

Wayzata Planning Commission

Meeting Agenda

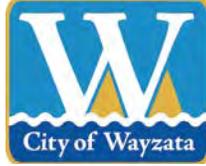
Monday, June 20, 2016

Community Room,
600 Rice Street East,
Wayzata, Minnesota

- 7:00 p.m.**
- 1. Call to Order & Roll Call**
 - 2. Approval of Agenda**
 - 3. New Business Items**
 - a. Preferred Builders – 155 Wooddale Ave
 - Review of house plans
 - 4. Public Hearing Items:**
 - a. Bayside Residence – 320 and 346 Ferndale Rd S
 - Preliminary and final plat subdivision
 - 5. Old Business Items:**
 - a. Holdridge Homes – 1407 and unaddressed parcel on Holdridge Terrace
 - i. Rezoning, Concurrent PUD concept plan and general plan of development, preliminary plat
 - b. Meyer Place on Ferndale – 105 Lake St E
 - Rezoning, Concurrent PUD concept and general plan of development, design review, variance, and shoreland impact plan/CUP
 - c. Beacon Five – 529 Indian Mound E
 - Rezoning, PUD concept plan, height variance, and shoreland impact plan/CUP
 - 6. Other Items:**
 - a. Review of Development Activities
 - 7. Adjournment**

NOTES:

¹ Members of the Planning Commission and some staff may gather at the Wayzata Bar and Grill immediately after the meeting for a purely social event. All members of the public are welcome.



**Planning Report
Wayzata Planning Commission
June 20, 2016**

Project Name: Preferred Builders
Addresses of Request: 155 Wooddale Ave
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: June 20, 2016
City Council Review: July 5, 2016 (Tentative)
“60 Day” Deadline: July 26, 2016

Development Application

Introduction

The applicant, Preferred Builders, has submitted building plans for construction of a new home at 155 Wooddale Avenue. The property is part of the Anchor Bank/Walgreens PUD that was approved by the City Council in January 2014. The PUD includes the commercial development on the south side, which consists of Anchor Bank and Walgreens, and three single-family residential properties on the north side of the development. The City Council resolution approving the PUD and subdivision included a condition that the future homeowner must submit:

“Plans for review and approval by the City depicting architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of the residential structures proposed to demonstrate similarity to the characteristics and quality of the existing homes in the neighborhood as required under Section 805.14.E.8 and 805.14.E.9.”

The applicant purchased Lot 1 of the development, and has submitted the plans for the home for review and approval by the Planning Commission and City Council. The proposed survey and building plans are included as Attachment A.

Project Location.

The property is located 155 Wooddale Ave, which is located north of the Anchor Bank/Walgreens development on Central Avenue:

Map 1: Project Location



The property identification number and owner of the property are as follows:

Address	PID	Owner
155 Wooddale Ave	06-117-22-14-0084	Preferred Builders, Inc.

Relevant Property Information

Current zoning:	PUD/Planned Unit Development
Comp plan designation:	Low Density Single Family
Total lot area:	12,326 sq. ft.

Surrounding Land Uses

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Single-family homes	PUD	Low Density Single Family
East	Colonial Square	C-2/Shopping Center	Mixed Use Commercial

	shopping center	Business District	
South	Anchor Bank/Walgreens	PUD	Mixed Use Commercial
West	Single-family homes	PUD	Low Density Single Family

Analysis of Application

Zoning

The following table outlines the zoning requirements for the property:

Table 1: Proposed House

	PUD Requirement	Proposed
Front setback (south)	None (internal to PUD)	45.4 ft.
Side setback (east)	20 ft. (min.)	27.3 ft.
Side setback (west)	None (internal to PUD)	10 ft.
Rear setback (north)	20 ft. (min.)	20 ft.
Lot coverage	30% (max.)	Undetermined
Impervious surface	35% (max.)	Undetermined
Height	2 stories or 32 ft. to peak	Undetermined

House Plans

The plans submitted with the application include detailed elevations and floor plans for the new house. The proposed house would be two levels with a walk-out basement on the back of the home. The house would include a three car attached garage with driveway access from the shared private street. The exterior materials on the front of the house consist of Hardie board and shakes with a stone base. The exterior materials on the other sides of the house are not indicated on the plans.

City staff has requested additional information regarding the lot coverage, impervious surface and building height, and will update the Planning Commission at the meeting.

Applicable Code Provisions for Review

Preliminary Plat Criteria (Section 805.14.E)

The City Council condition requiring review and approval of the home design on Lot 1 is based on the ordinance criteria for preliminary plat review pertaining to the proposed house:

8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.

9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.

Action Steps

After considering the items outlined in this report, the Planning Commission should consider making a motion which approves the preliminary house plans for 155 Wooddale Ave, based on the finding that the design meets the standards of City Code Section 805.14.E.8 and 805.14.E.9, and satisfies the condition of Resolution No. 05-2015.

Attachments:

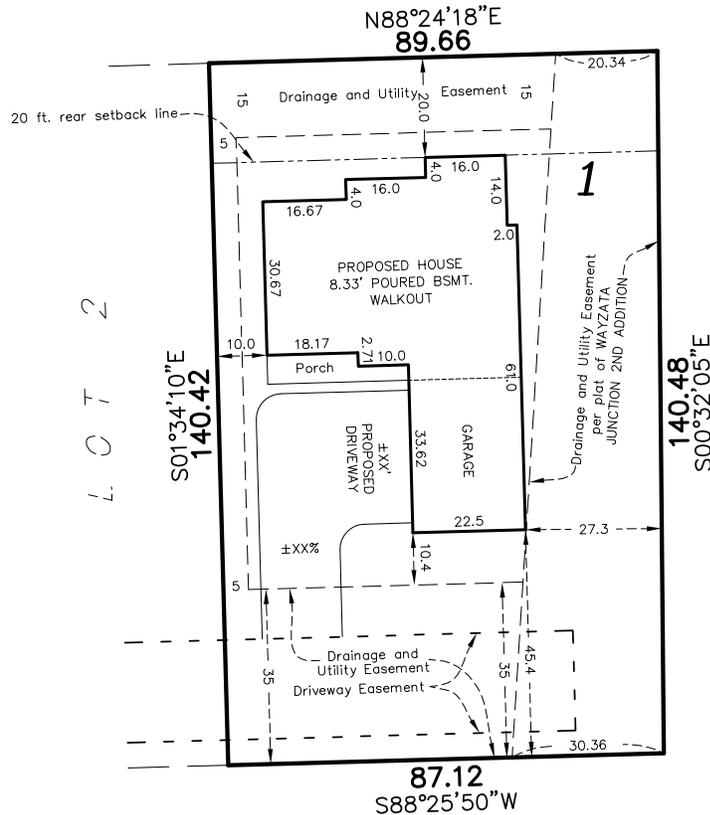
Attachment A: Proposed House Plans

Certificate of Survey for: PREFERRED BUILDERS, INC.

Located in the NE 1/4 of
Sec. 06, Twp. 117, Rge. 22

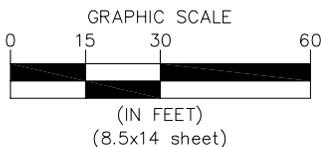


House Address:
155 Wooddale Avenue, Wayzata, MN



- Denotes Existing Hydrant
- Denotes Existing Electric Box
- Denotes Existing Television Box
- Denotes Existing Telephone Box
- Denotes Existing Light Pole
- Denotes Existing Service
- Denotes Existing Curb Stop
- Denotes Existing Elevation
- Denotes Proposed Elevation
- Denotes Direction of Drainage
- Denotes Drainage & Utility Easement (per recorded plat)
- Denotes Iron Monument

Bearings shown are assumed



LEGAL DESCRIPTION:

Lot 1, Block 1, WAYZATA JUNCTION 2ND
ADDITION, Hennepin County, Minnesota

Minimum Lowest Floor Elevation: 000.0

PROPOSED BUILDING ELEVATIONS

Lowest Floor Elevation: 000.0

Top of Foundation Elevation: 000.0

Garage Slab Elevation (at door): 000.0

NOTES:

1. Contractor must verify sewer depth.
2. Driveways shown are for graphic purposes only. Final driveway design and location to be determined by owner/builder.
3. All building foundation dimensions shown on this survey include exterior foundation insulation widths, if applicable. Refer to final building plans for foundation details.

1201 6148.001 MEP



**Carlson
McCain**
ENVIRONMENTAL • ENGINEERING • SURVEYING
3890 Pheasant Ridge Drive NE,
Suite 100, Blaine, MN 55449
Phone: 763-489-7900 Fax: 763-489-7959

I hereby certify to Preferred Builders, Inc. that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Dated this 25th day of May, 2016.

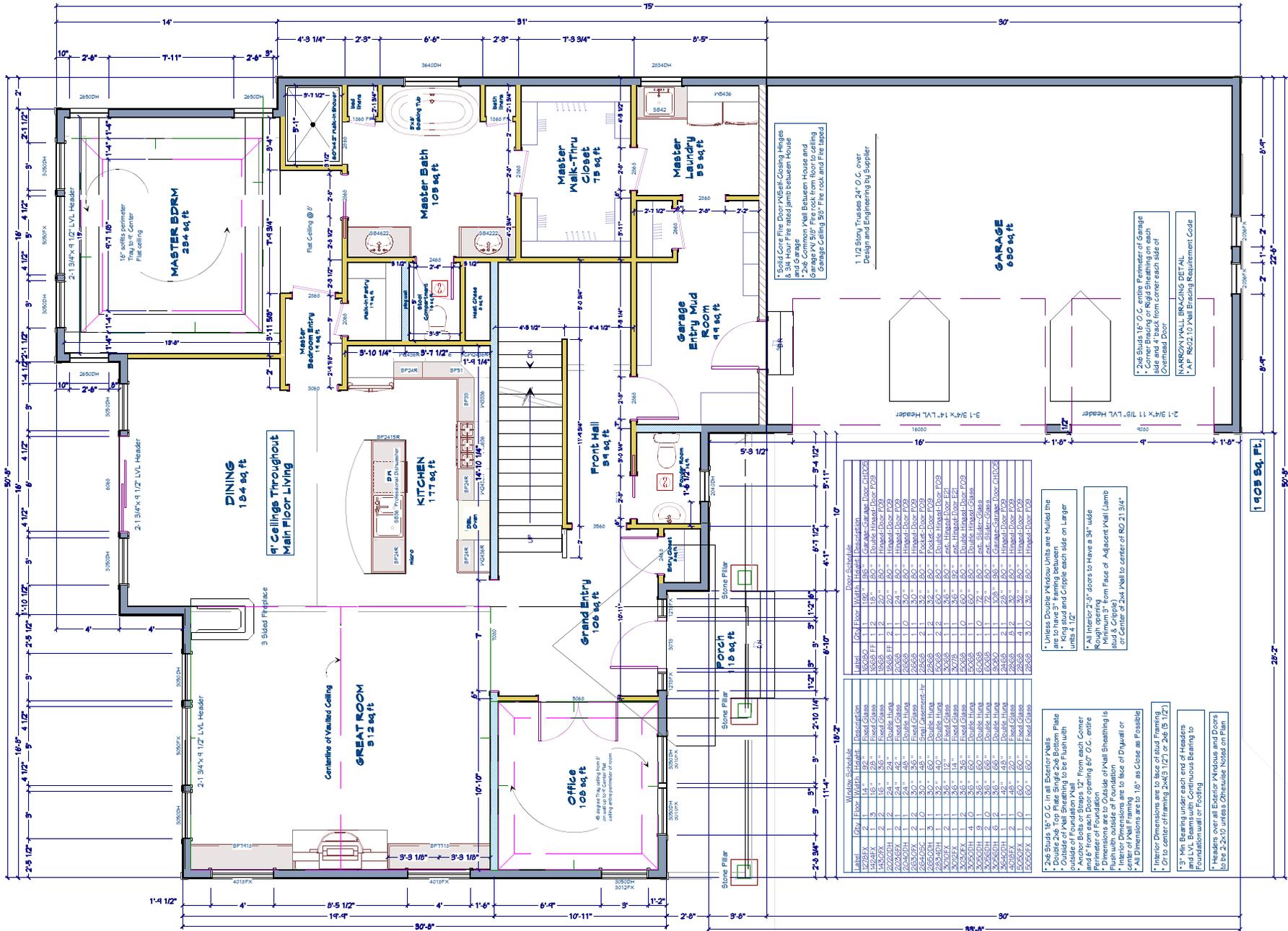
Signed: Carlson McCain, Inc.

