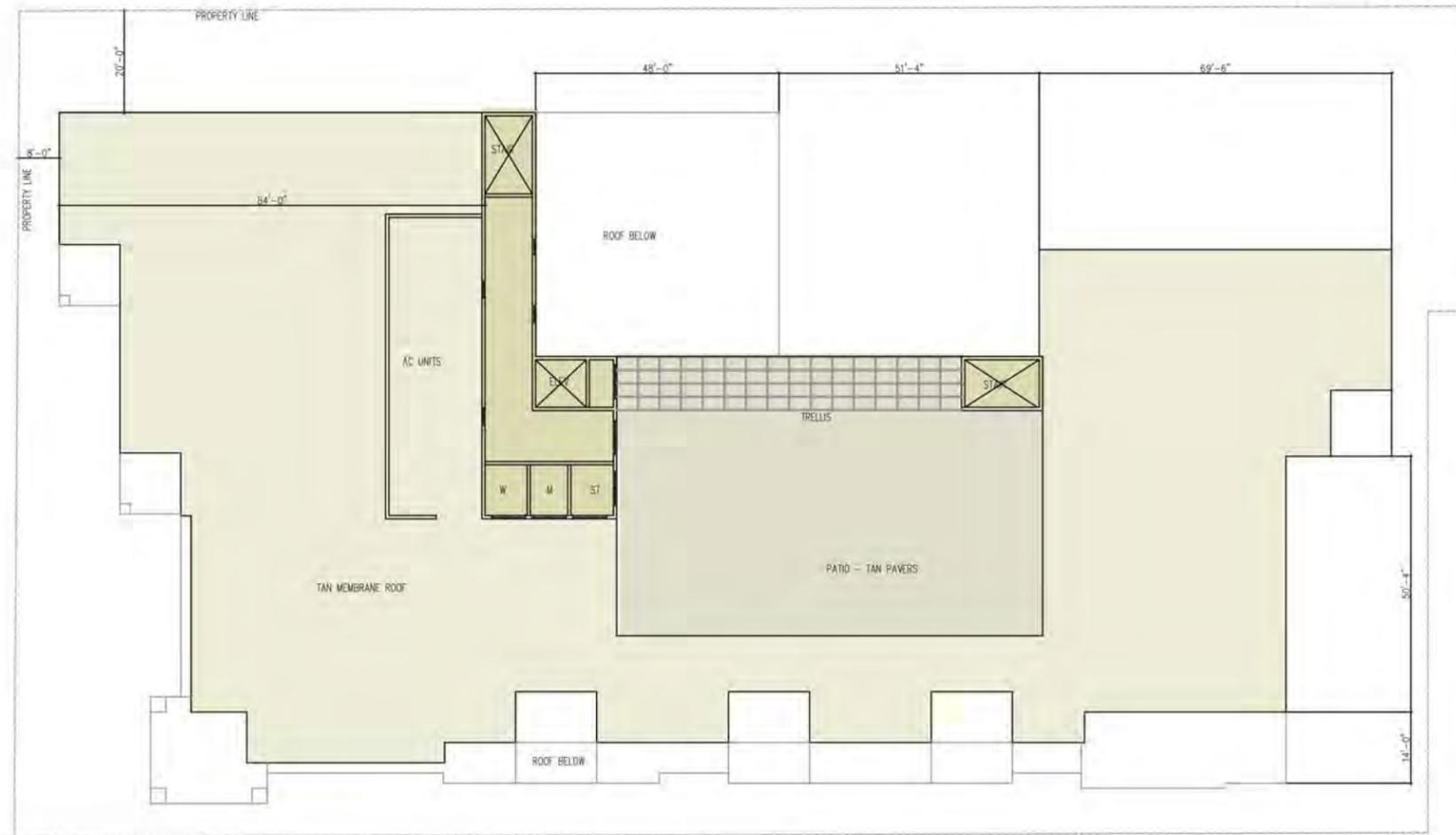
SITE PLAN RENDERING

5/26/16



SECOND LEVEL PLAN
 1/32"=1'-0"

5/26/16



ROOF PLAN
 1/32"=1'-0"

5/26/16



SOUTH ELEVATION

MAIN LEVEL INCLUDES A MINIMUM OF 50% TRANSPARENT GLASS. THE GLASS WILL NOT BE MIRRORRED, REFLECTIVE OR DARKENED BUT WILL HAVE A SLIGHT GREY TINT.

A MINIMUM OF 90% OF ALL EXTERIOR ELEVATIONS WILL BRICK, STONE OR STUCCO.

THE BRICK IS TO BE DARK BROWN WITH CHARCOAL CONCAVE MORTAR NO LARGER THAN 1/4".

CORNICES AND DECK COLUMNS ARE TO BE FIBER CEMENT BOARD BUT NO GREATER THAN 10% OF THE NON-GLASS SURFACES.

LINTELS AND SILLS ARE TO BE PRECAST STONE.

FLASHING AT PARAPETS AND ROOF EDGES ARE TO BE .032" PAINTED ALUMINUM WITH A MAXIMUM EXPOSED EDGE OF 5".

TRELLISES ARE TO BE DARK METAL.

DECK AND ROOF PATIO RAILINGS ARE TO BE DARK METAL WITH GLASS PANELS.

EXTERIOR LIGHT EXAMPLE:



BRICK SAMPLE:



STONE SAMPLE:



STUCCO COLOR #1; SW 9101



STUCCO COLOR #2; SW 6142



5/26/16



EAST ELEVATION

5/26/16



NORTH ELEVATION

5/26/16

JMS CUSTOM HOMES

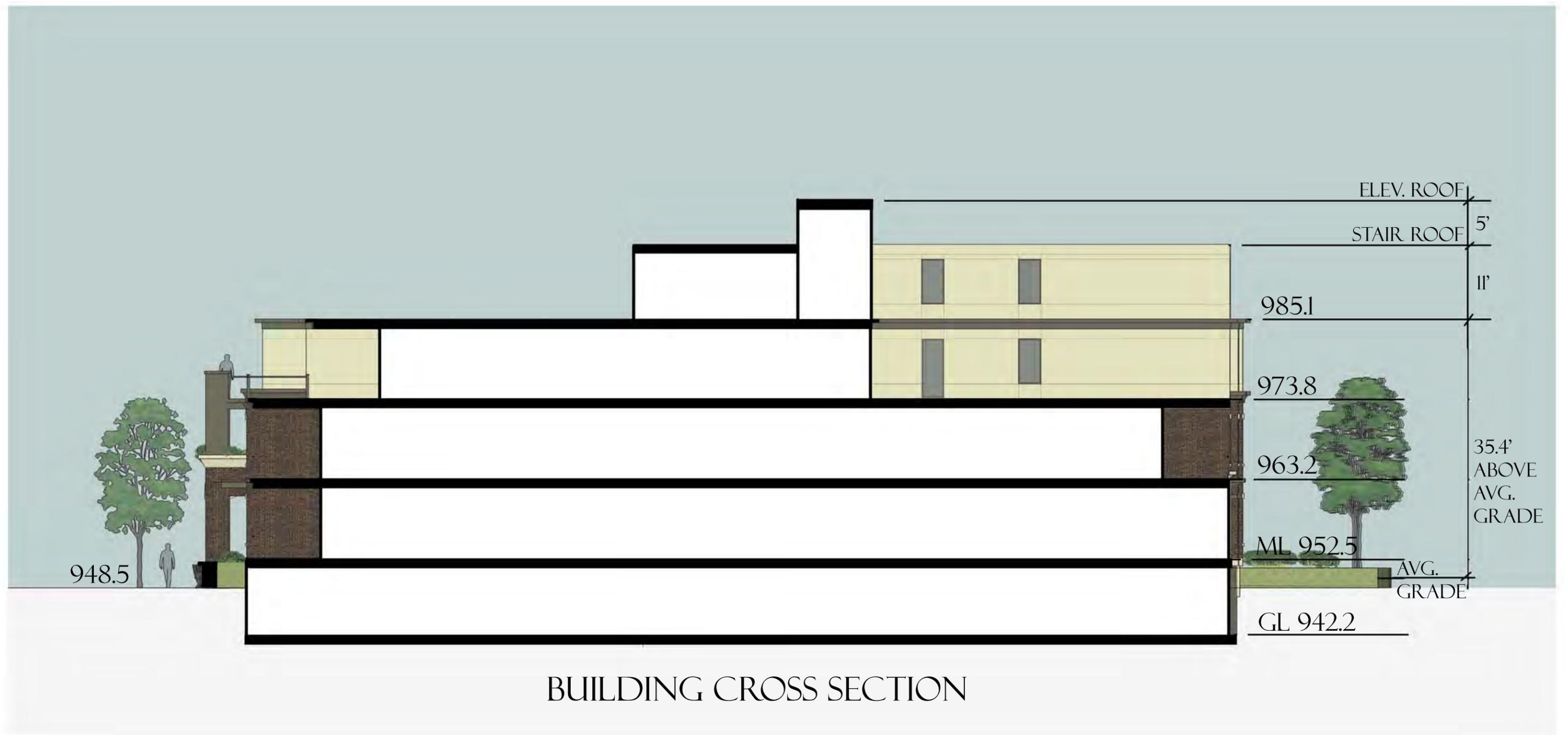
MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