By: D R A PC 6/20/20 6
Thomas R. Balluff, L.S. Reg. No. 40011
Peter J. Blomquist, L.S. Reg. No. 51676
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Save Date: 05/24/16 | c:\jobs\6141 - 6160\6148 - wayzata junction 2nd addition\cad\survey\6148.001.dwg

Main Floor Plan -- Prefinal

Scale 1/4"=1'-0"



PC 6/20/2016

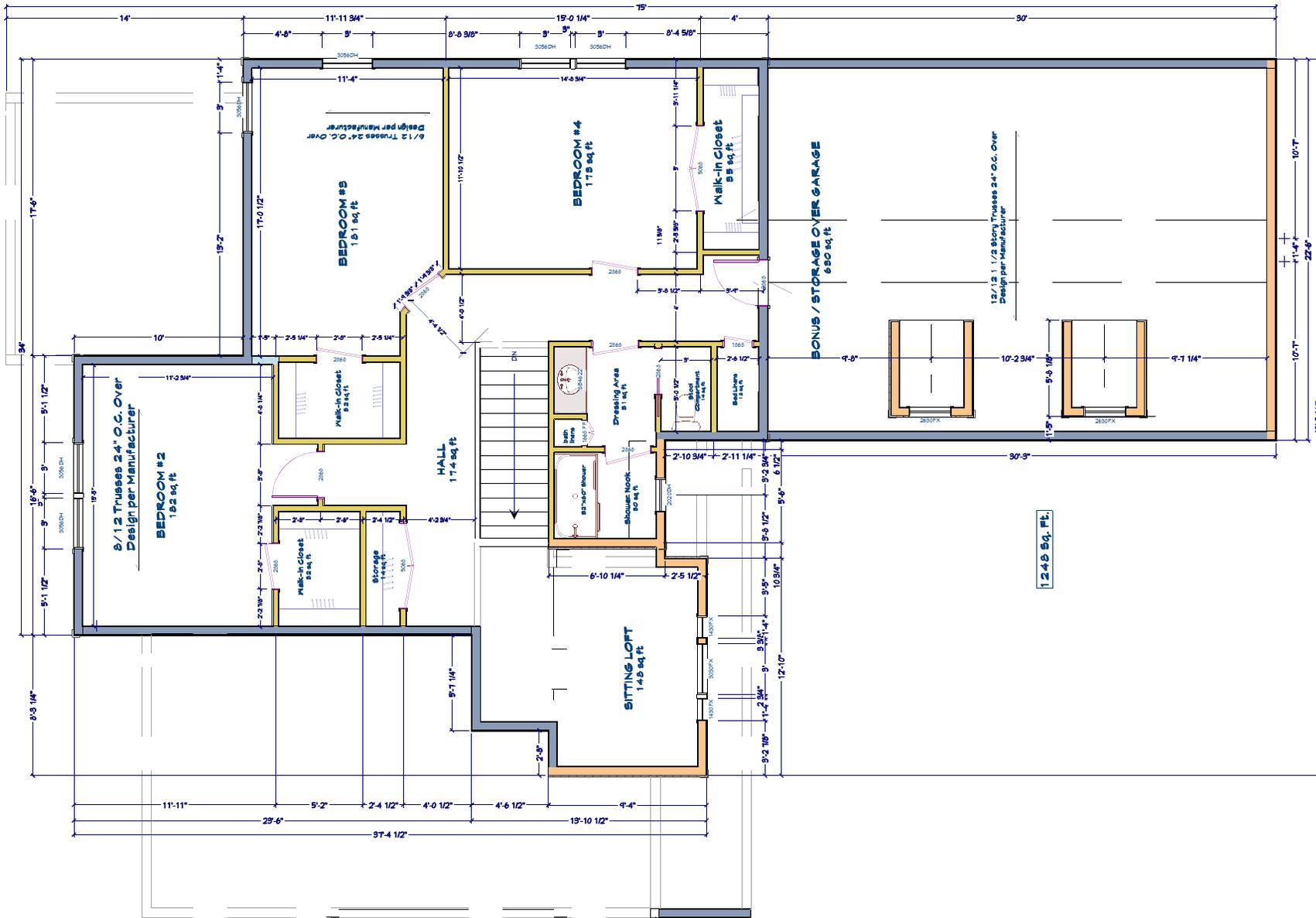
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All Dimensions, Sizes, Specifications, Materials, Brands, Cabinets, Windows and Doors, Engineering of Trusses, Headers, Beams and Footings on these plans or attachments Must be Reviewed and Verified by the Owner, Builder or Supplier before construction begins. ReNew Home DeSign must be notified immediately of any errors, omissions or inconsistencies before or during construction.

These Plans and Specifications are the Property of ReNew Home DeSign -- NO Reproduction or Copies can be made without written consent of ReNew Home DeSign LLC



OWNER: Preferred Builders Rev-5 Pre-Final
 Design By: LA
 Date: 6-20-2016
 Project: 2016-0001
 Drawing: 01-0001



Upper Level Floor Plan

Scale: 1/4"=1'-0"

All Dimensions, Sizes, Specifications, Materials, Brands, Cabinets, Windows and Doors, Engineering of Trusses, Headers, Beams and Footings on these plans or attachments must be reviewed and verified by the Owner, Builder or Supplier before construction begins. ReNew Home DeSign must be notified immediately of any errors, omissions or inconsistencies before or during construction.

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 Rev: 997
 Rev: 998
 Rev: 999
 Rev: 1000

OWNER:
 Preferred Builders
 MAYZATA
 Pre-Final



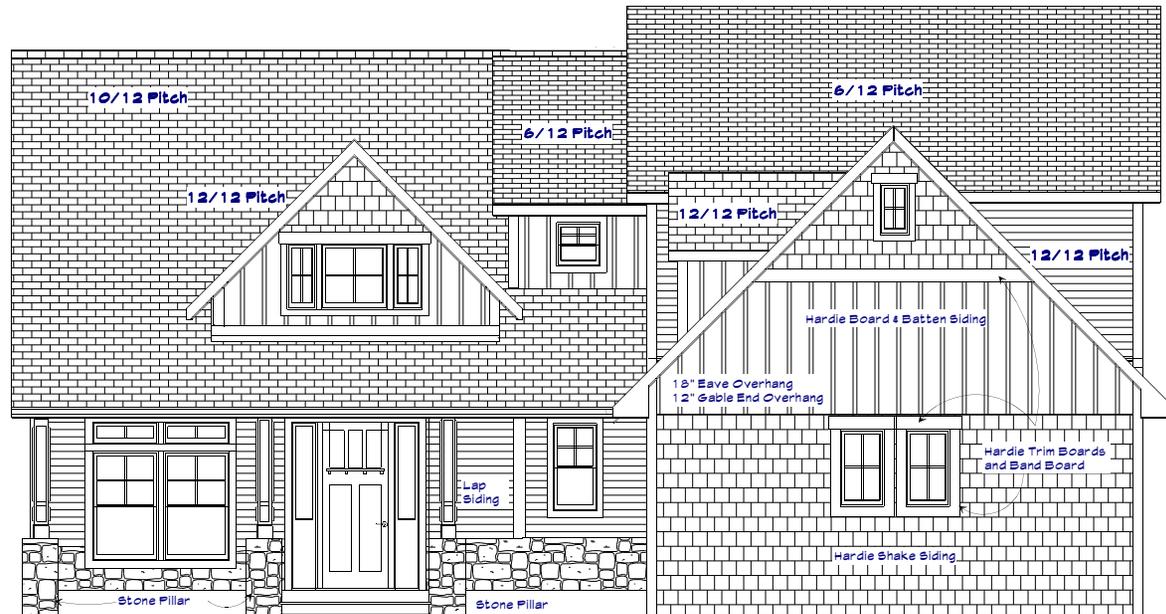
Rear Elevation
SCALE 1/8"=1'0"



Left Side
SCALE 1/8"=1'0"



Right Side
SCALE 1/8"=1'0"



Front Elevation

Elevations

Scale: 1/4"=1'-0"

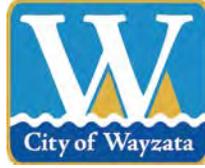
All Dimensions, Sizes, Specifications, Materials, Brands, Cabinets, Windows and Doors, Engineering of Trusses, Headers, Beams and Footings on these plans or attachments Must be Reviewed and Verified by the Owner, Builder or Supplier before construction begins. ReNew Home DeSign must be notified immediately of any errors, omissions or inconsistencies before or during construction.

These Plans and Specifications are the Property of ReNew Home DeSign -- NO Reproduction or Copies can be made without written consent of ReNew Home DeSign LLC

PC 6/20/2016
Page 10 of 207



Design By: LK, Date: 5-2-2016
 2-5-2016
 2-22-2016
 2-23-2016
 2-25-2016
 OWNER: Preferred Builders Rev-5 MAYZATA Pro-Final Page 4



**Planning Report
Wayzata Planning Commission
June 20, 2016**

Project Name: Bayside Residence
Applicant: Peterssen/Keller Architecture
Addresses of Request: 320 and 346 Ferndale Rd S
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: June 20, 2016
City Council Review: TBD
“60 Day” Deadline: July 22, 2016

Development Application

Introduction

The applicant, Peterssen/Keller Architecture, and the property owner, Abbey Road Realty, have submitted a development application to combine the two existing parcels at 320 and 346 Ferndale Road into a single lot of record. The existing houses on both of the lots would be demolished, and one new single-family home would be constructed on the combined lot.

Property Information

The property identification number and owner of the properties are as follows:

Address	PID	Owner
320 Ferndale Rd S	06-117-22-32-0008	Abbey Road Realty, LLC
346 Ferndale Rd S	06-117-22-32-0021	Abbey Road Realty, LLC

The current zoning and comprehensive plan land use designation for the properties are as follows:

Current zoning:	R-1A/Low Density Single Family Estate District
Comp plan designation:	Estate Single Family
Total site area:	142,309 square feet (3.27 acres)

Project Location

The properties are located on Ferndale Rd S, directly south of Shaver Park.

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Preliminary and Final Plat Subdivision: The City’s subdivision ordinance defines subdivision as the division of land into two or more lots or combination of two or more lots. The applicant’s proposal to combine the two existing lots into one lot requires subdivision review and approval.

The City’s subdivision ordinance allows for administrative review and approval of a minor subdivision to combine two lots if one or both of the existing lots are non-conforming due to insufficient lot size, width, or depth, *and* the combined lot would have an area not greater than 125% of the minimum lot size in the zoning district. Both of the existing lots have non-conforming lot sizes and lot widths. However, the combined lot would have a lot area of 142,309 square feet, which is 178% of the minimum lot area requirement in the R-1A zoning district. Therefore, the proposed subdivision is not eligible for administrative review of a minor subdivision. Preliminary and final plat review and approval through the Planning Commission and City Council is required.

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use
-----------	--------------	--------	--------------------

			Designation
North	Shaver Park	R-1A/Low Density Single Family Residential District	Park
East	Lake Minnetonka	N/A	N/A
South	Single-family homes	R-1A/Low Density Single Family Residential District	Estate Single Family
West	Single-family homes	R-1A/Low Density Single Family Residential District	Estate Single Family

Public Hearing Notice

The public hearing notice was published in the *Wayzata Sun Sailor* on June 10, 2016. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on June 10, 2016.

Analysis of Application

Lot Requirements

Both of the existing lots have non-conforming lot areas and lot widths. The subdivision would result in a combined lot that would meet the lot requirements of the R-1A zoning district:

	Lot area (sq. ft.)	Lot width	Lot depth
R-1A Requirements	80,000 (min.)	200 ft. (min.)	200 ft. (min.)
320 Ferndale Rd (existing lot)	65,340 sq. ft.	136 ft.	400+ ft.
346 Ferndale Rd S (existing lot)	76,969 sq. ft.	135 ft.	400+ ft.
Combined Lot (proposed)	142,309 sq. ft.	271 ft.	400+ ft.

Surrounding Lot Sizes

The following summarizes the lot areas of the R-1A lots within 350 feet of the subject properties that contain a single-family home:

Address	Lot area
301 Ferndale Rd S	129,777 sq. ft.
353 Ferndale Rd S	204,800 sq. ft.
358 Ferndale Rd S	70,010 sq. ft.
366 Ferndale Rd S	108,018 sq. ft.
372 Ferndale Rd S	137,479 sq. ft.

Proposed House:

The applicant has submitted the preliminary plans for the new house that would be constructed on the combined lot. The proposed house would be one story in height with a walk-out basement on the lake side of the home. The proposed site plan also includes a detached garage, pool house, and boat house. The proposed home would meet all of the R-1A zoning district requirements:

	R-1A Requirement	Proposed House
Front yard setback	45 ft. (min.)	81 ft.
Side yard setback	20 ft. (min.)	45 ft. / 63 ft.
Rear yard setback	50 ft. (min.)	223 ft.
Lot coverage	10% (max.)	7.1%
Impervious surface	20% (max.)	19.86%

In addition, the site is located in the shoreland overlay zoning district. The proposed house would also meet the requirements of the shoreland district:

- Shoreland setback: The setback requirement for the home is based on the average setback of the adjoining structures. In this case, there is no structure located on the property to the north, Shaver Park. Therefore, the set back from Lake Minnetonka must be equal to the setback of the structure on the property to the south, or 75 feet, whichever is greater. In this case, the home on the property to the south is set back 195 feet from the lake, and the proposed house would be set back 223 feet from the lake. The proposed house meets the lakeshore setback requirement.
- Impervious surface: The maximum impervious surface requirement in the R-1A zoning district of 20% is more restrictive than the impervious surface requirement in the shoreland district. Therefore the R-1A zoning district requirement applies, and the proposed site plan meets the maximum impervious surface requirement.
- Building height: The maximum building height within the shoreland overlay is 35 feet, which is measured from average grade within 6 feet of the house to the midpoint of the highest pitched roof. The proposed house would be 32 feet in height as measured from the walkout level to the top of the chimney, which is the tallest height of building. Therefore, the proposed house is well within the maximum height requirement of the shoreland district.

Sanitary Sewer Relocation

There is an existing City sanitary sewer main that bisects the back of the lot. The applicant is proposing to relocate a portion of the sanitary sewer main to accommodate the proposed house and pool location. The sanitary sewer main would be relocated to the back of these site improvements. The existing utility easement would need to be vacated, and new easements would need to be established along the new sewer location.

Applicable Code Provisions for Review

Preliminary Plat Criteria (Section 805.14.E): The Planning Commission shall consider possible adverse effects of the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.

10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

- Attachment A: Applicant's narrative
- Attachment B: Proposed Plans
 - Preliminary and final plat
 - Architectural plans
 - Civil plans
 - Landscape plans

PETERSSEN/KELLER

architecture

May 20 2016

Peterssen/Keller Architecture
2919 James Avenue South
Minneapolis, Minnesota 55408

To:
The City of Wayzata
Planning Commission
600 Rice Street East
Wayzata, MN 55391

RE: Bayside Residence
320 & 346 Ferndale Road

Enclosed you will find documents for a Subdivision request (lot combination) and a grading review for the site. Below is a list of items within the submittal.

- Completed Development Application
- Landscape narrative provided from D/O, who created the landscape design
- Attested Deed
- Certified List of Property Owners within 350 Ft, on mailing labels
- Peterssen/Keller architecture:
 - Proposed floor plans
 - Exterior elevations
- D/O (Landscape Design)
 - Tree Preservation plan
 - Tree planting plan
- Pierce Pini Civil Engineers:
 - Site Plan Review
 - Stormwater Pollution Prevention Plan Existing and Proposed Conditions
 - Erosion Control Details
 - Grading and Drainage Plan
 - Sanitary Sewer Plan and Profile
 - Stormwater Management Plan
 - Stormwater Management Details
- HSJ Surveyors:
 - Preliminary Plat of Ferndale Gardens
 - Final Plat of Ferndale Gardens

05.18.2016

DWYER/OGLESBAY
227 COLFAX avenue north
suite 205
Minneapolis

ATTENTION

CITY OF WAYZATA
PLANNING COMMISSION
600 RICE STREET EAST
WAYZATA, MN 55391

PROJECT: BAYSIDE RESIDENCE
ADDRESS: 320 & 326 FERNDALE ROAD

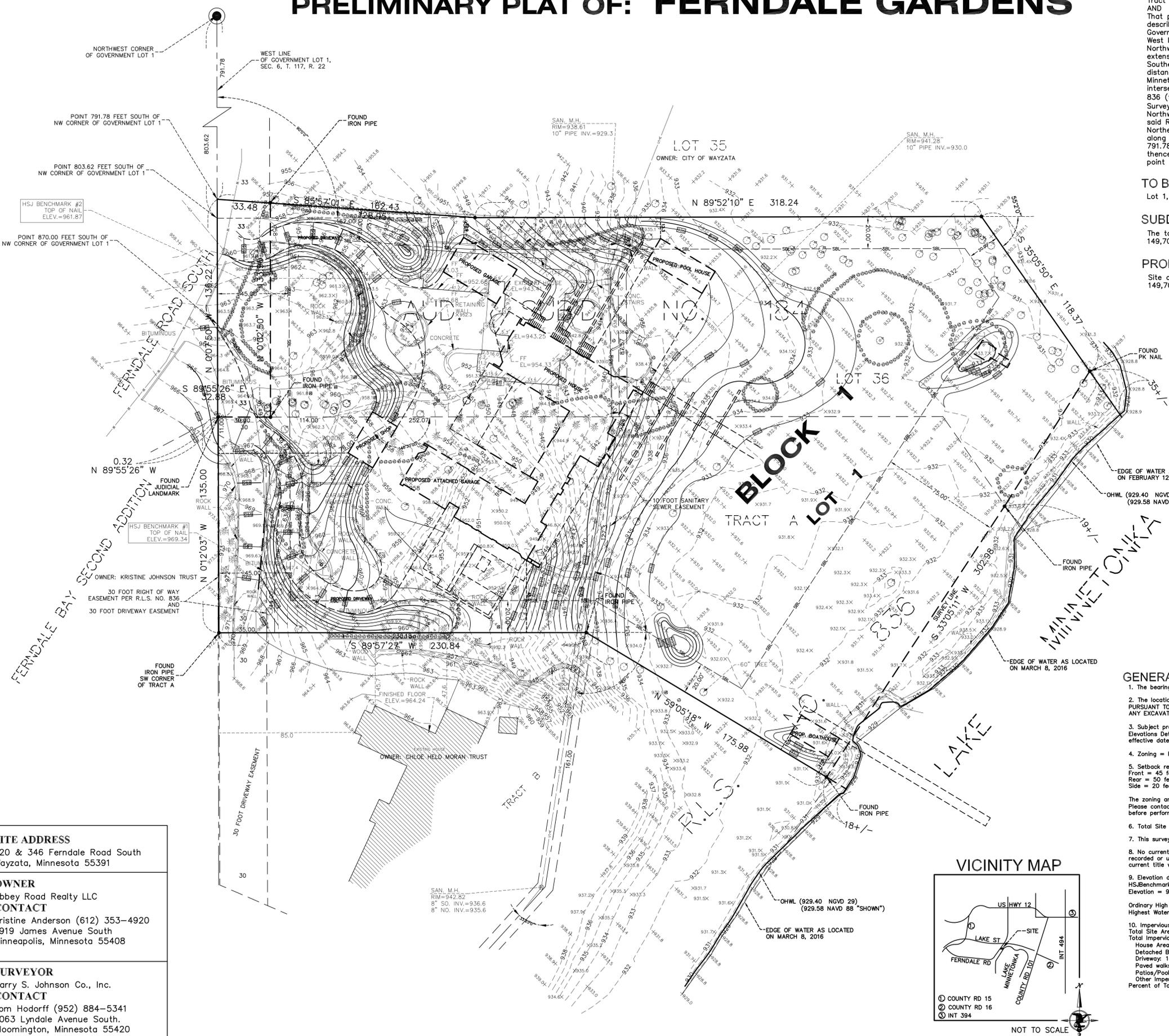
The project site is the combination of two separate lots into a single 149,707 square foot parcel (3.427 Acres) along Wayzata Bay. This proposal is to develop a new single-family home. The designed site improvements include: a new-single family residence with detached garage and boat house, native landscape restoration, sustainable storm water systems, new natural stone drives and patios, pergola and a swimming pool.

The goal of the design is to restore the natural glacial landscape and biomes originally present on the undeveloped site. By removing formal garden walls, non-native tree species and restoring grades the new home is sited within 1.2 acres of restored prairie meadow, one-half acre of upland forest restoration and includes 3,245 square-feet of intensive green roof. The remaining site features formal gardens utilizing native grasses, trees and flowers. A large three-quarter lawn is designed to act as a large raingarden, preventing any storm water from entering Lake Minnetonka as runoff.

All storm water will be captured in raingardens, both natural and formal gardens, and pretreated prior to being captured within two large underground concrete vaults. This excess runoff will be stored and reused as irrigation for lawn and formal garden areas. In the end, the Bayside Residence will manage 100-year rain events, and improve the Lake quality.

All existing trees will be managed to save both significant and heritage trees. Any trees lost due to construction will be replaced with native sugar maples, bur oaks and aspen trees typical to the Kettle Moraine area of this Minnehaha Creek Watershed. The overall house and landscape design will be a quiet, clean modern interpretation of the natural features found within this landscape and environmentally friendly for the Lake and local community.

PRELIMINARY PLAT OF: FERNDALE GARDENS

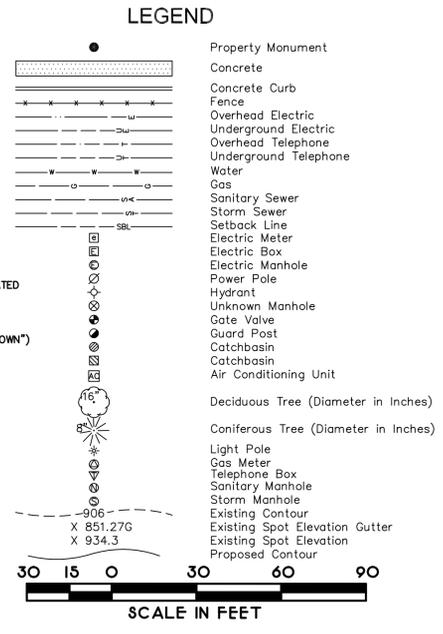


EXISTING PROPERTY DESCRIPTION:
 Tract A, Registered Land Survey No. 836, Hennepin County, Minnesota. AND
 That part of Government Lot 1, Section 6, Township 117, Range 22, described as beginning at a point 162 feet East of the West line of said Government Lot as measured along a line drawn at right angles to said West line from a point therein distant 803.62 feet South from the Northwest corner of said Government Lot 1; thence East along the extension of said right angle line a distance of 318.24 feet; thence Southeasterly deflecting to the right 55 degrees and 02 minutes a distance of 145.6 feet, more or less, to the shore line of Lake Minnetonka; thence Southwesterly along said shore line to the intersection with the Northeastly line of Registered Land Survey No. 836 (the Northeastly and Northerly lines of said Registered Land Survey have been judicially determined in Torrens Case No. 7061); thence Northwesterly and Westerly along said Northeastly and Northerly lines of said Registered Land Survey, and along the Westerly extension of said Northerly line to the West line of said Government Lot 1; thence North along the West line of said Government Lot 1 to a point therein distant 791.78 feet South from the Northwest corner of said Government Lot 1; thence Southeasterly a distance of 162.43 feet, more or less, to the point of beginning.

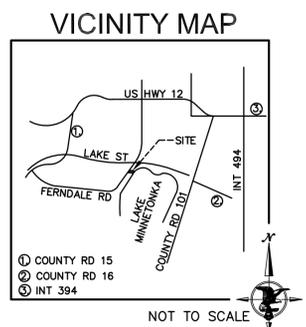
TO BE PLATTED AS:
 Lot 1, Block 1, FERNDALE GARDENS, Hennepin County, Minnesota.

SUBDIVISION SUMMARY:
 The total number of Lots is equal to 1, The total area is 149,707 square feet.

PROPOSED AREA:
 Site area Lot 1, Block 1, FERNDALE GARDENS equals 149,707 square feet = 3.44 acres.



- GENERAL NOTES:**
- The bearing system used is assumed.
 - The location of the underground utilities shown hereon, if any, are approximate only. PURSUANT TO MSA 216D CONTACT GOPHER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.
 - Subject property is identified as being in "Zone X, Other Areas" and "Zone AE, Base Flood Elevations Determined, (931 feet NGVD 29)" on Flood Insurance Rate Map No., 27053C0309E, effective date September 2, 2004.
 - Zoning = Presently R-1A (Low Density Single Family Estate District) per City of Wayzata.
 - Setback requirements per City of Wayzata.
 Front = 45 feet
 Rear = 50 feet; 75 feet from OHWL
 Side = 20 feet
 - The zoning and setback information listed above is per Wayzata's webpage on May 3, 2016. Please contact Wayzata's Planning office directly at 952-404-5312 with any questions, and before performing or planning construction.
 - Total Site area = 149,707 square feet = 3.44 acres (includes property to edge of water).
 - This survey was made on the ground.
 - No current title work was furnished for the preparation of this survey. Legal description, recorded or unrecorded easements and encumbrances are subject to revision upon receipt of current title work.
 - Elevation datum is based on NAVD 1988 data.
 H.S. Benchmark #1 is located Top of Nail (AS SHOWN ON SURVEY)
 Elevation = 969.34 (NAVD 1988) = 889.16 (NGVD 29)
 - Ordinary High Water Line = 929.4 (NGVD 29)
 Highest Water Elevation = 931.5 (NGVD 29)
 - Impervious Area details.
 Total Site Area: 149,707 square feet
 Total Impervious Surface Area: 29,738 square feet
 House Area(s): 8,072 square feet
 Detached Buildings Area(s): 2,530 square feet
 Driveway: 14,522 square feet
 Paved walks/walls/stairs Areas: 2,616 square feet
 Patios/Pool Deck/Deck Area(s): 1,841 square feet
 Other Impervious Structure Areas: 157 square feet
 Percent of Total Site Area that is Impervious: 19.86%



SITE ADDRESS
 320 & 346 Ferndale Road South
 Wayzata, Minnesota 55391

OWNER
 Abbey Road Realty LLC
CONTACT
 Kristine Anderson (612) 353-4920
 2919 James Avenue South
 Minneapolis, Minnesota 55408

SURVEYOR
 Harry S. Johnson Co., Inc.
CONTACT
 Tom Hodorff (952) 884-5341
 9063 Lyndale Avenue South.
 Bloomington, Minnesota 55420



SCALE: 1 INCH = 30 FEET

REVISIONS

Date: _____

No.	Description

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota

Thomas E. Hodorff
 Thomas E. Hodorff, L.S.
 Minnesota Reg. No. 23677

Date: May 17, 2016

PRELIMINARY PLAT OF FERNDALE GARDENS

For:
 PETERSSEN KELLER ARCHITECTURE

SITE:

320 & 346 FERNDALE ROAD SOUTH
 WAYZATA, MINNESOTA

HENNEPIN COUNTY

HARRY S. JOHNSON CO., INC. LAND SURVEYORS

9063 Lyndale Avenue South
 Bloomington, MN. 55437
 Tele. 952-884-5341 Fax 952-884-5344
 www.hsjlandsurveyors.com

Book 644	File No. 1-3-9295PP
Page 56	W.O. Number 2016123.04
CAD Technician CT	
Sheet No. 1 OF 1	PC 6/20/2016 Page 19 of 207

FERNDALE GARDENS

R.T. DOC. NO.

KNOW ALL PERSONS BY THESE PRESENTS: That Abbey Road Realty LLC, a Minnesota limited liability company, fee owner of the following described property situated in the County of Hennepin, State of Minnesota, to-wit:

Tract A, Registered Land Survey No. 836, Hennepin County, Minnesota.