WEST ELEVATION

5/26/16

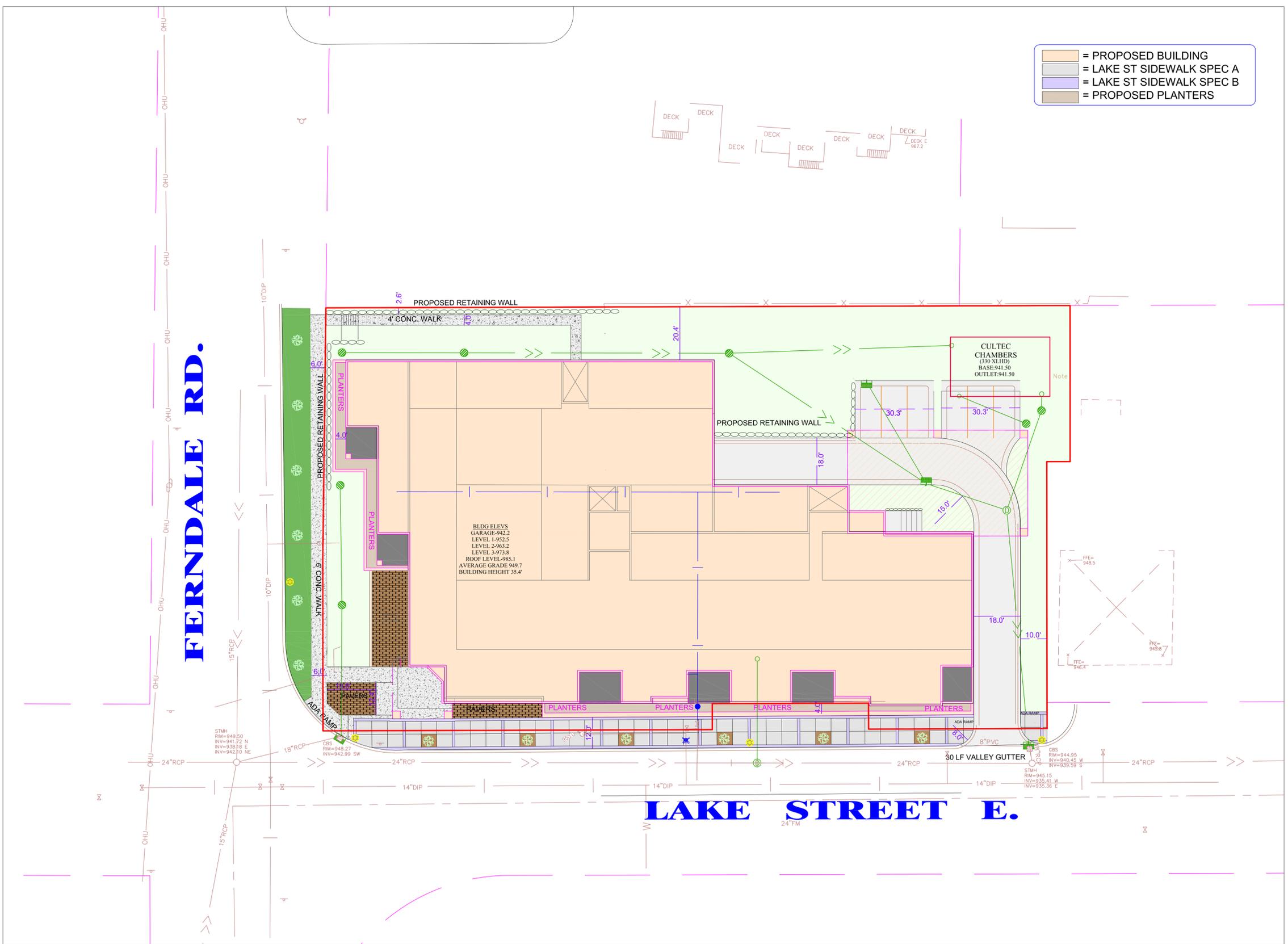


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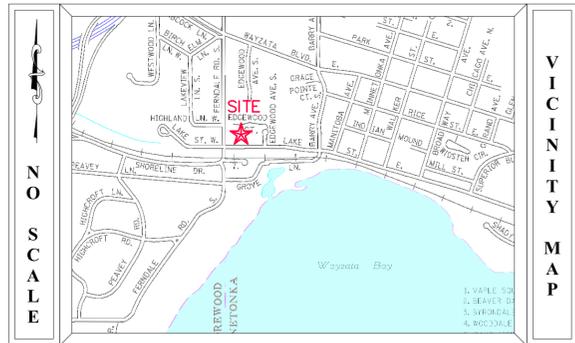


PERSPECTIVE CROSS SECTION

5/27/16



- = PROPOSED BUILDING
- = LAKE ST SIDEWALK SPEC A
- = LAKE ST SIDEWALK SPEC B
- = PROPOSED PLANTERS



SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERBARI		
BUILDING SETBACK BOUNDARY		
PRICED BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAINABLE ICELANDS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
PLANNED END SECTION W/PROPAG		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/BACKFLOW ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TRC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		

PROFESSIONAL CONSULTANTS			
Company	NAME	ADDRESS	
Developer	Homestead Partners	Jason Biederwolf	525 15th Ave S, Hopkins, MN 55343
Architect	Whitten Associates	Tim Whitten	4159 Heatherton Pl, Minnetonka, MN 55345
Attorney	Fabynsks, Westra, Hiatt & Thomson, P.A.	Gary Eidson	333 S 7th St, Suite 2600, Minneapolis, MN 55402
Land Planner	Whitten Associates	Whitten Associates	4159 Heatherton Pl, Minnetonka, MN 55345
Engineer	Sathre-Bergquist, Inc	Robert Molstad	150 South Broadway, Wayzata, MN 55391
Surveyor	Sathre-Bergquist, Inc	Dave Pemberton	150 South Broadway, Wayzata, MN 55391

SHEET INDEX TABLE	
SHEET	Description
SP	Site Plan
AA	ALTA
FP	Final Plat
DP	Demolition Plan
GP / EC	Grading & Erosion Control Plan
UP	Utility Plan

LANDSCAPE LEGEND	
	PROPOSED ROW TREE
	PROPOSED BOULEVARD SOD
	PROPOSED SITE POST CONSTRUCTION SOD

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM CONTACT: THOMAS WELSHINGER EMAIL: TWELSHINGER@SATHRE.COM	DEVELOPER HOMESTEAD PARTNERS, LLC 525 15th AVENUE SOUTH HOPKINS, MN 55343 CONTACT: JASON BIEDERWOLF PHONE: (612) 272-9701 EMAIL: JASONB@HOMESTEAD-PARTNERS.COM

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE-MEYERS	01	TCW	01/20/16	LETTER REVIEW
DRAWN BY	02	TCW	02/24/16	BUILDING DESIGN CHANGE
RSM	03	TCW	03/17/16	BUILDING DESIGN CHANGE
CHECKED BY	04	CAW	04/28/16	ELIMINATE INFILTRATION
RSM	05	TCW	05/19/16	BUILDING DESIGN CHANGE
DATE				
05/27/16				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 05/27/16 Lic. No. 26428

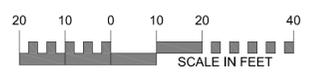
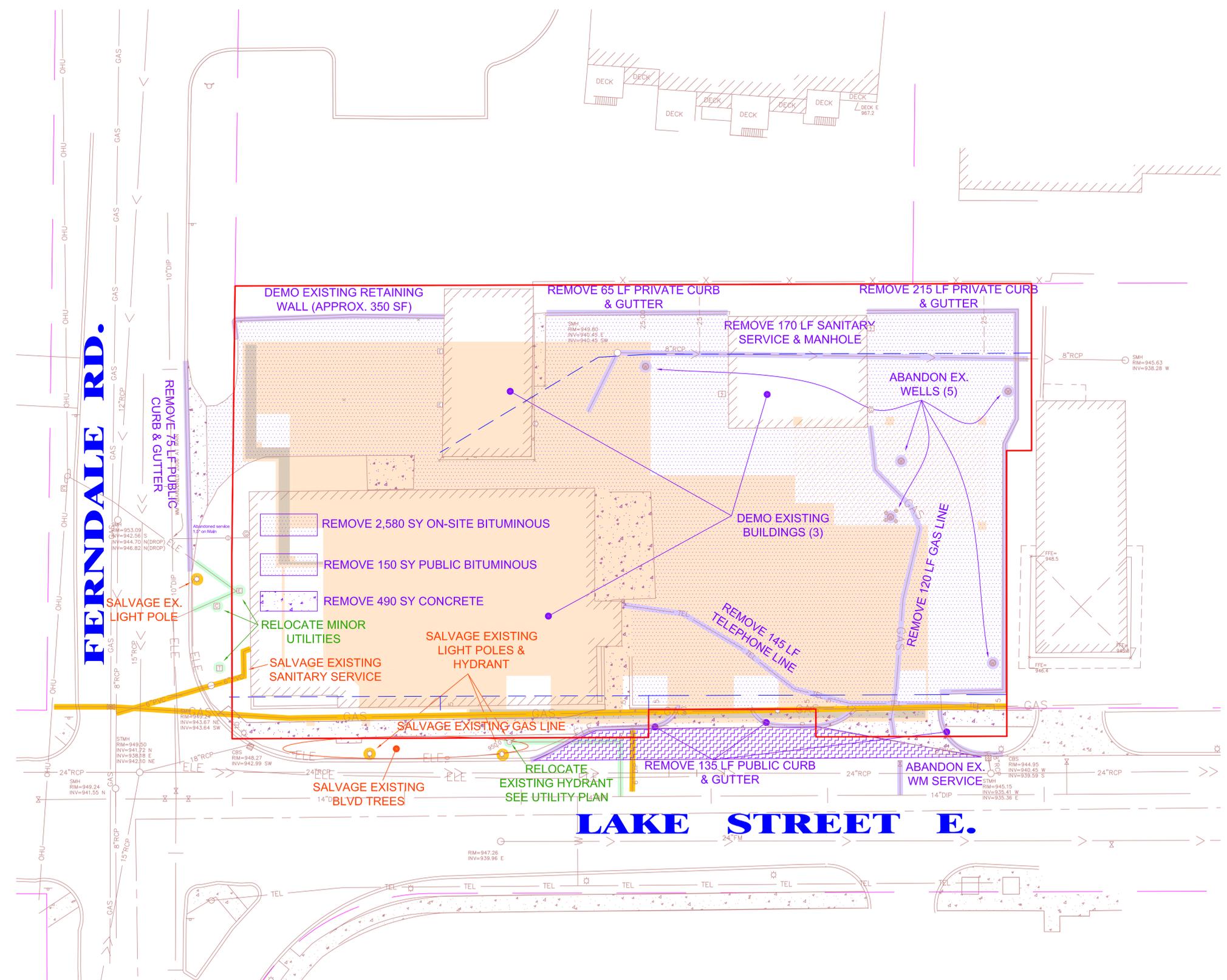
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ENGINEERS SURVEYORS
 DESIGNERS PLANNERS

CITY PROJECT NO. ---
WAYZATA, MINNESOTA

SITE AND LANDSCAPE PLAN
MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERS, LLC.