AND
That part of Government Lot 1, Section 6, Township 117, Range 22, described as beginning at a point 162 feet East of the West line of said Government Lot as measured along a line drawn at right angles to said West line from a point therein distant 803.62 feet South from the Northwest corner of said Government Lot 1; thence East along the extension of said right angle line a distance of 318.24 feet; thence Southeasterly deflecting to the right 55 degrees and 02 minutes a distance of 145.6 feet, more or less, to the shore line of Lake Minnetonka; thence Southwesterly along said shore line to the intersection with the Northeastery line of Registered Land Survey No. 836 (the Northeastery and Northerly lines of said Registered Land Survey have been judicially determined in Torrens Case No. 7061); thence Northwestery and Westerly along said Northeastery and Northerly lines of said Registered Land Survey, and along the Westerly extension of said Northerly line to the West line of said Government Lot 1; thence North along the West line of said Government Lot 1 to a point therein distant 791.78 feet South from the Northwest corner of said Government Lot 1; thence Southeasterly a distance of 162.43 feet, more or less, to the point of beginning.

Has caused the same to be surveyed and platted as FERNDAL GARDENS.

In witness whereof said Abbey Road Realty LLC, a Minnesota limited liability company has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

Signed: Abbey Road Realty LLC

Lawrence J. Lukis, President and Manager

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____, 20____ by _____ its _____ of Abbey Road Realty LLC, a Minnesota limited liability company, on behalf of the company.

signature notary printed name

Notary Public, _____ County, _____

My Commission Expires _____

I, Thomas E. Hodorff do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Thomas E. Hodorff, Licensed Land Surveyor,
Minnesota License No. 23677

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____, by Thomas E. Hodorff.

signature notary printed name

Notary Public, _____ County, Minnesota

My Commission Expires _____

CITY COUNCIL, City of Wayzata, Minnesota

This plat of FERNDAL GARDENS was approved and accepted by the City Council of the City of Wayzata, Minnesota at a regular meeting thereof held this ____ day of _____, 20____. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, City of Wayzata, Minnesota

By: _____ Mayor By: _____ Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat, dated this ____ day of _____, 20____.

By: Mark V. Chapin, Hennepin County Auditor

By: _____ Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969), this plat has been approved this ____ day of _____, 20____.

Chris F. Mavis, County Surveyor

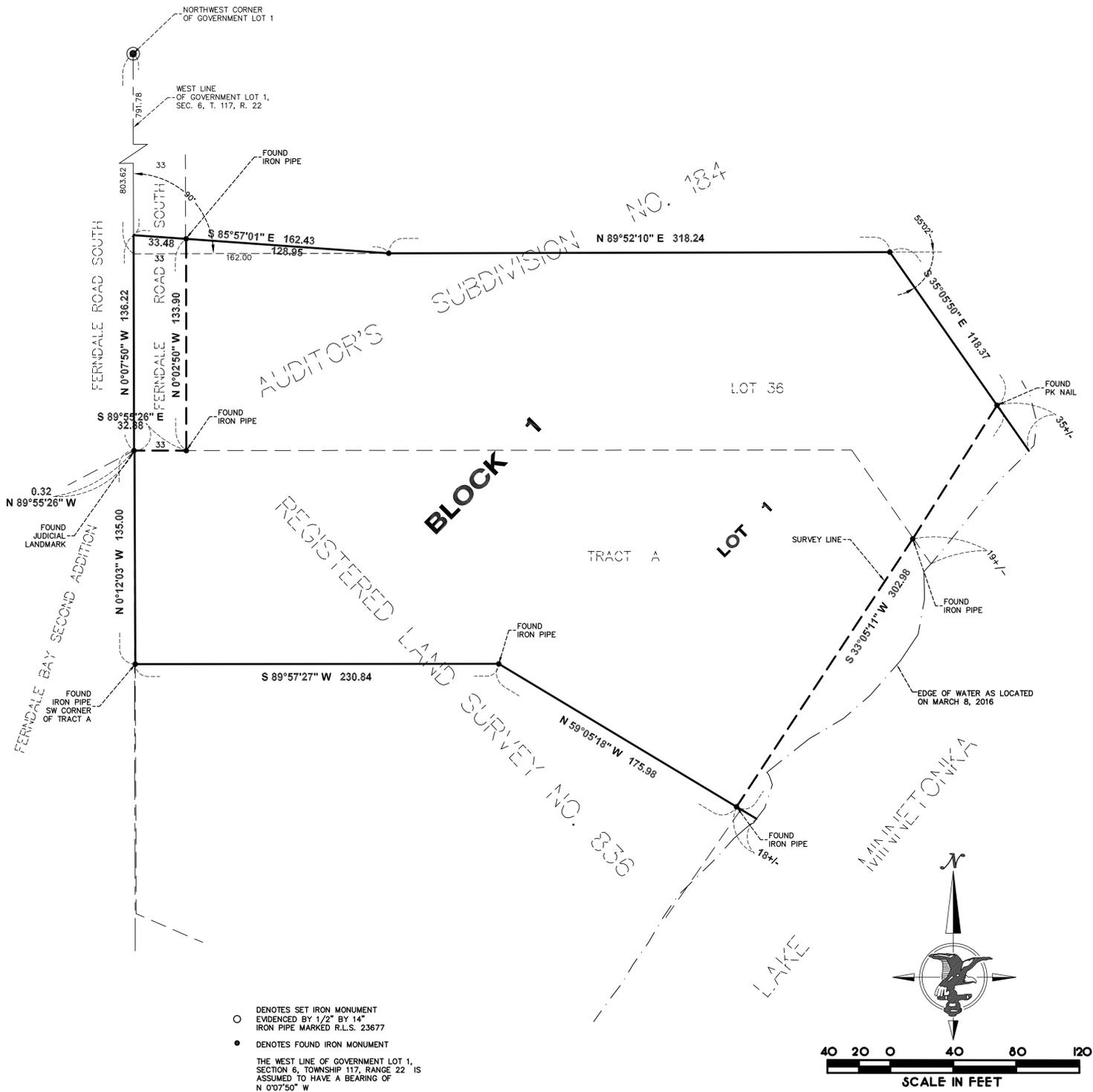
By: _____

REGISTRAR OF TITLES, Hennepin County, Minnesota

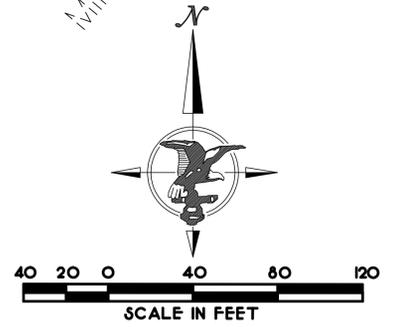
I hereby certify that the within plat of FERNDAL GARDENS was filed in this office this ____ day of _____, 20____, at ____ o'clock ____M.

Martin McCormick, Registrar of Titles

By: _____ Deputy



○ DENOTES SET IRON MONUMENT EVIDENCED BY 1/2" BY 14" IRON PIPE MARKED R.L.S. 23677
● DENOTES FOUND IRON MONUMENT
THE WEST LINE OF GOVERNMENT LOT 1, SECTION 6, TOWNSHIP 117, RANGE 22 IS ASSUMED TO HAVE A BEARING OF N 0°07'50" W



HARRY S. JOHNSON
LAND SURVEYORS



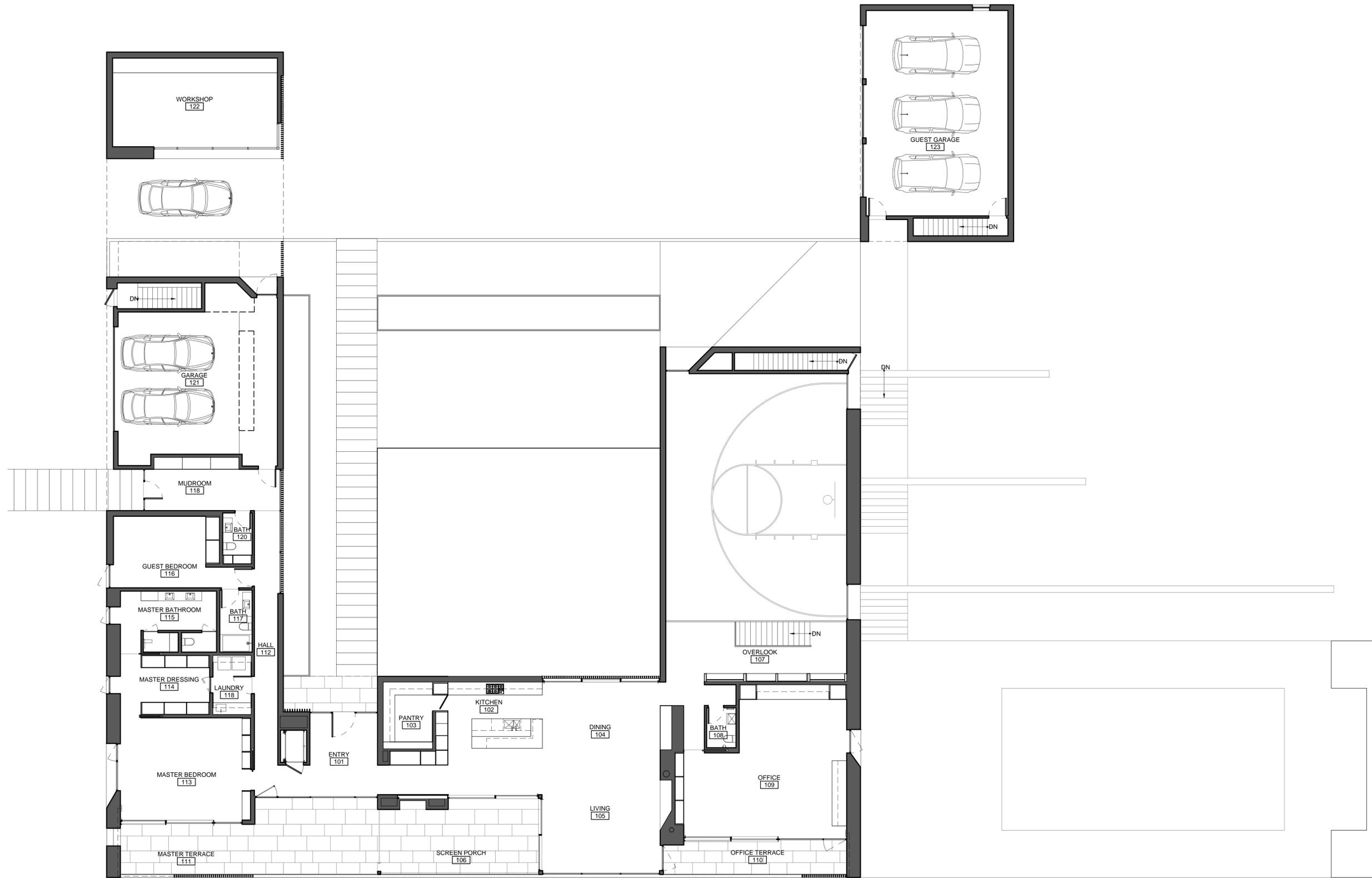
1 LOWER LEVEL PLAN
 SCALE: 1/8"=1'-0"

BAYSIDE RESIDENCE
 320 - 346 FERNDALE ROAD
 WAYZATA, MN 55391

DESCRIPTION	DATE
CITY SUBMITTAL	05.20.16

A-100

NOT FOR CONSTRUCTION



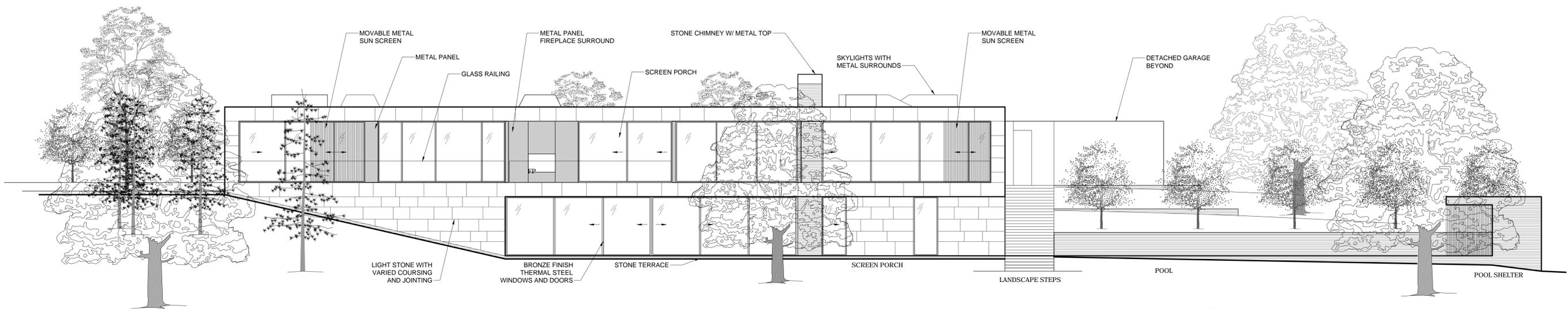
1 MAIN LEVEL PLAN
 SCALE: 1/8"=1'-0"

BAYSIDE RESIDENCE
 320 - 346 FERNDALE ROAD
 WAYZATA, MN 55391

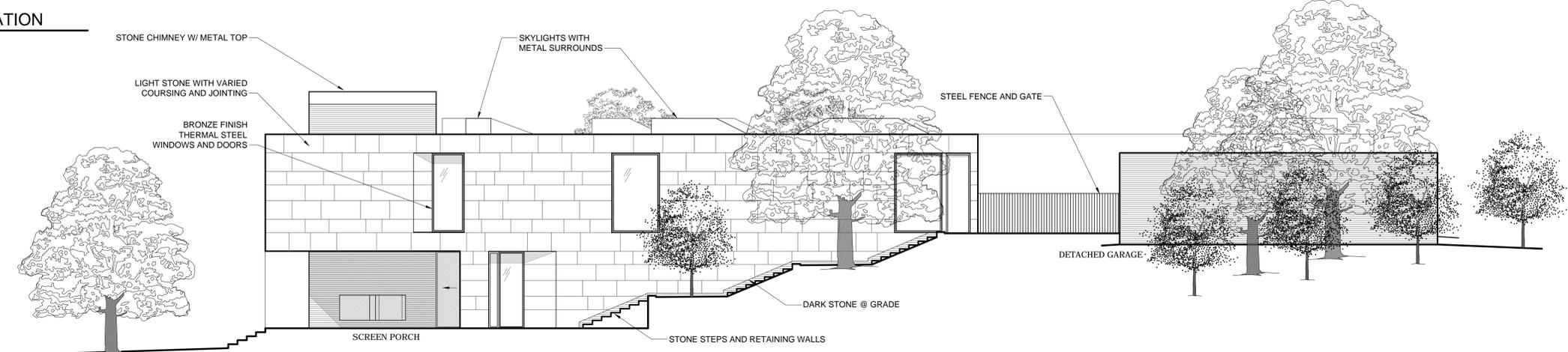
DESCRIPTION	DATE
CITY SUBMITTAL	05.20.16

A-101

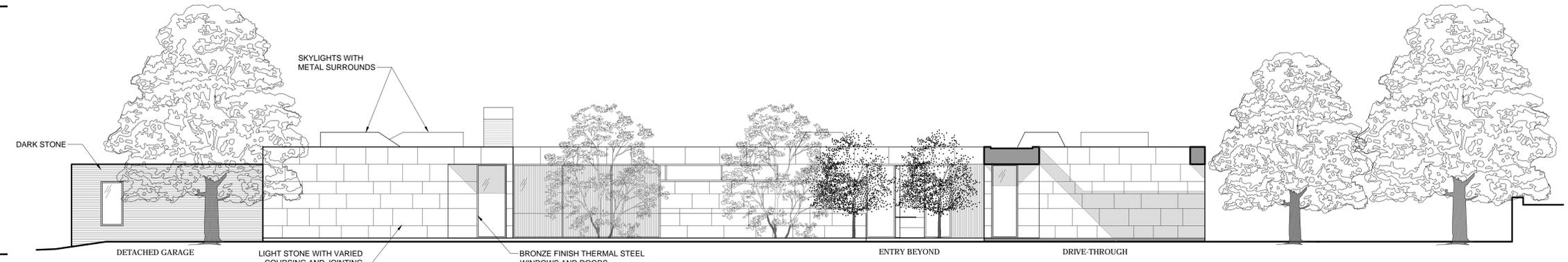
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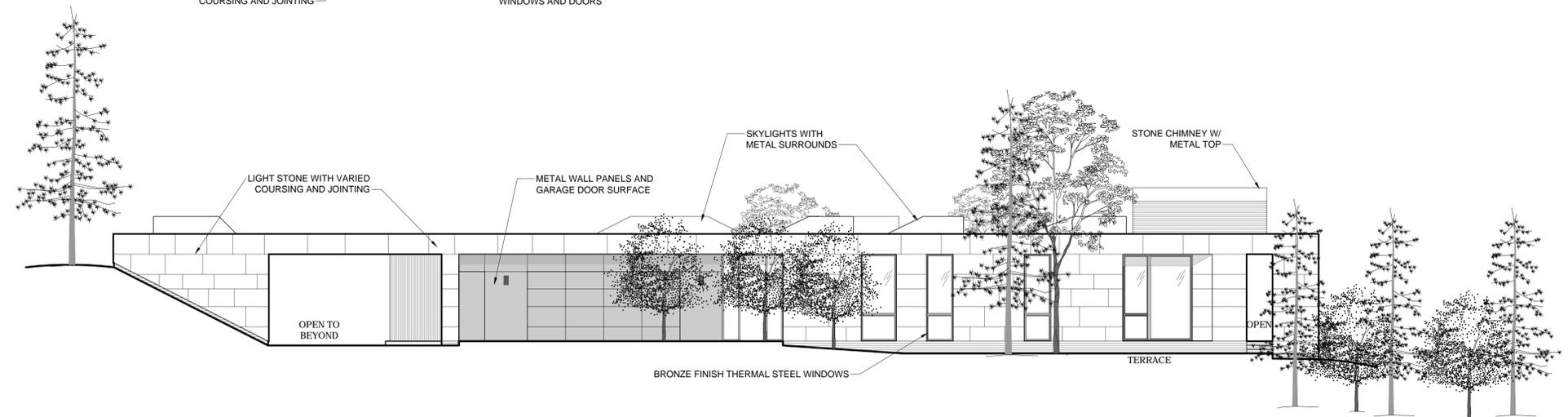
1 EAST ELEVATION
 SCALE: 1/8"=1'-0"



2 NORTH ELEVATION
 SCALE: 1/8"=1'-0"



3 WEST ELEVATION
 SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

BAYSIDE RESIDENCE
 320 - 346 FERNDALE ROAD
 WAYZATA, MN 55391

DESCRIPTION	DATE
CITY SUBMITTAL	05.20.16

A-200
 V.809 1348P UZ28P59M00F SF7-447E P9
 PC 6/20/2016
 Page 23 of 207

NOT FOR CONSTRUCTION

BAYSIDE RESIDENCE

320 FERNDALE ROAD SOUTH

GRADING, EROSION CONTROL AND STORMWATER MANAGEMENT PLANS

PIERCE PINI &
ASSOCIATES, INC.
Consulting Civil Engineers

9298 CENTRAL AVENUE NE
SUITE 312
BLAINE, MN 55014
TEL 763-537-1311

CONTACT INFORMATION

CIVIL ENGINEER

PIERCE PINI & ASSOCIATES, INC.
9298 CENTRAL AVENUE NE, SUITE 312
BLAINE, MN 55434
CONTACT: Kevin Gardner
TEL: 763.537.1311

SURVEYOR

HARRY S. JOHNSON LAND SURVEYORS
9063 LYNDALE AVENUE SOUTH
BLOOMINGTON, MN 55437
CONTACT: Thomas Hodorff
TEL: 952-884-5341

ARCHITECTURE

PETERSEN/KELLER ARCHITECTURE
2919 JAMES AVENUE SOUTH
MINNEAPOLIS, MN 55408
CONTACT: Kristine Anderson
TEL: 612-353-4920

SHEET NUMBER

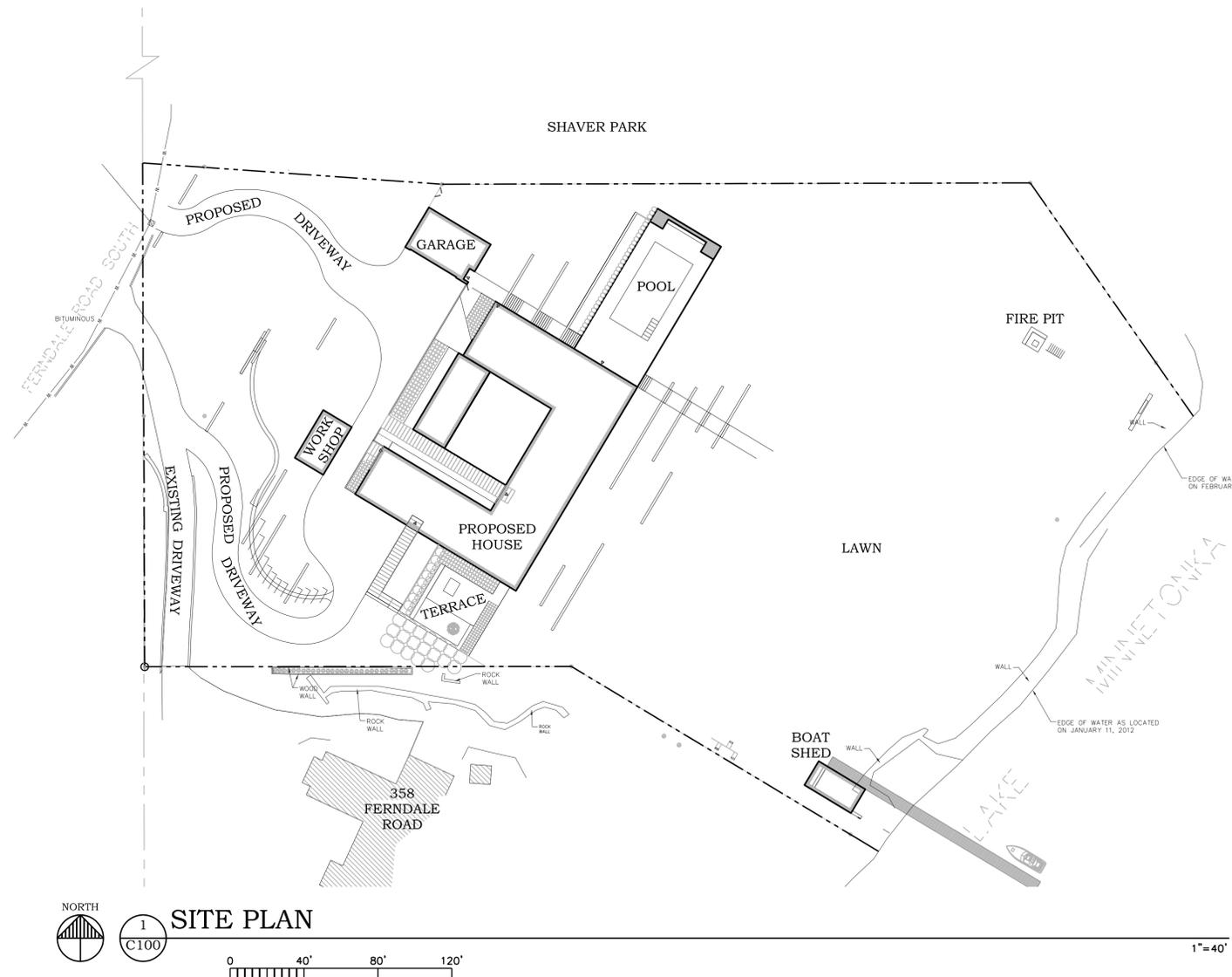
C100
-
C200
C300
C400
C500
C600
C700
C800
C900
C901

DRAWING TITLE

TITLE SHEET
SURVEY
CIVIL NOTES AND LEGEND
STORMWATER POLLUTION PREVENTION NOTES
STORMWATER POLLUTION PREVENTION PLAN - EXISTING CONDITIONS
STORMWATER POLLUTION PREVENTION PLAN - PROPOSED CONDITIONS
EROSION CONTROL DETAILS
GRADING AND DRAINAGE PLAN
SANITARY SEWER PLAN AND PROFILE
STORMWATER MANAGEMENT PLAN
STORMWATER MANAGEMENT DETAILS



LOCATION MAP



SITE PLAN

BAYSIDE RESIDENCE

320 FERNDALE ROAD SOUTH
WAYZATA, MINNESOTA

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed:

Name: Kevin Gardner

Date: 05/20/2016 Reg. No: 45815

Issued for: _____ Date: _____

Site Plan Review: _____ Date: 05/20/2016

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Site Plan Review

Drawing Title

COVER SHEET

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**CONSTRUCTION SEQUENCING AND
INSPECTION OF EROSION AND
SEDIMENT CONTROL PRACTICES FOR
STORMWATER MANAGEMENT SYSTEMS**