FILE NO.
 37865-003
SP
SP
 PC 6/6/2016



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SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

ENGINEERS SURVEYORS
DESIGNERS PLANNERS

CITY PROJECT NO.

WAYZATA,
MINNESOTA

DEMOLITION PLAN

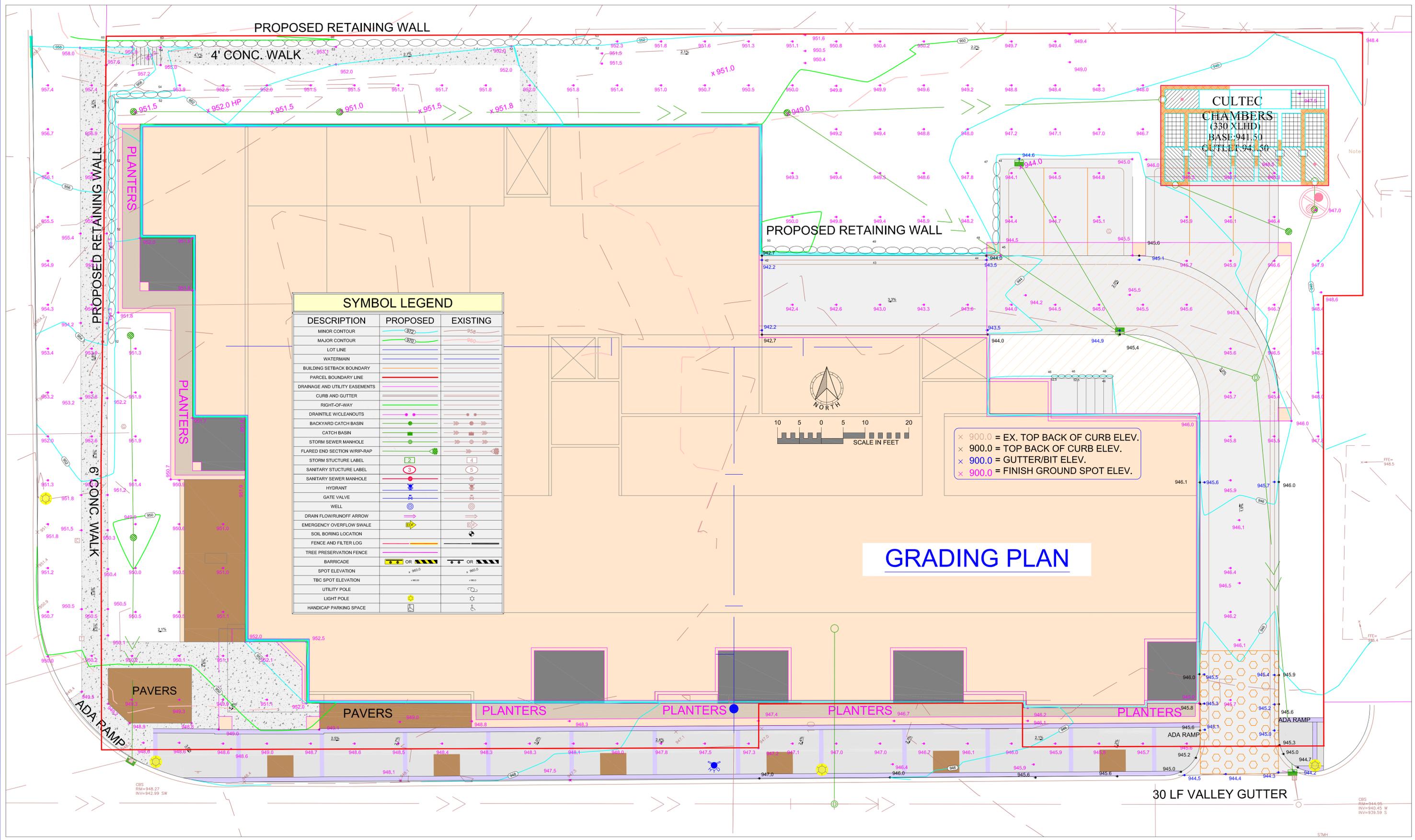
MEYER PLACE AT FERNDALE

HOMESTEAD PARTNERS, LLC.

FILE NO.
37865-003

DP

PC 6/6/2016



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Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 05/27/16 Lic. No. 26428

ENGINEERS SURVEYORS DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. ---

WAYZATA, MINNESOTA

GRADING PLAN

MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERS, LLC.

FILE NO. 37865-003

GP

PC 6/6/2016

PROJECT: MEYER PLACE AT FERNDALE

Location:Wayzata, MN

Prepared for: Homestead Partners, LLC.

Prepared by: Sathre-Bergquist, Inc.

Date: December 1, 2015

Revised: April 28, 2016

Subject: Volume Control (Abstraction)

Overall Existing Impervious Surface:	42332	
Overall Proposed Impervious Surface:	<u>35103</u>	
Difference:	7229	17.1% Reduction in Impervious Surface

Currently there are no stormwater BMP's to promote stormwater management. As seen above, we are proposing a reduction of 17.1% of impervious surface over the existing condition. This hardcover reduction would reduce the runoff rate, lower the nutrient loading and send a lower volume of runoff offsite. However to further aid in the Stormwater Management in Wayzata, we are proposing to do additional volume management.

For this project, our initial intention was to provide 0.5" of volume retention over the entire proposed impervious surface. However due to site grades and the proximity of the groundwater table (937.5), we are unable to drain the driveway runoff due to groundwater separation limitations.

We then proposed instead to provide 0.8" of volume retention over the proposed building. We will collect the roof water runoff, and direct it to the northeast corner of the site and into an underground stormwater chamber system. The system is sized for retaining and infiltrating 0.8" over the roof area. However soils in the area do not allow infiltration due to contamination. As a result we are proposing to store stormwater in a subsurface chamber for use in the irrigation system. Stormwater will be pumped from this chamber to the irrigation system and used to irrigate the open space on the property. This storage system was designed to store 0.8" of volume over the proposed building, the same volume that was proposed to be infiltrated.

Proposed Roof Area: 25,500 SF

Chamber System (Elevations):

Proposed Outlet Elevation:	943.6 ft
Proposed Infiltration Elevation:	<u>942.0 ft</u>
	1.6 ft

Chamber System (Volume):

0.8" Runoff:	0.039 af
Chamber System Volume:	0.039 af

CONSTRUCTION NOTES

- INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OR DIRECTED BY THE ENGINEER.
- THE INLET PROTECTION SHALL BE INSTALLED INTO EXISTING CATCH BASINS AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER TREATMENT DURING CONSTRUCTION. SAND AND SILT MUST BE REMOVED FROM THE INLET PROTECTION AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.
- BEGIN GRADING. INSTALL INLET PROTECTION. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. INSTALL SILT FENCE AROUND EXCAVATED BASINS.
- NATIVE TOPSOIL MUST BE RETAINED ON-SITE TO THE GREATEST EXTENT POSSIBLE.
- INSPECT BASINS, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.
- ALL SLOPES 3:1 MAX (UNLESS NOTED)
- RESTORATION - (X.X ACRES)
 - RESTORE ALL DISTURBED AREAS WITH A MINIMUM 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MATERIAL.
 - SEED ALL PVIOUSLY DISTURBED AREAS WITH MNDOT 250 AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. (UNLESS OTHERWISE NOTED)
 - ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.
 - MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE EROSION BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.
 - PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED. REFER TO CITY DETAILS FOR APPROVED DEVICES. INLET PROTECTION MUST BE INSTALLED IN THE RECEIVING CATCHBASIN WEST OF THE SITE.
 - MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.
 - RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
- CHAIN LINK FENCE AND FILTER LOG - 550 LF
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE RILEY PURGATORY BLUFF CREEK WATERSHED DISTRICT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED UPON FINAL STABILIZATION.
- THE PERMITTEE MUST, AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED.

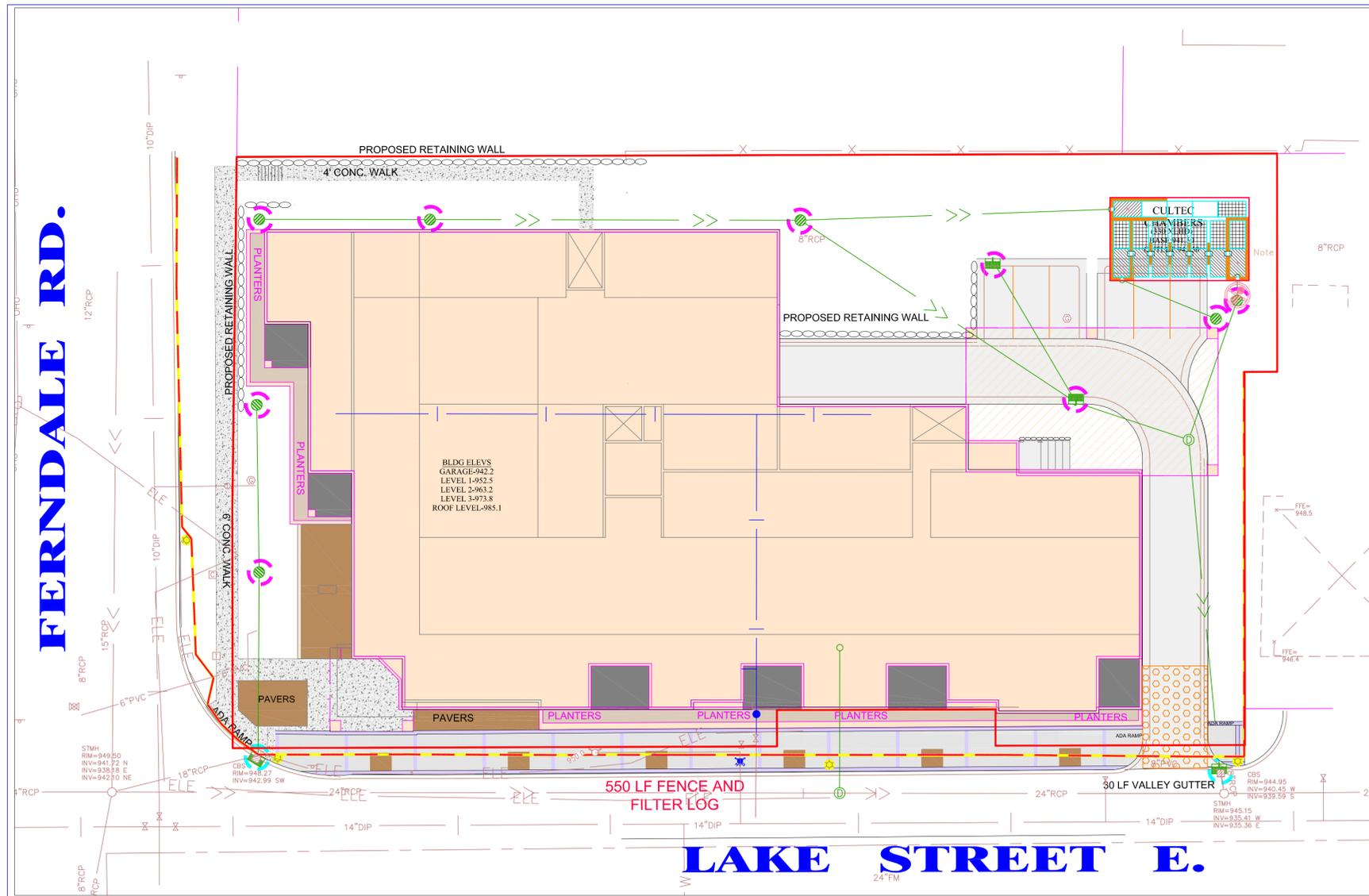
GENERAL NOTES:

- THE GRADING CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER AND DEVELOPER ON A WEEKLY BASIS.
- THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES IN ACCORDANCE WITH THE CITY FOR ALL STORM SEWER INLETS AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN RESTORATION HAS BEEN ESTABLISHED.
- ALL RETAINING WALLS OVER FOUR FEET HIGH MUST BE STRUCTURALLY DESIGNED BY A PROFESSIONAL ENGINEER AND A PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION.
- A 1'-2" CRUSHED ROCK ENTRANCE BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REPLACE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERMS SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES. (SEE DETAIL)
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL.
- EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.
- PROPER MANAGEMENT OF ALL SITE WASTE, INCLUDING TO BUT NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE, MUST BE DISCARDED IN ACCORDANCE TO THE SWPPP.

EROSION CONTROL PLAN

	ROCK ENTRANCE BERM		CHAIN LINK FENCE AND FILTER LOG
	INLET PROTECTION		EXISTING INLET PROTECTION

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAINTILE W/CLEANOUTS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/RIP-RAP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		



NORTH

SCALE IN FEET

- × 900.0 = EX. TOP BACK OF CURB ELEV.
- × 900.0 = TOP BACK OF CURB ELEV.
- × 900.0 = GUTTER/BIT ELEV.
- × 900.0 = FINISH GROUND SPOT ELEV.

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE-MEYERS	01	TCW	01/20/16	LETTER REVIEW
DRAWN BY	02	TCW	02/24/16	BUILDING DESIGN CHANGE
RSM	03	TCW	03/17/16	BUILDING DESIGN CHANGE
CHECKED BY	04	CAW	04/28/16	ELIMINATE INFILTRATION
RSM	05	TCW	05/19/16	BUILDING DESIGN CHANGE
DATE			05/27/16	

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Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 05/27/16 Lic. No. 26428

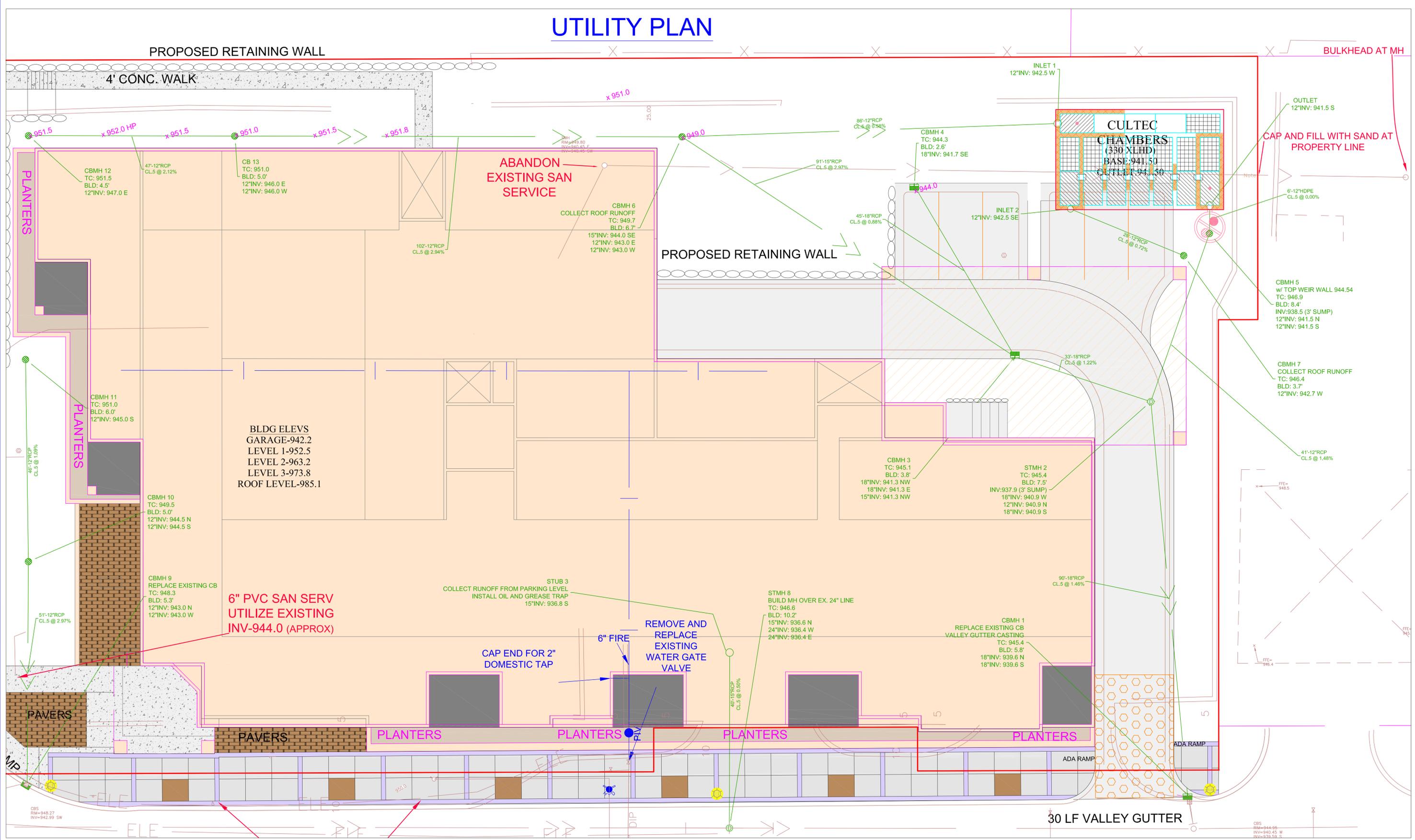
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150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. ---
WAYZATA, MINNESOTA

EROSION CONTROL PLAN
MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERS, LLC.

FILE NO. 37865-003
EC
EC
PC 6/6/2016

UTILITY PLAN



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CHECKED BY	04	CAW	04/28/16
RSM	05	TCW	05/19/16
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REVISIONS
LETTER REVIEW
BUILDING DESIGN CHANGE
BUILDING DESIGN CHANGE
ELIMINATE INFILTRATION
BUILDING DESIGN CHANGE

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Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 05/27/16 Lic. No. 26428

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 DESIGNERS PLANNERS

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CITY PROJECT NO. ---

WAYZATA, MINNESOTA

UTILITY PLAN
 MEYER PLACE AT FERNDALE
 HOMESTEAD PARTNERS, LLC.