- A. OBTAIN PERMITS FOR SITE WORK FROM CITY OF WAYZATA, MINNESOTA POLLUTION CONTROL AGENCY AND ALL GOVERNING AUTHORITIES WITH JURISDICTION IN THIS CONSTRUCTION AREA.
- B. INSTALL EROSION CONTROL AND TREE PROTECTION ALONG PERIMETER OF SITE. INSTALL EROSION CONTROL INSERTS AT ALL CATCHBASINS AND MANHOLES AND CONSTRUCT ROCK CONSTRUCTION ENTRANCE. SEE EROSION CONTROL NOTES FOR FURTHER INSTRUCTION.
- C. PROCEED WITH SITE DEMOLITION, GRADING AND CONSTRUCTION.
- D. MAINTAIN EROSION CONTROL BMP'S AND CONTROL RUNOFF REQUIREMENTS AS OUTLINED ON DRAWING AND SPECIFICATIONS.
- E. ALL SITE WORK SHOULD BE COMPLETE PRIOR TO WORK ON THE STORMWATER AREAS BEING STARTED TO THE EXTENT POSSIBLE. IF CONSTRUCTION OF THESE AREAS NEEDS TO OCCUR PRIOR TO FINAL SITE STABILIZATION, THEN THE CONSTRUCTED AREA MUST BE PROTECTED AND CONTRIBUTING FLOWS NEED TO BE FILTERED TO PREVENT SEDIMENT ACCUMULATION. THE STORMWATER MANAGEMENT SYSTEMS NEED TO BE PROTECTED FROM EROSION AND SEDIMENT. A FENCE WILL BE REQUIRED AROUND ITS PERIMETER TO KEEP THE AREA OF THE SYSTEM PROTECTED.
- F. NOTIFY CIVIL ENGINEER AND CITY OF WAYZATA OF WORK BEING DONE ON STORMWATER SYSTEMS AND THE SCHEDULE OF CONSTRUCTION. ALLOW A MINIMUM OF FIVE WORKING DAYS FOR NOTIFICATION SO ENGINEER CAN CONDUCT SITE MEETING TO DISCUSS THE INTENT OF THE SYSTEM AND SO CONSTRUCTION OBSERVATION CAN BE SCHEDULED ACCORDINGLY. SITE MEETING TO REVIEW THE INTENT OF THE DESIGN AND THE CONSTRUCTION OF THE STORMWATER SYSTEM NEEDS TO OCCUR PRIOR TO STARTING CONSTRUCTION ON THE SYSTEM AND UPSTREAM PIPING.
- G. MAINTAIN EROSION AND SEDIMENT CONTROL ON CONTRIBUTING AREAS TO AVOID SEDIMENTATION OF SYSTEM.
- H. CONSTRUCT STORMWATER SYSTEMS PER DRAWINGS AND SPECIFICATIONS.
- I. COMPLETE CONSTRUCTION OF DRIVEWAY AND SITE PAVING AFTER STORMWATER SYSTEM IS INSTALLED. AFTER PAVEMENT IS INSTALLED, VERIFY THAT STORMWATER SYSTEMS ARE CLEAR AND FULLY FUNCTIONAL. EXCAVATE, DREDGE, OR CLEAN AS NEEDED SO THEY ARE FULLY FUNCTIONAL AT PROJECT CLOSEOUT.
- J. INSTALL LANDSCAPING AND PLANTING MATERIALS PER LANDSCAPE DRAWINGS AND SPECIFICATIONS.
- K. REMOVE ALL TEMPORARY EROSION CONTROL BMP'S AFTER PAVING AND STORMWATER AREAS ARE COMPLETE AND AFTER TURF HAS BEEN ESTABLISHED.
- L. CONTRACTOR SHALL TAKE PHOTOGRAPHS AND MEASUREMENTS OF ALL STORMWATER MANAGEMENT SYSTEMS THROUGHOUT CONSTRUCTION. DOCUMENTATION OF CONSTRUCTION SHALL BE SUBMITTED TO THE CIVIL ENGINEER AT THE CLOSEOUT OF THE PROJECT. CLOSEOUT DOCUMENTATION SHALL INCLUDE PHOTOGRAPHS AND MEASUREMENTS OF SYSTEM DURING CONSTRUCTION, TESTING REPORTS AND OBSERVATIONS AND REDLINE DRAWINGS OF ANY FIELD MODIFICATIONS MADE DURING CONSTRUCTION.
- M. A LETTER WRITTEN ON COMPANY LETTERHEAD THAT THE STORMWATER MANAGEMENT PRACTICES HAVE BEEN BUILT PER THE CIVIL PLANS, OR PER REDLINE FIELD DRAWINGS, SHALL BE SUBMITTED TO THE CIVIL ENGINEER AT THE CLOSEOUT OF THE PROJECT.
- N. THE CONTRACTOR SHALL SUBMIT AN AS-BUILT SURVEY OF THE COMPLETED SITE PREPARED AND SIGNED BY A LICENSED SURVEYOR TO THE CIVIL ENGINEER AT THE END OF THE PROJECT. AS-BUILT SURVEY SHALL INCLUDE ENOUGH INFORMATION TO VERIFY THE CONSTRUCTED TOPOGRAPHY, UTILITY AND SITE ELEMENTS. TOPOGRAPHY OF THE PONDS SHALL BE INCLUDED IN THE AS-BUILT SURVEY. COORDINATE WITH OWNER AND CIVIL ENGINEER FOR SCHEDULE FOR WHEN THIS SHALL BE COMPLETED.
- O. REMOVE ALL TEMPORARY EROSION CONTROL BMP'S AFTER PAVING AND STORMWATER AREAS ARE COMPLETE AND AFTER TURF HAS BEEN ESTABLISHED. SEE STORMWATER POLLUTION PREVENTION PLANS.

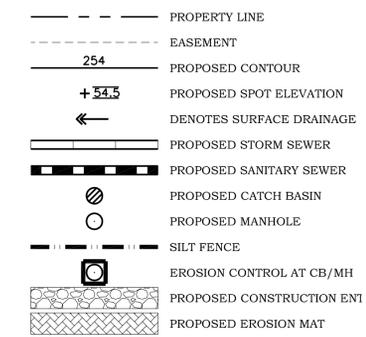
GENERAL NOTES

1. ALL EXISTING INFORMATION TAKEN FROM SURVEY BY HARRY S. JOHNSON COMPANY, INC. DATED FEBRUARY 15, 2016.
2. A GEOTECHNICAL EXPLORATION AND ENGINEERING REVIEW WAS COMPLETED FOR THIS SITE BY NORTHERN TECHNOLOGIES, INC, PROJECT NO. 16.61369.100 DATED MAY 11, 2016.
3. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
4. ALL AREAS DISTURBED BY CONSTRUCTION WHICH ARE OUTSIDE THE LIMITS OF PAVING ARE TO BE RESTORED AND REVEGETATED.
5. ALL UTILITY DEMOLITION AND/OR ABANDONMENT TO BE PERFORMED IN ACCORDANCE WITH CITY OF WAYZATA AND STATE OF MINNESOTA REGULATIONS AND STANDARDS.
6. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHICH MAY INCLUDE BUT IS NOT LIMITED TO: ELECTRIC, TELEPHONE, GAS, CABLE TV, COMPUTER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER, STEAM, CONDENSATE, ELECTRICAL DUCT BANK AND WATER MAIN. CONTRACTOR TO CONTACT GOPHER ONE-CALL BEFORE EXCAVATING.
7. ALL EXISTING UTILITIES AND OTHER IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE.
8. CONTRACTOR TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE AT OWN EXPENSE.
9. CONTRACTOR TO FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF EXISTING STORM AND SANITARY SEWER PRIOR TO THE START OF CONSTRUCTION.
10. PROVIDE THE FOLLOWING MINIMUM COVER OVER THE TOP OF PIPE AS FOLLOWS:
 - A. 8' OVER WATER MAIN
 - B. 5' OVER SANITARY SEWER
 - C. 2' OVER STORM SEWER
11. ALL WORK TO CONFORM WITH CITY OF WAYZATA AND STATE OF MINNESOTA STANDARDS AND REGULATIONS.
12. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P "EXCAVATIONS AND TRENCHES". THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
13. CATCH BASINS AND MANHOLES ARE SHOWN ON PLAN LARGER THAN ACTUAL SIZE. COORDINATE LOCATION OF MANHOLE COVER AND CASTING SO THAT IT IS PROPERLY LOCATED AT THE BACK OF CURB LINE FOR THE CURB INLETS OR CENTERED IN THE AREA AS SHOWN ON THE PLAN FOR THE AREA DRAINS AND MANHOLE COVERS.
14. PROVIDE BARRICADES AT STREETS AND SIDEWALKS PER CITY OF WAYZATA REQUIREMENTS.
15. SITE UTILITY CONTRACTOR TO FURNISH AND INSTALL ALL WATERMAIN, SANITARY SEWER AND STORM SEWER FACILITIES AND APPURTENANCES TO WITHIN FIVE FEET OUTSIDE THE BUILDING. COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT LOCATION AND DEPTH OF CONNECTION WITHIN BUILDING.
16. CONTRACTOR SHALL COORDINATE WITH ARCHITECT'S DRAWINGS TO VERIFY LOCATION, SIZE AND QUANTITY OF ALL ROOF DRAINS AND UTILITY CONNECTIONS. LIMITS OF PROPOSED SITE PLUMBING FACILITIES SHALL BE FIVE FEET FROM EDGE OF BUILDING UNLESS OTHERWISE NOTED.
17. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING CONSTRUCTION.
18. ALL WORK TO CONFORM TO CITY OF WAYZATA STANDARDS. ALL COMPLETED WORK IS SUBJECT TO INSPECTION BY THE CITY OF FOREST LAKE SEWER UTILITY DEPARTMENT AT A REASONABLE TIME BEFORE BACKFILLING.
19. ALL MATERIALS FOR PROPOSED CONSTRUCTION OR REPAIR OF EXISTING FACILITIES SHALL BE NEW PRODUCTS DIRECT FROM THE FACTORY AND FREE FROM DEFECTS.
20. WHEN WORKING AROUND EXISTING TELEPHONE OR ELECTRICAL POLES, THE CONTRACTOR SHALL BRACE THE POLE FOR SUPPORT.
21. WHEN WORKING AROUND EXISTING UTILITIES THAT BECOME EXPOSED, THE CONTRACTOR SHALL PROVIDE SUFFICIENT SUPPORT TO PREVENT EXCESSIVE STRESS ON THE PIPING. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
22. WASTE MATERIALS INCLUDING PAVEMENT REMOVED DURING CONSTRUCTION, WASTE PIPING AND SUPPLIES, CONSTRUCTION DEBRIS AND EXCESS EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR.
23. MAXIMUM CROSS-SLOPES FOR SIDEWALKS AND ADA ACCESS ROUTES SHALL NOT EXCEED 2.00%. MAXIMUM SLOPES FOR HANDICAP ACCESS AISLES SHALL NOT EXCEED 5.00% ALONG THE PATH OF TRAVEL.
24. CONTRACTOR SHALL NOT BLOCK DRAINAGE FROM OR DIRECT EXCESS DRAINAGE ONTO ADJACENT PROPERTY.
25. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
26. ALL STUMPS FROM TREES REMOVED WITHIN PROJECT LIMITS SHALL BE GROUND AND REMOVED IN THEIR ENTIRETY.
27. ALL PAVEMENT MARKINGS WITHIN EXISTING PAVEMENT AREAS TO BE RESTORED TO MATCH EXISTING UNLESS NOTED OTHERWISE.
28. DRAWINGS DO NOT INDICATE AREAS OF TEMPORARY SUPPORT SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS AND WILL HAVE TOTAL CONTROL OVER THE TYPES AND DESIGN OF ALL SHORING, SHEETING, BRACING, ANCHORAGES, EXCAVATION SUPPORT WALLS, DIRECTIONAL BORING, AUGER JACKING, SOIL STABILIZATION AND OTHER METHODS OF PROTECTING EXISTING IMPROVEMENTS. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
29. STORAGE AND PROTECTION OF EXISTING SITE FEATURES WHICH NEED TO BE REMOVED AND REPLACED FOR CONSTRUCTION OF PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. STORAGE SHALL BE WITHIN THE LIMITS OF STAGING AREA. CONTRACTOR SHALL PREVENT DAMAGE OR THEFT OF THESE ITEMS AND TO REPLACE AT OWN EXPENSE.
30. CONTRACTOR TO RECORD EXISTING CONDITIONS AS NEEDED (PHOTOGRAPHS, VIDEO PHOTOGRAPHY, FIELD SURVEYING, ETC.) TO ENABLE RECONSTRUCTION TO MATCH EXISTING CONDITIONS AS REQUIRED. CONTRACTOR TO DOCUMENT EXISTING CONDITIONS SO THAT RECONSTRUCTED AREAS WILL HAVE POSITIVE DRAINAGE SIMILAR TO EXISTING.
31. WHERE DEMOLITION, EXCAVATION, UNDERPINNING, PILE DRIVING, COMPACTING OR SIMILAR WORK IS TO BE PERFORMED ADJACENT TO OR IN THE IMMEDIATE VICINITY OF EXISTING STRUCTURES, THE CONTRACTOR WILL PROVIDE BUILDING SURVEYS AND SEISMIC MONITORING. CONTRACTOR IS RESPONSIBLE FOR MONITORING OF BUILDING AND KEEPING OWNER INFORMED OF OPERATIONS THAT MAY IMPACT STRUCTURES.
32. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS.
33. AS A CONDITION OF THE APPROVED SITE PLAN, THE APPLICANT MUST PROVIDE AS-BUILT DRAWINGS (PAPER OR PDF) OF ALL GRADING AND STORMWATER FEATURES. THE CONSTRUCTION AS-BUILT DRAWINGS SHALL SHOW, BUT ARE NOT LIMITED TO, SUCH INFORMATION AS THE EXACT SIZE, LENGTH, TYPE AND LOCATION OF PIPES; LOCATION AND SIZE OF MANHOLES AND CATCH BASINS; DEPTH AND SLOPES OF RETENTION BASINS. THE CONSTRUCTION AS-BUILT DRAWINGS SHALL SHOW ALL WORK AS ACTUALLY INSTALLED AND AS FIELD VERIFIED BY GENERAL CONTRACTOR. A SIGNED LETTER ON COMPANY LETTERHEAD ATTESTING TO ACCURACY OF THE AS-BUILTS SHALL BE SUBMITTED TO THE CIVIL ENGINEER WITHIN 30 DAYS OF COMPLETING ALL SITE WORK.
34. THE CONTRACTOR SHALL PROVIDE A CONTINUOUS, ACCESSIBLE AND SAFE PEDESTRIAN WALKWAY THAT MEETS ADA AND MN MUTCD STANDARDS IF WORKING IN A SIDEWALK AREA, AND TRAFFIC CONTROL PER MN MUTCD REQUIREMENTS FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
35. ALL CONSTRUCTION WORK SHALL BE COMPLETED WITHIN CITY OF WAYZATA APPROVED WORKING HOURS.
36. A GOPHER STATE ONE CALL IS REQUIRED BEFORE ANY EXCAVATION WORK CAN COMMENCE.
37. ALL WORK MUST BE IN COMPLIANCE WITH THE MPCA STORMWATER PERMIT FOR THIS SITE.
38. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS. ALL PERMITS MUST BE OBTAINED PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES

1. INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO BEGINNING CONSTRUCTION. (HAY BALES ARE NOT AN ACCEPTABLE PERIMETER CONTROL)
2. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 12 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE. USE A GEOTEXTILE FABRIC BENEATH THE AGGREGATE IN ORDER TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW. SEE EROSION CONTROL DETAILS.
3. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS. SWEEPING MAY BE ORDERED BY AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
4. INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CATCH BASIN INSERTS ARE REQUIRED IN UNDISTURBED AREAS THAT RECEIVE RUNOFF FROM DISTURBED AREAS. NOTE: HAY BALES OR FILTER FABRIC WRAPPING THE GRATES ARE NOT EFFECTIVE OR AN ACCEPTABLE FORM OF INLET PROTECTION.
5. LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
6. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
7. TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE BEEN FINISH GRADED, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEEDING AND MULCHING, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED IS RECOMMENDED FOR MINIMIZING EROSION POTENTIAL.
8. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION AND PERMANENT VEGETATION HAS BEEN ESTABLISHED. MINIMUM VEGETATION ESTABLISHMENT IS 70% COVER. MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES UNTIL 70% ESTABLISHED COVER IS ACHIEVED.
9. READY MIXED CONCRETE AND CONCRETE BATCH PLANTS PROHIBITED WITHIN THE PUBLIC RIGHT-OF-WAY. UNDER NO CIRCUMSTANCES MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT-OF-WAY OR INTO THE STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DESIGNATED CONCRETE WASHOUT AREA THAT COMPLIES WITH MPCA REQUIREMENT.
10. ALL EROSION CONTROL ELEMENTS ARE TEMPORARY. CONTRACTOR TO INSTALL EROSION CONTROL ELEMENTS PRIOR TO START OF LAND DISTURBING ACTIVITIES, MAINTAIN IN GOOD CONDITION DURING CONSTRUCTION AND REMOVE FROM THE SITE UPON COMPLETION OF FINAL PAVING AND TURF ESTABLISHMENT.
11. EROSION CONTROL SHALL BE PLACED ALONG THE PERIMETER OF THE SITE EXCAVATION. EROSION CONTROL SHALL BE PLACED SO IT DOES NOT DISTURB THE EXISTING PAVEMENT OR DRIVE LANES THAT ARE TO REMAIN. MANY METHODS OF EROSION CONTROL WILL WORK AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL THE MEASURE MOST APPROPRIATE TO THE SITE CONDITIONS AND THAT WHICH MEETS THE CITY OF WAYZATA AND MINNESOTA POLLUTION CONTROL AGENCY STANDARDS. GRAPHICALLY SHOWN ON THE PLANS FOR CLARITY BUT SHALL BE PLACED IN THE MOST APPROPRIATE LOCATIONS NOT TO DAMAGE EXISTING PAVEMENT AND/OR CURBS TO REMAIN. DAMAGED PAVEMENT AND/OR CURBS SHALL BE PAID FOR SOLELY BY THE CONTRACTOR. SEE DETAILS AND SPECIFICATIONS.
12. CONTRACTOR TO PROVIDE TEMPORARY SEED AND MULCH ON ALL NON-PAVED AREAS WITHIN 7 DAYS AFTER ROUGH GRADING IS COMPLETED. SEED WITH ANNUAL RYE SEED AT 60 LBS PER ACRE AND WOOD MULCH FIBER AT 45 LBS PER 1,000 SF.
13. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF-SITE IN AN UNCONTROLLED MANNER. CONTRACTOR TO VERIFY AT PROJECT CLOSEOUT THAT STORM SEWER SYSTEM IS CLEAR OF SEDIMENT AND/OR DEBRIS AND IS FULLY FUNCTIONAL.

LEGEND



BAYSIDE RESIDENCE
320 FERNDALE ROAD SOUTH
WAYZATA, MINNESOTA

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed: _____

Name: Kevin Gardner

Date: 05/20/2016 Reg. No: 45815

Issued for _____ Date _____

Site Plan Review _____ 05/20/2016

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**CONSTRUCTION NOTES
AND DRAWING LEGEND**

PROJECT DESCRIPTION:
A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED AS PART OF THE GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)/STATE DISPOSAL SYSTEM (SDS) CONSTRUCTION STORMWATER PERMIT FOR THE PROJECT. ALL SITE WORK SHALL FOLLOW THE PERMIT GUIDELINES AND RULES.

THE GOAL OF POLLUTION PREVENTION EFFORTS DURING PROJECT CONSTRUCTION IS TO CONTROL SOIL AND POLLUTANTS ON THE SITE AND PREVENT THEM FROM LEAVING THE PROJECT SITE AND FLOWING TO SURFACE WATERS. THE PURPOSE OF THIS SWPPP IS TO PROVIDE GUIDELINES FOR ACHIEVING THAT GOAL. THE SWPPP MUST BE KEPT ONSITE AND UPDATED AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO KEEP IT CURRENT WITH ANY MODIFICATIONS TO THE POLLUTION CONTROL MEASURES BEING UTILIZED.

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW RESIDENTIAL HOUSE AND DRIVEWAY ON LAKE MINNETONKA IN WAYZATA, MINNESOTA.

THE PROPOSED STORMWATER MANAGEMENT DESIGN WILL MEET THE REQUIREMENTS OF THE CITY OF WAYZATA. THIS PROJECT IS REQUIRED TO MEET THE MPCA PERMANENT STORMWATER MANAGEMENT REQUIREMENTS BECAUSE THE DISTURBED AREA IS MORE THAN ONE ACRE AND THERE IS AN INCREASE IN IMPERVIOUS AREA.

THE STORMWATER MANAGEMENT TREATMENT SYSTEM CONSISTS OF THE CONSTRUCTION OF TWO UNDERGROUND IRRIGATION CISTERNS ON-SITE TO ACCOMMODATE THE STORMWATER RUNOFF FOR THE PROPOSED HOUSE AND DRIVEWAY.

REGULATORY CONTEXT:
DISCHARGE TO SPECIAL OR IMPAIRED WATERS WITHIN ONE MILE OF SITE:

-THIS PROJECT DISCHARGES TO LAKE MINNETONKA (LOWER LAKE) - THIS WATER BODY IS IDENTIFIED AS AN IMPAIRED WATER ON THE MPCA'S 303(D) IMPAIRED WATERS LIST FOR MERCURY IN FISH. NO ADDITIONAL BMPs ARE REQUIRED FOR COMPLIANCE.

PLACEMENT OF DITCH IN WATERS OF THE STATE:

-N/A

DRINKING WATER SUPPLY MANAGEMENT AREA:

-N/A

THE PROJECT STORMWATER DISCHARGE IS NOT ANTICIPATED TO IMPACT ANY OF THE FOLLOWING:

-OUTSTANDING RESOURCE VALUE WATERS, TROPIC WATERS, WETLANDS, CALCAREOUS FENS, PROPERTIES LISTED BY THE NATIONAL REGISTER OF HISTORIC PLACES OR ARCHAEOLOGICAL SITES

THE PROJECT STORMWATER DISCHARGE IS NOT SUBJECT TO ADDITIONAL REGULATION DUE TO ANY OF THE FOLLOWING:

-OTHER FORMAL ENVIRONMENTAL REVIEWS, ENDANGERED OR THREATENED SPECIES

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IMPLEMENTATION RESPONSIBILITIES:

1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS.
3. CONTRACTOR SHALL PROVIDE A PERSON(S) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPs AND IMPLEMENTATION OF THE SWPPP.
4. CONTRACTOR SHALL PROVIDE PERSON(S) MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUAL(S) MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MPCA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL INCLUDE:
 - 4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER PART III.F.1 OF THE PERMIT.
 - 4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
 - 4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING.
5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

STORMWATER DISCHARGE DESIGN REQUIREMENTS:

THE FOLLOWING SIZING CRITERIA APPLY TO THE DESIGN OF STORMWATER TREATMENT FACILITIES. N/A INDICATES NOT APPLICABLE OR NOT CONSTRUCTED AS PART OF THIS PROJECT.

1. TEMPORARY SEDIMENTATION BASINS: N/A
2. PERMANENT WET SEDIMENTATION BASINS: N/A
3. PERMANENT INFILTRATION/FILTRATION : SEE STORMWATER MANAGEMENT PLAN
4. PERMANENT REGIONAL PONDS: N/A
5. ALTERNATIVE METHODS: N/A

SEQUENCE OF CONSTRUCTION:

THE FOLLOWING SEQUENCE DESCRIBES, IN GENERAL, THE WORK ON THE SITE:

1. CONTRACTOR SHALL VERIFY THAT ALL PERMITS HAVE BEEN OBTAINED AND/OR OBTAIN THE NECESSARY PERMITS.
2. CONTRACTOR SHALL PERFORM SITE INSPECTIONS, RECORD KEEPING AND RECORD RETENTION IN ACCORDANCE WITH ALL PERMITS.
3. CONTRACTOR SHALL INSTALL ALL PERIMETER AND DOWN-GRADIENT EROSION CONTROL AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), CONSTRUCTION ENTRANCES AND INLET PROTECTION DEVICES PRIOR TO SITE GRADING, EXCAVATION, STOCKPILING OR DISTURBING EXISTING VEGETATIVE COVER.
4. CONTRACTOR SHALL PERFORM SITE GRADING, EXCAVATION, STOCKPILING WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
5. CONTRACTOR SHALL INSTALL, INSPECT, MONITOR AND MAINTAIN TEMPORARY AND PERMANENT EROSION CONTROL BMPs AS SHOWN ON PLANS & IN CONFORMANCE WITH NPDES PERMIT, CONTINUOUSLY DURING THE WORK. CONTRACTOR SHALL STABILIZE ALL EXPOSED SOILS NO LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
6. CONTRACTOR SHALL REPLACE OR REPAIR EROSION CONTROL AND SEDIMENT CONTROL BMPs THAT ARE NOT FUNCTIONING PROPERLY.
7. CONTRACTOR SHALL PERFORM SITE RESTORATION ACTIVITIES FOR PERMANENT VEGETATIVE ESTABLISHMENT.
8. CONTRACTOR SHALL REMOVE SEDIMENT CONTROL DEVICES PRIOR TO SUBMITTING NOTICE OF TERMINATION (NOT).
9. SUBMIT NOTICE OF TERMINATION TO MPCA WITHIN 30 DAYS OF FINAL STABILIZATION.

1. CONSTRUCTION ACTIVITY FIELD REQUIREMENTS:

- ALL FIELD REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NPDES PERMIT AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- A. THE CONTRACTOR MUST IMPLEMENT THE SWPPP AND PROVIDE BMPs IDENTIFIED IN THE SWPPP IN AN APPROPRIATE AND FUNCTIONAL MANNER.
 - B. THE CONTRACTOR SHALL RESPOND TO CHANGING SITE CONDITIONS AND IMPLEMENT/SUPPLEMENT EROSION PREVENTION AND SEDIMENT CONTROL MEASURES UTILIZED TO PROVIDE ADEQUATE PROTECTION OF DISTURBED SOILS AND ADEQUATE PREVENTION OF SEDIMENT TRANSPORT OFF-SITE. AT A MINIMUM, THE FOLLOWING STORM WATER POLLUTION PREVENTION CONSTRUCTION ACTIVITY FIELD REQUIREMENTS SHALL BE FURNISHED BY THE CONTRACTOR.

2. EROSION PREVENTION PRACTICES

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING EROSION PREVENTION PRACTICES:
- A. THE CONTRACTOR SHALL ATTEMPT TO PHASE ALL WORK TO MINIMIZE EROSION AND MAINTAIN VEGETATIVE COVER TO THE EXTENT POSSIBLE. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED ON THE SITE BEFORE CONSTRUCTION BEGINS.
 - B. STABILIZATION ON ALL EXPOSED SOILS MUST BE INITIATED IMMEDIATELY WHENEVER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS, INCLUDING STOCKPILES WITH SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS. STABILIZATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS.
 - C. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT DRAINS WATER FROM A CONSTRUCTION SITE OR DIVERTS WATER AROUND A SITE MUST BE STABILIZED BY CONTRACTOR WITHIN 200 FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER. TEMPORARY OR PERMANENT DITCH SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DO NOT NEED TO BE

STABILIZED UNTIL THEY ARE NO LONGER USED AS A SEDIMENT CONTAINMENT SYSTEM, AFTER WHICH THEY MUST BE STABILIZED WITHIN 24 HOURS.

- D. TEMPORARY OR PERMANENT ENERGY DISSIPATION AT PIPE OUTLETS MUST BE PROVIDED WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER.
- E. THE CONTRACTOR MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS OF THE SITE IN ORDER TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE INFILTRATION UNLESS INFESABLE. THE CONTRACTOR MUST UTILIZE VELOCITY DISSIPATION DEVICES IF NECESSARY TO PREVENT EROSION WHEN DIRECTING STORMWATER TO VEGETATED AREAS.