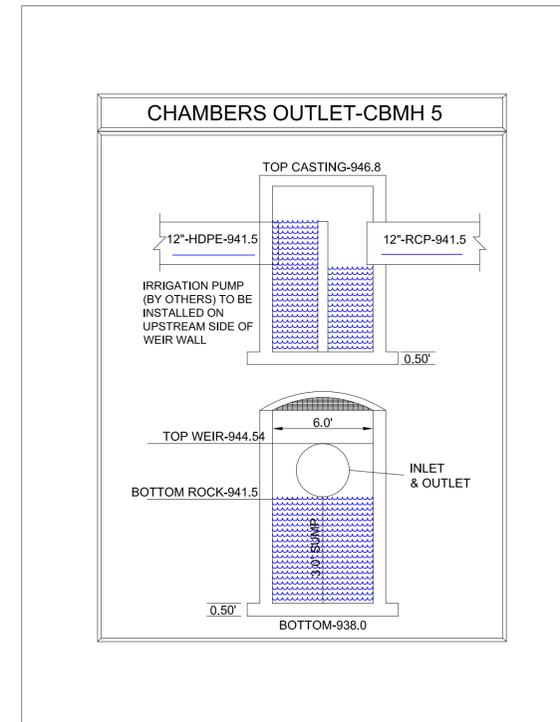
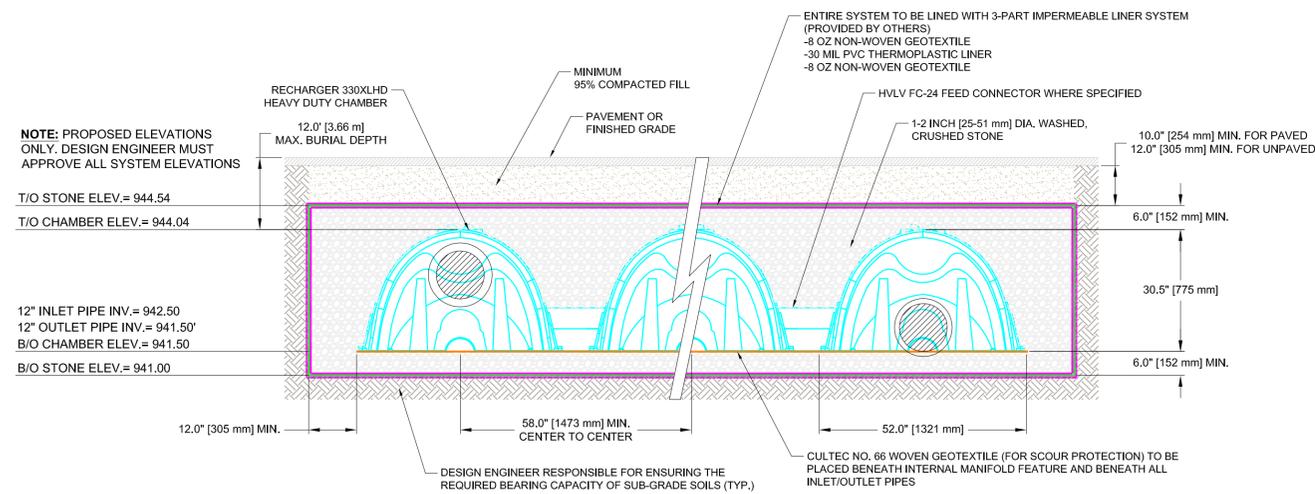
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MEYER PLACE AT FERNDALE 37865-003

UTILITY NOTES:

1. UTILIZE 6" PVC SANITARY SEWER SERVICE
2. INSTALL NEW 6" DIP WATERMAIN SERVICE (6" DIP WET TAP INTO EXISTING 10" DIP)
4. ALL DIP FOR SERVICE LATERALS SHALL BE POLY-WRAPPED AND ALL BOLTS USED SHALL BE STAINLESS STEEL.
5. SEE CULTEC SPECIFICATIONS FOR THE UNDERGROUND STORMWATER SYSTEM.
6. CUTLEC SYSTEM SHALL PROVIDE STORAGE VOLUME FOR RAIN WATER TO BE USED IN THE IRRIGATION SYSTEM. STORMWATER SHALL NOT BE INFILTRATED.
7. OPEN SPACE SHALL BE IRRIGATED. OUTLET STRUCTURE CBMH-5 SHALL ALSO HOUSE A PUMP TO BE USED BY THE IRRIGATION SYSTEM.
8. EXISTING WATER SERVICES TO BE ABANDONED AT MAIN. ANY ABANDONED WATERMAIN TO BE FILLED WITH FLOWABLE FILL AND BULKHEAD.
9. PROVIDE CITY A COPY OF WELL SEALING DOCUMENTATION

CULTEC CHAMBER



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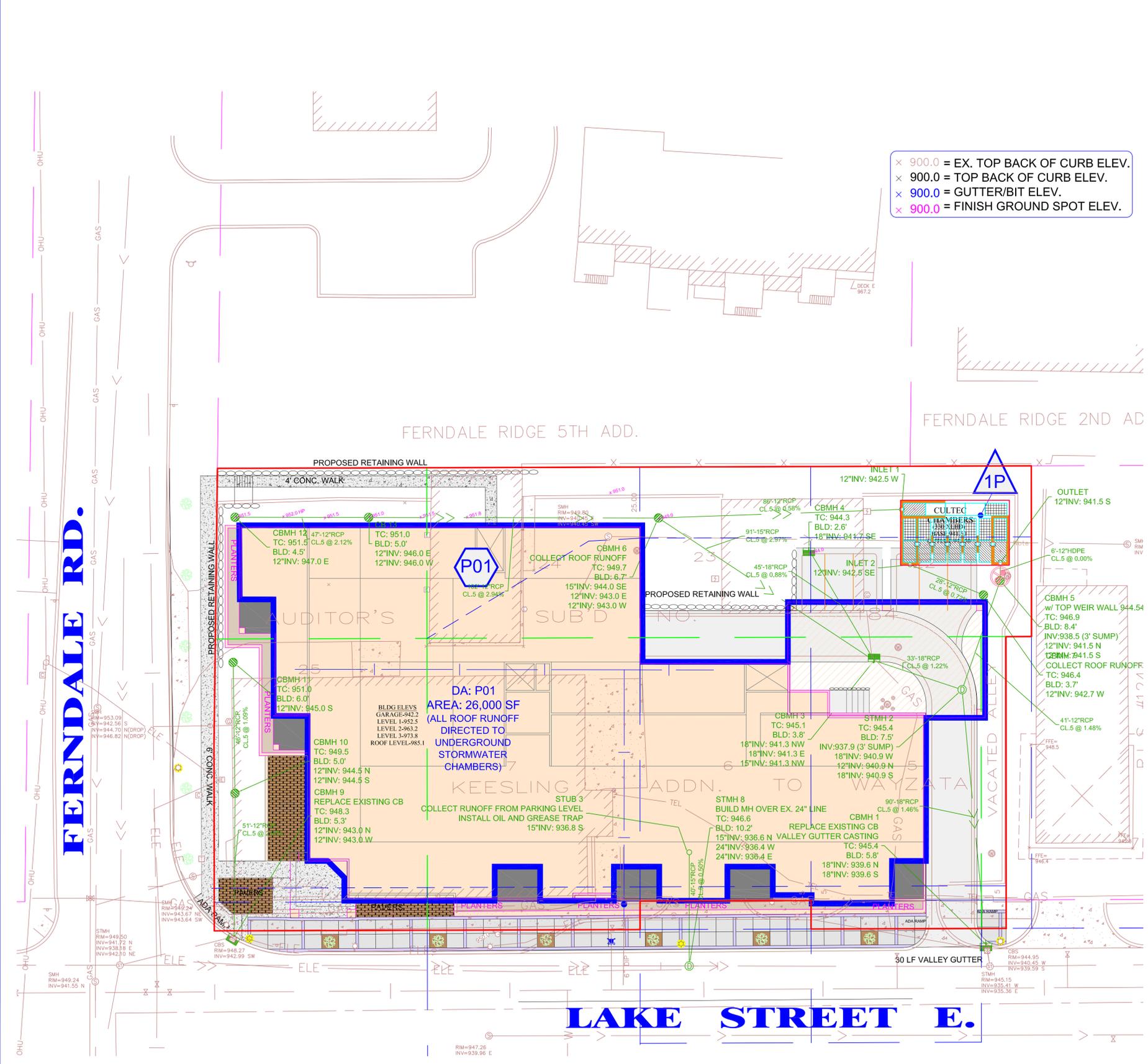
WAYZATA, MINNESOTA

UTILITY PLAN
MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERS, LLC.

FILE NO.
 37865-003
UP
UP
 PC 6/6/2016

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
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SEE STORMWATER MANAGEMENT REPORT FOR DETAILED CALCULATIONS

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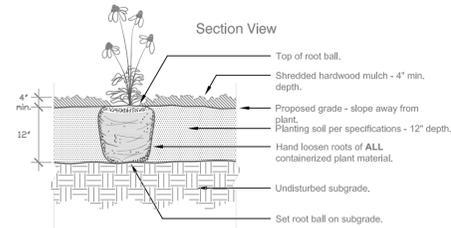
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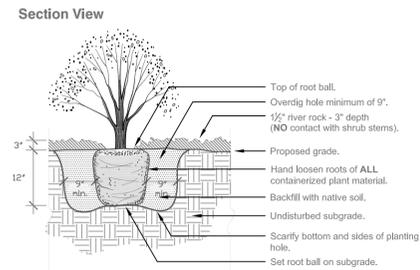
WAYZATA, MINNESOTA

DRAINAGE AREA
 MEYER PLACE AT FERNDALE
 HOMESTEAD PARTNERS, LLC.

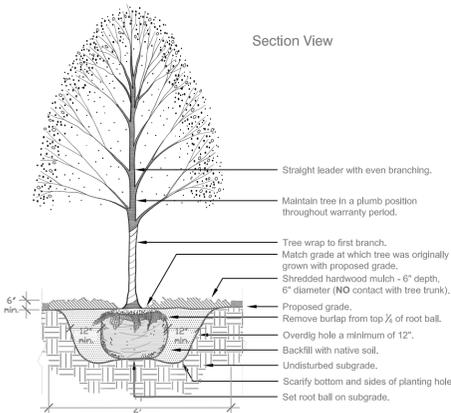
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1 Typical Perennial Planting Detail
2 NOT TO SCALE

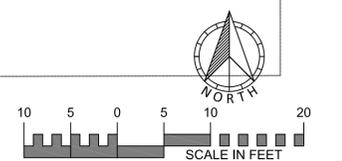
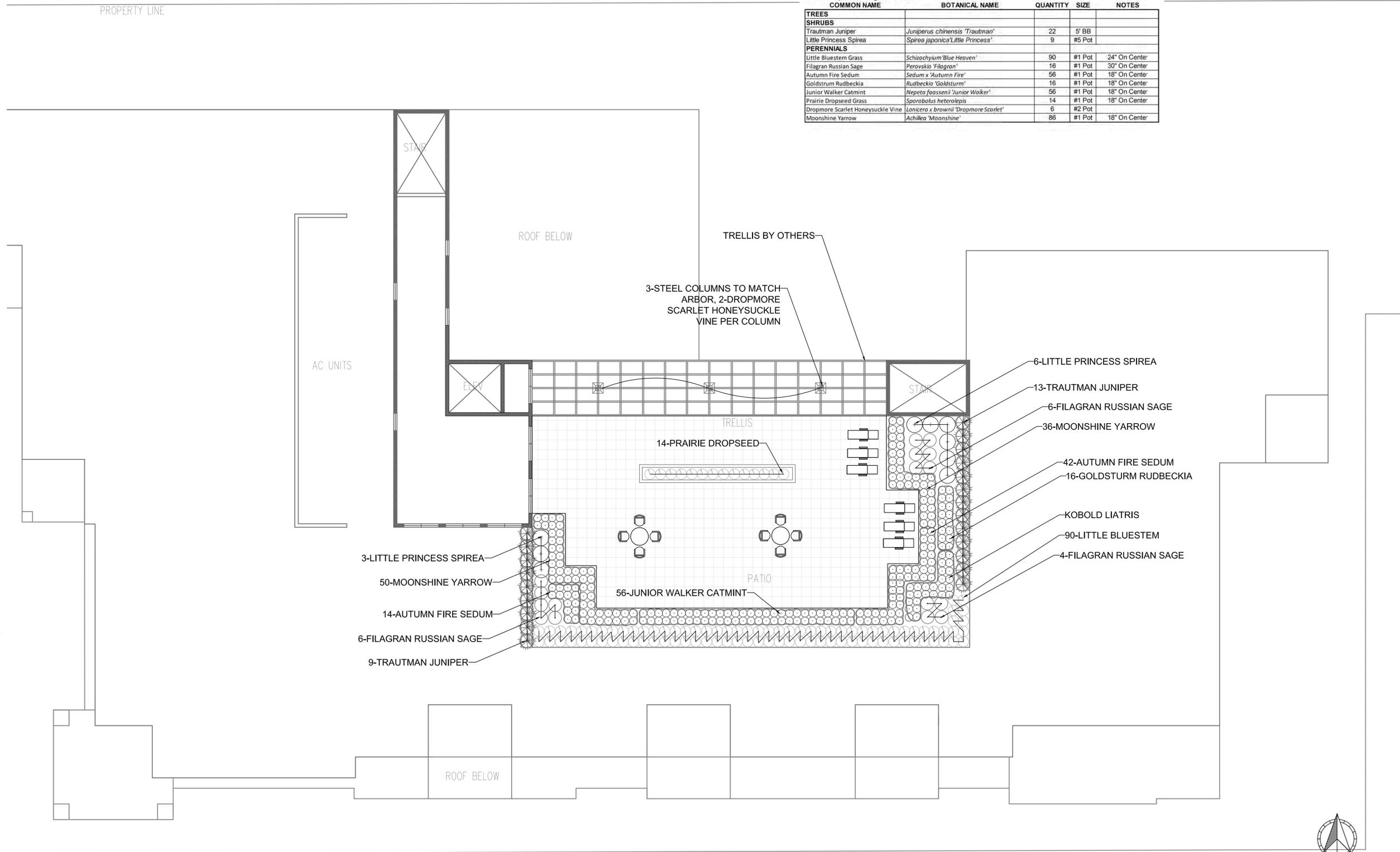


2 Typical Shrub Planting Detail
2 NOT TO SCALE



3 Typical Tree Planting Detail
2 NOT TO SCALE

Roof Top Planting Schedule				
COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	NOTES
TREES				
SHRUBS				
Trautman Juniper	<i>Juniperus chinensis 'Trautman'</i>	22	5' BB	
Little Princess Spirea	<i>Spiraea japonica 'Little Princess'</i>	9	#5 Pot	
PERENNIALS				
Little Bluestem Grass	<i>Schizachyium 'Blue Heaven'</i>	90	#1 Pot	24" On Center
Filagran Russian Sage	<i>Perovskia 'Filagran'</i>	16	#1 Pot	30" On Center
Autumn Fire Sedum	<i>Sedum x 'Autumn Fire'</i>	56	#1 Pot	18" On Center
Goldsturm Rudbeckia	<i>Rudbeckia 'Goldsturm'</i>	16	#1 Pot	18" On Center
Junior Walker Catmint	<i>Nepeta faassenii 'Junior Walker'</i>	56	#1 Pot	18" On Center
Prairie Dropseed Grass	<i>Sporobolus heterolepis</i>	14	#1 Pot	18" On Center
Dropmore Scarlet Honeysuckle Vine	<i>Lonicera x brownii 'Dropmore Scarlet'</i>	6	#2 Pot	
Moonshine Yarrow	<i>Achillea 'Moonshine'</i>	86	#1 Pot	18" On Center



DRAWING NAME	NO.	BY	DATE	REVISIONS
DRAWN BY	1	TW	5-27-16	Revise plan per new building layout
CHECKED BY				
DATE				

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Landscape Architect under the laws of the State of Minnesota.
Signed: *[Signature]*
Date: 12-16-15 Registration #: 20144

Norby & Associates
Landscape Architects, Inc.
100 Esst Second Street Chaska, MN 55318 (952) 361-0644

CITY PROJECT NO.
WAYZATA,
MINNESOTA

ROOF TOP LANDSCAPE PLAN
MEYER PLACE AT FERNDAL
HOMESTEAD PARTNERS, LLC.

FILE NO.
37865-003
LP2
Page 83 of 103

PROJECT NAME AND NUMBER

MAYER PLACE SHADOW STUDY

10:00AM, DECEMBER, 21ST



Meyer Place on Ferndale – 105 Lake St E
Design Critique (Revised Based on Architectural Plans dated 5/26/2016 and Civil Plans dated 5/27/2016)
June 2, 2016

	Comments	Compliance
Building Uses		
<u>801.09.2.1 – Lake Street District</u> All new buildings east of Barry Avenue on Lake Street shall have retail usage at least eighty percent (80%) of the ground floor facing Lake Street. The remaining twenty percent (20%) of the ground floor frontage may only be used for walkways, public access, or public facilities. Retail activities shall comprise a total of at least fifty percent (50%) of the usage of the total building footprint.	The site is located west of Barry Avenue.	Not Applicable
Building Recesses		
<u>801.09.3.1.A – All Districts</u> Building facades shall be articulated through the use of pilasters and/or recesses that create visible shadow lines and dimensions especially on the street level	The proposed building utilizes recesses and changes in materials to break up the façade.	Yes
<u>801.09.3.1.B</u> Street level landscaped courtyards, outdoor seating areas and gathering areas shall be incorporated into building and site plan design.	The project includes planters along the Lake Street and Ferndale road frontages and pavers at the intersection adjacent to the main entrance. There is an existing bench along Lake Street. If the proposed design review is approved, a condition of approval should be included that the existing sidewalk bench be salvage and reinstalled along Lake Street.	Evaluate

	Comments	Compliance
Building Width		
<p><u>801.09.4.1 All Districts – New Buildings</u> In order to reduce the scale of longer façades and to eliminate the long horizontal expressions of buildings, divisions or breaks in materials shall be included and at least three of the following design strategies shall be incorporated into the design:</p> <ol style="list-style-type: none"> 1. Window bays 2. Special treatment at entrances 3. Variations in roof lines or parapet detailing 4. Awnings 5. Building setbacks or articulation of the facade 6. Rhythm of elements 	<p>The proposed building includes special treatment at the building entrance and articulation of the façade as the building includes varying building lines and recessions. In addition, the proposed building includes a rhythm of elements along each building elevation.</p>	<p>Yes</p>

Upper Story Setbacks		
<p><u>801.09.5.1.A – All Districts – New Buildings</u></p> <p>Building height shall conform to the height of the applicable zoning district. Where three (3) story buildings are permitted, the third (3rd) story must be recessed from all façades fronting public right of ways at least a distance equal to the vertical distance of the 3rd story height from the second (2nd) floor footprint, or an average of ten (10) feet across the facade, but no portion of the 3rd story structure shall be closer than six (6) feet to the 2nd story façade. The 3rd story façade shall be designed with railings, pillars, dimensional windows, building recesses or other similar design techniques to break up the 3rd story façade.</p>	<p>The third level is partially, but not fully, recessed from the second level. The third story on Lake Street is stepped back from the second level, except for the west corner of the building has a minimal step back between the second and third level. The third level along Ferndale is not stepped back from the second level at all.</p>	<p>No</p>
<p><u>801.09.5.1.B – All Districts – New Buildings</u></p> <p>The façades fronting public right-of-ways of every two and three story building, longer than sixty (60) feet, must have a recessed second story of approximately twenty-five percent (25%) of the façade’s length, setting back a minimum of six (6) feet from the face of the first floor façade. The required third floor setback must follow the frontal plane of the second story setback.</p>	<p>The second story is not recessed from the first level of the building.</p>	<p>No</p>
<p><u>801.09.5.1.C – All Districts – New Buildings</u></p> <p>Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.</p>	<p>The applicant has applied for a height variance from the maximum height of 35 feet in the PUD district to 35.4 feet and a Conditional Use Permit for the penthouse structure with a height of 51.4 feet. The applicant has submitted a shadow study to know the wintertime shading on surrounding properties. The planning commission should evaluate the impacts of the height variance on sun orientation, solar access, views of Lake Minnetonka, and impacts on neighboring properties.</p>	<p>Evaluate</p>

Roof Design		
<p><u>801.09.6.1 – All Districts</u> “Green” roofs, roof garden terraces, arbors and other similar structures are encouraged on roofs of building.</p>	<p>The proposed building does not include any green roofs.</p>	<p>Not Applicable</p>
<p><u>801.09.6.2.A – All Districts – Roof Materials</u> The roof material for all sloped roofs in all districts shall be slate, untreated copper, pre-finished metal, cedar shake or asphalt shingle in dark colors.</p> <p><u>801.09.6.2.B – All Districts – Roof Materials</u> The roof material for all flat roofs in all districts shall be treated synthetic membrane or other similar material in dark colors.</p>	<p>The proposed building has a flat roof which would consist of a tan membrane material.</p>	<p>No</p>
Screening of Rooftop Equipment		
<p><u>801.09.7.1 – Lake Street and Bluff Districts</u> No mechanical equipment for a building may be located on the roof deck. All such mechanical equipment must be located within the interior of the structure.</p>	<p>The applicant is proposing to locate mechanical units on the roof of the building which would be centered on the roof and fully surrounded by the upper level of the building and a parapet screening wall.</p>	<p>No</p>

	Comments	Compliance
Facade Transparency		
<p><u>801.09.8.2 – Lake Street District</u> No less than fifty percent (50%) of the ground level façade of any building fronting Lake Street shall be transparent glass. No less than twenty-five percent (25%) of the ground level side and rear façade facing a public right of way, parking area or open space shall be transparent glass.</p>	<p>The proposed building contains at least 50% transparent glass on the ground level along Lake Street and Ferndale Road.</p>	<p>Yes</p>
Ground Level Expression		
<p><u>801.09.9.1 – All Districts</u> In multi-story buildings, the ground floor shall be distinguished from the floors above by the use of at least three of the following elements:</p> <ol style="list-style-type: none"> 1. An intermediate cornice line 2. A difference in building materials or detailing 3. An offset in the façade 4. An awning, trellis, or loggia 5. Arcade 6. Special window lintels 7. Brick/stone corbels 	<p>The proposed building only includes a canopy and balcony floors along a portion of the building which would distinguish between the found floor and the second floor.</p>	<p>No</p>
Entries		
<p><u>801.09.10.1 – All Districts</u> The front facade of all buildings shall be landscaped with window boxes or planters with seasonally appropriate plantings. The main entries shall face the primary street at sidewalk grade.</p>	<p>The proposed plans include planters and window boxes along both Lake Street and Ferndale Rd.</p>	<p>Yes</p>

Building Materials and Quality		
<p><u>801.09.11.1.A – Primary Opaque Surfaces – All Districts</u> Other than the accent materials listed in 801.09.11.G, ninety percent (90%) of the non-glass surfaces of each elevation of the exterior building façade shall be composed of one or more of the following materials:</p> <ol style="list-style-type: none"> 1. Brick 2. Stone 3. Cast stone 4. Factory finished and certified wood, including, but not limited to: <ol style="list-style-type: none"> a. Wood shingles (cedar shingles six (6) inch maximum exposure) b. Lap-siding (six (6) inch maximum width) 5. Stucco 	<p>The non-glass surfaces of the building are primarily comprised of brick, stone and stucco. The plans indicated that at least 90% of the building elevations would be comprised of these materials.</p>	<p>Yes</p>
<p><u>801.09.11.1.B – Façade Coverage – All Districts</u> The primary opaque surface materials of all free standing buildings must be the same on all facades of the building.</p>	<p>The proposed building includes the same materials, brick, stone and stucco, on all four sides of the building.</p>	<p>Yes</p>
<p><u>801.09.11.1.C – Type of Brick – All Districts</u> On all facades of a free-standing building where brick is used, full course modular, Roman, Norman or other standard size brick must be used.</p>	<p>The plans indicated that a standard size brick would be used.</p>	<p>Yes</p>

<p><u>801.09.11.1.D – Façade Detail – All Districts</u></p> <p>1. Brick and/or stone façades shall be well detailed and dimensionally designed in order to avoid fractional cuts and odd pieces. All outside brick corners must be full bricks (custom if necessary), with no mitering, forming continuous vertical joints.</p> <p>2. The narrow face of an exposed stone butt joint, at corners, must be a minimum dimension of two (2) inches. Mitered and quirked stone corners are also acceptable.</p>	<p>If the proposed design review is approved, this should be included as a condition of approval.</p>	<p>Yes</p>
<p><u>801.09.11.1.E – Brick Joints – All Districts</u></p> <p>1. The mortar for brick must be dark grey or in the color range of the brick. All joints must be concave or ‘v’ joint. No mortar may be used beyond the face of the brick.</p> <p>2. All brick walls must be built to avoid efflorescence</p>	<p>The brick will include a charcoal concave mortar no larger than ¼ inch.</p>	<p>Yes</p>
<p><u>801.09.11.1.F – Stone Joints – All Districts</u></p> <p>Stone joints shall be no larger than one-fourth (1/4) inch.</p>	<p>If the proposed design review is approved, this should be included as a condition of approval.</p>	<p>Yes</p>

<p><u>801.09.11.1.G – Accent Materials – All Districts</u> Only the following materials may be used for lintels, sills, cornices, bases, and decorative accent trims, and must be no more than 10 percent (10%) of the non-glass surfaces of each elevation of the exterior building façade:</p> <ol style="list-style-type: none"> 1. Stone 2. Cast stone 3. Copper (untreated) 4. Rock faced stone 5. Aluminum or painted steel structural shapes 6. Fiber cement board 7. Premium grade wood trim with mitered outside corners. Examples of premium grade wood are cedar, redwood, and fir. 8. EIFS 	<p>The accent materials consist of precast stone lintels and sills, aluminum parapet flashing, fiber cement board cornices and deck columns, and dark metal trellises.</p>	<p>Yes</p>
<p><u>801.09.11.1.H - Parapets, Flashing, Coping – All Districts</u></p> <ol style="list-style-type: none"> 1. Only the following materials may be used for parapets, flashing and coping: <ol style="list-style-type: none"> a. copper (untreated) b. brick c. stone d. cast stone e. premium grade wood. 2. Pre-finished, painted .032 aluminum may only be used as a standard parapet coping with a maximum exposed edge of five (5) inches. 	<p>The proposed coping and flashing would meet these requirements.</p>	<p>Yes</p>

<p><u>801.09.11.1.I – Awnings – All Districts</u> 1. Only the following types of awnings may be used:</p> <ul style="list-style-type: none"> a. Fabric awnings of a heavy canvas in dark solid colors or other colors that are approved as part of the design review process b. Highly detailed, ornate metal in dark colors c. Glass awnings <p>2. Backlit awnings are prohibited.</p> <p>3. Awnings with text or graphic material may be permitted but require approval via the sign permit process of the Zoning Ordinance.</p>	<p>The proposed building plans do not include any awnings.</p>	<p>Not Applicable</p>
<p><u>801.09.11.1.J – Balconies – All Districts</u> Balconies shall be accessible and useable by persons. Fake or unusable balconies are prohibited. All balconies shall remain within the property line. Metal railings with members painted dark, or glass panels are permitted.</p>	<p>The proposed building includes balconies that would be accessible and usable by persons living in the building.</p>	<p>Yes</p>
<p><u>801.09.11.1.K – Glass – All Districts</u> Glass shall not be mirrored, reflective or darkened. Slight green, bronze and grey tints are acceptable. Spandrel glass shall not be counted as transparent glass for the purposes of calculations under the transparency requirements of Section 801.09.8 of the Standards, but may be used for detailing purposes. Environmentally appropriate glass, such as Low-emissivity glass, shall be used in all projects</p>	<p>The proposed glass would not be mirrored, reflective, or darkened.</p>	<p>Yes</p>
<p><u>801.09.11.1.L – Door Systems – All Districts</u> Unless there are building security concerns, main entry doors shall be primarily glass. If, for security reasons, a main entry door is not possible or practical, a main entry door must be well detailed. Appropriately designed wood doors may be utilized for retail and office buildings.</p>	<p>The proposed entry doors would be glass.</p>	<p>Yes</p>

	Comments	Compliance
Franchise Architecture		
<p><u>801.09.12.1 – All Districts</u></p> <p>A. Typical or standardized franchise architecture (including building design that is the trade dress of, or identified with a particular chain, franchise or business and is repetitive in nature) is prohibited.</p> <p>B. Large, bold or bright signage, trade dress or logos must be altered and scaled down to meet the purpose of these standards as articulated herein, and must not be repeated on the facades of the principal structure more than once. All new, altered and/or proposed signage for buildings must be submitted for review under Section 801.09.18 by the Planning Commission at the time of Design Standards Review application</p>	<p>The proposed building would not be franchise architecture.</p>	<p>Not Applicable.</p>

	Comments	Compliance
<p>Walkways</p> <p>801.09.13.1 – Lake Street District</p> <p>A. Continuous sidewalks at least twelve (12) feet in width shall be provided along all public street frontages.</p> <p>B. Lighted sidewalks shall extend between rear and side parking areas and building entrances. All sidewalk lighting must project downward.</p> <p>C. Buildings with street frontage exceeding fifty (50) feet shall have at least one (1) bench.</p> <p>D. All sidewalk surfaces must match the exposed aggregate/brick accent sidewalks on Lake Street.</p>	<p>The proposed site plan includes a 12-foot Sidewalk along Lake Street that would meet the City’s Lake Street sidewalk specifications of exposed aggregate surface with concrete accents. There would be three street lights along Lake Street spaced more than 100 feet apart. If the proposed design review is approved, a condition of approval should be included that the existing sidewalk bench be salvage and reinstalled along Lake Street.</p> <p>The Ferndale Road street frontage includes adding a 6-foot wide concrete sidewalk with a landscaped boulevard with street trees between the road and the sidewalk.</p>	<p>No. The streetscaping along Lake Street meets the requirements, but the sidewalk on Ferndale does not.</p>

	Comments	Compliance
Landscaping		
<p><u>801.09.14.1 – All Districts</u></p> <p>A. Seasonal landscaping shall be used in all Design Districts, including use of window boxes, hanging flowers baskets, vines and/or other similar seasonal landscaping. If feasible, garden areas and ornamental trees shall be used at the street level.</p> <p>B. Window boxes, hanging baskets and planters with seasonally appropriate plantings shall be used around entries to buildings.</p> <p>C. Vines shall be used to cover walls with more than one hundred (100) square feet of uninterrupted surface area.</p> <p>D. Streetscaping shall include all of the following:</p> <ol style="list-style-type: none"> 1. Boulevard species trees, with at least three (3) caliper inches. 2. Exposed aggregate sidewalks with brick accents 3. Street lights 4. Benches (if building length is 50 feet or greater), which utilize existing city bench designs. 5. Flowers 	<p>The proposed landscape plan includes window boxes with seasonal plantings at the building entrance and along Lake Street and Ferndale Road. The proposed streetscaping along Lake Street includes six hackberry trees that would be located in tree grates within the sidewalk. The streetscaping along Ferndale Road includes six hackberry trees that would be located in the landscaped boulevard between the sidewalk and the street. All of the street trees would be 3 caliper inches in size. If the proposed design review is approved, a condition of approval should be included that the existing bench be salvaged and reinstalled along the Lake Street sidewalk.</p>	<p>No</p>

<p><u>801.09.14.2 – Lake Street District</u></p> <p>A. Established Lake Street landscape treatments shall be followed in accordance with the specifications of the Wayzata Engineering Guidelines set forth in Wayzata City Code. Exposed aggregate with brick accent sidewalks shall be used.</p> <p>B. Approved boulevard trees, planted in sidewalk areas, shall be planted no more than twenty six (26) feet on center from each other.</p>	<p>The proposed sidewalk along Lake Street meets the City’s guidelines and specifications for width and materials.</p> <p>The proposed boulevard trees along Lake Street would be planted 38 feet on center from each other.</p>	<p>No</p>
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	Comments	Compliance
Parking Lot Landscaping		
<p><u>801.09.15.1 – All Districts</u> A landscaped buffer strip at least five (5) feet wide shall be provided between all parking areas and the sidewalk or street. The buffer strip shall consist of shade trees appropriately spaced for the particular Design District, and a decorative metal fence, masonry wall or hedge. A solid wall or dense hedge shall be no less than three (3) feet and no more than four (4) feet in height.</p>	There would be six surface parking stalls located in the back of the building and not along the street.	Not Applicable
Surface Parking		
<p><u>801.09.16.1 – All Districts</u> A. Off-street parking shall be located to the rear of buildings. When parking must be located in a side yard adjacent to the street, a landscaped buffer shall be provided in accordance with the Design Standards. The street frontage occupied by parking shall not exceed sixty (60) feet per property. B. Side-by-side parking lots creating a parking area frontage longer than sixty (60) feet are prohibited, except where a heavily landscaped buffer of at least twenty (20) feet wide completely separates both lots. C. Side yard parking shall not extend beyond the front yard setback of the primary building on the property. D. Front yard parking is prohibited. E. There shall be no corner parking.</p>	There would be six surface parking stalls located in the back of the building and not along the street.	Yes

	Comments	Compliance
<p>801.09.16.2 – All Districts – Bicycle Parking Commercial developments requiring more than twenty (20) parking spaces shall provide at least four (4) bicycle parking spaces in a convenient, visible, preferably sheltered location.</p>	<p>This section is not applicable to the residential building.</p>	<p>Not Applicable</p>
<p>Parking Structures</p>		
<p>801.09.17.1 – All Districts Parking structures shall meet the following standards, along with all other applicable building code standards:</p> <p>A. The ground floor façade abutting any public street or walkway shall be architecturally compatible with surrounding commercial or office buildings.</p> <p>B. The parking structure shall be designed in such a way that sloped floors do not dominate the appearance of the façade.</p> <p>C. Windows or openings shall be similar to those of surrounding buildings.</p> <p>D. Vines and other significant landscaping shall be used to minimize the visual impact of the parking structure.</p>	<p>This section is not applicable, as there is no parking ramp associated with the project.</p>	<p>Not Applicable</p>

<p><u>801.09.17.2 – Lake Street District</u></p> <p>A. If any part of a parking structure abuts Lake Street, that entire portion of the ground floor façade shall be occupied by at least eighty percent (80%) retail usage, extending to a depth of at least thirty (30) feet.</p> <p>B. The ground floor level of a parking structure shall not come within forty (40) feet of Lake Street.</p> <p>C. The top decks of parking structures visible from adjacent properties shall be designed with trellises and landscaping sufficient to screen at least fifty percent (50%) of the visible area.</p>	<p>This section is not applicable, as there is no parking ramp associated with the project.</p>	<p>Not Applicable</p>
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	Comments	Compliance
Signs		
<p><u>801.09.18.1 – All Districts</u></p> <p>A. Compatibility</p> <ol style="list-style-type: none"> 1. Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings. Signs shall be an integral part of the building and site design. 2. A sign plan shall be developed for buildings which house more than one (1) business. Signs need not match, but shall be compatible with one another. Franchise or national chains must comply with these Sign Standards to create signs compatible with their context. 3. When illuminated signs are proposed, only the text and/or logo portion of the sign may be illuminated. Illuminated signs must be compatible with the location. Illumination of the sign to highlight architectural details is permitted. Fixtures shall be small, shielded, and directed towards the sign rather than toward the street, so as to minimize glare for pedestrians and adjacent properties. 4. Sign plans must be submitted for review as part of an Applicant for Design Approval. Proposed signs must also conform to the requirements of Section 801.27 of the Wayzata Zoning Ordinance. 	<p>The building includes two wall signs on the ground floor elevation of the building, which would be located at the main entrance to the building at Lake Street and Ferndale Road.</p>	<p>Yes</p>

<p><u>801.09.18.2 – Permitted Signs – Lake Street District</u> A. Only the following types of signs are permitted in the Lake Street District:</p> <ol style="list-style-type: none"> 1. Awning, canopy or marquee signs 2. Wall signs 3. Monument or ground signs 4. Projecting signs 5. Window signs (small accent signs) 6. Roof signs if located on pitched-roof buildings, below the peak of the roof 	<p>The proposed signs are both wall signs.</p>	<p>Yes</p>
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	Comments	Compliance
<p>Parking Lot and Building Lighting</p>		
<p><u>801.09.19.1 – All Districts</u></p> <p>A. Parking lot lighting shall be designed in such a way as to be in scale with its surroundings, and reduce glare.</p> <p>B. Cutoff fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution.</p> <p>C. Pedestrian-scale lighting, not exceeding thirteen (13) feet in height, shall be located on walkways and adjacent to store entrances. All sidewalk lighting must be projected downwards. City light standard shall be followed for all public streets.</p> <p>D. Light posts shall be of a dark color.</p> <p>E. Lighting fixtures shall be compatible with the architecture of the building.</p> <p>F. Lights attached to buildings shall be screened by the building’s architectural features to eliminate glare to adjacent properties. All façade lighting must be projected downwards.</p> <p>G. All lighting fixtures shall comply with City Code Section 801.16.6 as it relates to glare.</p>	<p>The lighting for the surface parking lot is not included in the plans. The building elevations include an exterior light example, which would be a down-cast wall sconce attached to the building. The site plan includes three street lines along Lake Street, spaced more than 100 feet apart. The one existing street light along Ferndale Road would be salvaged and reinstalled in its current location. If the proposed design review is approved, a condition of approval should be included that the street lights must meet the City’s light standards, as they are located in the City’s right of way.</p>	<p>Evaluate</p>