3. SEDIMENT CONTROL PRACTICES

CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING SEDIMENT CONTROL PRACTICES:

- A. CONTRACTOR MUST INSTALL ALL DOWN GRADIENT PERIMETER CONTROLS BEFORE ANY UP GRADIENT DISTURBANCE BEGINS. CONTRACTOR SHALL MAINTAIN PERIMETER CONTROLS UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
- B. CONTRACTOR SHALL PROVIDE GRADING AND BMP INSTALLATION TO LIMIT ALL SLOPES OF 3H:1V OR STEEPER TO AN UNBROKEN LENGTH OF 75 FEET OR LESS.
- C. IF DOWN GRADIENT SEDIMENT CONTROLS ARE OVERLOADED, THE CONTRACTOR MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE OVERLOADING. THE SWPPP MUST BE AMENDED TO IDENTIFY THESE ADDITIONAL PRACTICES.
- D. TIMING AND INSTALLATION OF SEDIMENT CONTROL DEVICES CAN BE ADJUSTED BY CONTRACTOR TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING AND GRUBBING OR VEHICLE PASSAGE. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED AND IN ALL CASES PRIOR TO THE NEXT PRECIPITATION EVENT.
- E. ALL PUBLIC AND PRIVATE STORM SEWER INLETS AND OUTLETS SHALL BE PROTECTED BY CONTRACTOR WITH APPROPRIATE BMPs DURING THE WORK. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL THE POTENTIAL SOURCES FOR DISCHARGING SEDIMENT TO INLETS HAVE BEEN STABILIZED BY CONTRACTOR.
- F. TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN SURFACE WATERS OR STORMWATER CONVEYANCES. ACCEPTABLE PROTECTION INCLUDES COVER OF MULCH, EROSION CONTROL MATS, OR PLASTIC SHEETING.
- G. ROCK CONSTRUCTION ENTRANCES OR EQUIVALENT SYSTEM MUST BE INSTALLED BY CONTRACTOR TO MINIMIZE TRACKING FROM SITE. CONTRACTOR SHALL PROVIDE STREET SWEEPING AS NECESSARY IF BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE STREET.
- H. CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AS REQUIRED BY THE PERMIT.
- I. CONTRACTOR MUST MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL, UNLESS INFESABLE. MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA OF THE SITE DICTATES THAT IT BE COMPACTED.
- J. THE CONTRACTOR MUST PRESERVE A 50 FOOT NATURAL BUFFER OR PROVIDE REDUNDANT SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT DISTURBANCE LIMITS AND STORMWATER FLOWS TO THE SURFACE WATER.
- K. IF POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS ARE USED ON SITE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING REQUIREMENTS.
 - a. THE CONTRACTOR MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL APPLICATION TO ENSURE EFFECTIVE TREATMENT. CHEMICALS MAY ONLY BE APPLIED WHERE TREATED STORMWATER IS DIRECTED TO A SEDIMENT CONTROL SYSTEM WHICH ALLOWS FOR THE SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.
 - b. CHEMICALS MUST BE SELECTED THAT ARE APPROPRIATELY SUITED TO THE TYPES OF SOILS LIKELY TO BE EXPOSED DURING CONSTRUCTION. CHEMICALS MUST BE USED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, AND WITH DOSING SPECIFICATION AND SEDIMENT REMOVAL DESIGN SPECIFICATION PROVIDED BY THE MANUFACTURER.

4. DEWATERING AND BASIN DRAINING

CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING DEWATERING REQUIREMENTS:

- A. CONTRACTOR'S DEWATERING ACTIVITIES THAT HAVE SEDIMENT-LADEN DISCHARGE WATER MUST BE DISCHARGED INTO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN WHENEVER POSSIBLE, OTHERWISE IT MUST BE DISCHARGED THROUGH SOME FORM OF BEST MANAGEMENT PRACTICE (BMP) BY CONTRACTOR TO LIMIT SEDIMENT FROM LEAVING THE SITE. PRIOR TO DISCHARGE, THE CONTRACTOR SHALL PERFORM A VISUAL TEST TO ENSURE ADEQUATE TREATMENT IS OBTAINED IN THE BASIN OR BMP AND APPLY ADDITIONAL TREATMENT AS REQUIRED TO ENSURE ADEQUATE TREATMENT.
- B. THE CONTRACTOR SHALL DISCHARGE WATER FROM DEWATERING IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS. THE DISCHARGE WATER SHALL BE DISPERSED OVER AN ACCEPTED ENERGY DISSIPATION MEASURE AND NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM LANDOWNERS OR WETLANDS.
- C. IF CONTRACTOR IS USING FILTERS WITH BACKWASH WATER, THE CONTRACTOR SHALL HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

5. INSPECTIONS AND MAINTENANCE

CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING THE FOLLOWING INSPECTIONS AND MAINTENANCE:

- A. WHEN INSPECTIONS FIND EROSION PREVENTION AND SEDIMENT CONTROL BMPs THAT ARE NONFUNCTIONAL, ALL NONFUNCTIONAL BMPs MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPs WITHIN 24 HOURS AFTER DISCOVERY OR OTHERWISE IN ACCORDANCE WITH THE NPDES PERMIT REQUIREMENTS. THE CONTRACTOR SHALL ALSO PLACE ANY ADDITIONAL EROSION CONTROL MEASURES DEEMED NECESSARY BY MPCA WITHIN 24 HOURS OF NOTICE FROM MPCA.
- B. THE CONTRACTOR MUST ROUTINELY INSPECT THE SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
 - a. DATE AND TIME OF INSPECTION.
 - b. NAME OF PERSON CONDUCTING INSPECTION.
 - c. FINDING OF INSPECTION INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTION.
 - d. DETAILS OF CORRECTIVE ACTION TAKEN (DATE, TIME, PARTY COMPLETING MAINTENANCE ACTIVITIES).
 - e. DATE AND AMOUNT OF RAINFALL GREATER THAN 0.5 INCHES IN 24 HOURS.
 - f. IF ANY DISCHARGE IS OBSERVED TO BE OCCURRING DURING THE INSPECTION, A RECORD OF ALL POINTS OF THE PROPERTY FROM WHICH THERE IS A DISCHARGE MUST BE MADE, AND THE DISCHARGE SHALL BE DESCRIBED (COLOR, ODOR, FLOATING, SETTLED, OR SUSPENDED SOLIDS, FOAM, OIL SHEEN, AND OTHER INDICATORS) AND PHOTOGRAPHED.
 - g. DOCUMENTATION OF CHANGES MADE TO SWPPP.
- D. IN AREAS OF PROJECT WHERE FINAL STABILIZATION IS COMPLETE INSPECTIONS CAN BE REDUCED TO ONCE A MONTH. THESE AREAS SHALL BE INSPECTED BY CONTRACTOR FOR MINIMUM PERIOD OF 12 NON-WINTER MONTHS AND WITHIN 24 HOURS OF FIRST SPRING RUNOFF OR PRIOR TO RESUMING CONSTRUCTION FOLLOWING ANY WINTER STOPPAGE, WHICHEVER COMES FIRST.
- E. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF BMPs UNTIL ANOTHER PERMITTEE HAS OBTAINED COVERAGE, OR THE PROJECT HAS UNDERGONE FINAL STABILIZATION AND AN NOT HAS BEEN SUBMITTED TO THE MPCA.
- F. ALL EROSION CONTROL MEASURES MUST BE INSTALLED AND MAINTAINED BY CONTRACTOR ACCORDING TO THE DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS AND IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S RECOMMENDATIONS.
- G. ALL PERIMETER CONTROL DEVICES MUST BE REPAIRED, REPLACED OR SUPPLEMENTED BY THE CONTRACTOR WHEN THEY BECOME NON-FUNCTIONAL OR THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE DEVICE. CONTRACTOR SHALL REPAIR OR REPLACE DEVICE THAT IS NONFUNCTIONAL BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR THEREAFTER AS SOON AS FIELD CONDITIONS ALLOW.
- H. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND SEDIMENT REMOVED BY CONTRACTOR ONCE THE SEDIMENT COLLECTED REACHES ONE HALF THE STORAGE VOLUME WITH 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW.
 1. ALL SEDIMENT DEPOSITS WITHIN SURFACE WATERS OR STORMWATER CONVEYANCES MUST BE REMOVED AND RESTABILIZED BY CONTRACTOR WITHIN 7 DAYS OF DISCOVERY OR SOONER IF IT PRESENTS A FLOOD RISK, INCLUDING DELTAS AND STORM SEWER SEDIMENT DEPOSITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED, IF NECESSARY, FOR SUCH SEDIMENT REMOVAL.
 - J. CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING EXISTING PAVED SURFACES CLEAN OF SEDIMENT. CONSTRUCTION ENTRANCES SHALL BE CHECKED DAILY BY CONTRACTOR. IF THE ENTRANCE BECOMES INUNDATED WITH SEDIMENT, THE ENTRANCE WILL BE CLEANED OR REPLACED AS APPROPRIATE BY CONTRACTOR. STREETS LEADING TO AND FROM THE CONSTRUCTION ENTRANCE SHALL BE CHECKED DAILY BY CONTRACTOR FOR OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. THESE AREAS WILL BE SWEEP CLEAN OF ANY TRACKED MATERIALS BY CONTRACTOR AS SOON AS POSSIBLE AND WITHIN 24 HOURS OF DISCOVERY AND AS DIRECTED BY THE CITY. CONTRACTOR SHALL EXTEND SWEEPING TO THE EXTREMITY OF ANY SEDIMENT TRACKING THAT OCCURS OFF-SITE.
 - K. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY OFF-SITE SEDIMENT ACCUMULATIONS IN A

MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.

- L. ALL INFILTRATION/FILTRATION AREAS MUST BE INSPECTED BY CONTRACTOR TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION IS ACCUMULATING OVER THE INFILTRATION/FILTRATION AREA. SEDIMENT ACCUMULATED OVER INFILTRATION /FILTRATION MUST BE REMOVED BY CONTRACTOR.
- M. CONTRACTOR SHALL PROTECT INFILTRATION/FILTRATION AREAS FROM SEDIMENTATION AND OVER-COMPACTION. DURING EXCAVATION, SEDIMENT AND EROSION CONTROL DEVICES MUST BE UTILIZED BY CONTRACTOR TO PREVENT SEDIMENTATION AND THE AREA MUST BE STAKED OFF AND MARKED. IF THE HEAVY CONSTRUCTION EQUIPMENT WILL NOT COMPACT THE SOIL.
- N. INSPECTIONS CAN BE SUSPENDED DUE TO FROZEN GROUND CONDITIONS UNTIL FIRST RUNOFF OCCURS OR CONSTRUCTION ACTIVITIES RESUME.

6. POLLUTION PREVENTION MEASURES

- CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE.
- A. THE CONTRACTOR SHALL MINIMIZE THE EXPOSURE OF ALL PRODUCTS, MATERIALS, AND WASTES FROM STORMWATER WHICH MAY BE A SOURCE OF CONTAMINATION TO STORMWATER OR ARE NOT DESIGNED TO BE EXPOSED TO STORMWATER.
 - B. BUILDING PRODUCTS THAT MAY LEACH POLLUTANTS MUST BE UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS, ETC.) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - C. PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS, ETC.) TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - D. HAZARDOUS MATERIALS, TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) MUST BE STORED IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. PESTICIDE STORAGE AREAS MUST BE PROTECTED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS MATERIALS MUST COMPLY WITH ALL STATE REQUIREMENTS.
 - E. SOLID WASTE MUST BE STORED, COLLECTED, AND DISPOSED IN COMPLIANCE WITH ALL STATE REQUIREMENTS.
 - F. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OVER. SANITARY WASTE MUST BE DISPOSED OF IN ACCORDANCE WITH ALL STATE REQUIREMENTS.
 - G. THE CONTRACTOR SHALL TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ALL AREAS WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED. THE CONTRACTOR MUST CONDUCT FUELING IN A CONTAINED AREA UNLESS INFESABLE. THE CONTRACTOR MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILBLE FOR RECOVERED SPILLED MATERIALS. ALL SPILLS MUST BE CLEANED UP AND REPORTED IN ACCORDANCE WITH STATE REQUIREMENTS. DRY CLEAN UP MEASURES SHALL BE USED WHERE POSSIBLE.
 - H. THE CONTRACTOR MUST LIMIT VEHICLE AND EQUIPMENT WASHING TO A DEFINED AREA WHEN COMPLETED ON THE PROJECT SITE. RUNOFF FROM THE WASHING AREA MUST BE CONTAINED IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND WASTE FROM THE WASHING ACTIVITY MUST BE PROPERLY DISPOSED OF. THE CONTRACTOR MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS. NO ENGINE DEGREASING IS ALLOWED ONSITE.
 1. THE CONTRACTOR MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE PROJECT CONSTRUCTION ACTIVITY. NO WASHOUT WASTES MAY CONTACT THE GROUND, AND THE CONTAINMENT MUST BE DESIGNED SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR ARE LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH ALL MPCA RULES. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASHOUT WASTES.

7. FINAL STABILIZATION

THE CONTRACTOR SHALL ENSURE FINAL STABILIZATION OF THE SITE. FINAL STABILIZATION REQUIRES THE FOLLOWING:

- A. ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ACHIEVED, INCLUDING STABILIZATION OF ALL DITCHES AND SWALES.
- B. CONTRACTOR SHALL ENSURE THAT ALL PERMANENT STORMWATER TREATMENT SYSTEMS ARE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NPDES PERMIT.
- C. CONTRACTOR SHALL REMOVE ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMPs.

RECORD AVAILABILITY AND RETENTION:

-THE CONTRACTOR SHALL MAKE THE SWPPP, INCLUDING ALL CERTIFICATES, REPORTS, RECORDS, OR OTHER INFORMATION OF THE PERMIT, AVAILABLE TO FEDERAL, STATE, OR LOCAL OFFICIALS WITHIN 72 HOURS UPON REQUEST FOR THE DURATION OF THE PERMIT AND FOR THREE YEARS FOLLOWING THE SUBMITTAL OF THE NOTICE OF TERMINATION.

-THE CONTRACTOR SHALL MAKE THE RESPONSIBLE PERSON, TRAINED AS REQUIRED BY THIS PERMIT, AVAILABLE ON SITE WITHIN 72 HOURS WHEN REQUESTED BY THE MPCA FOR AN ONSITE INSPECTION.

INSPECTION AND ENTRY:

-THE CONTRACTOR MUST ALLOW ACCESS AS REQUIRED BY STATE REGULATIONS FOR REPRESENTATIVES OF THE MPCA OR ANY MEMBER THEREOF WHEN AUTHORIZED BY IT, TO ENTER UPON THE PROJECT SITE FOR THE PURPOSE OF OBTAINING INFORMATION, EXAMINATION OF RECORDS, OR CONDUCTING SURVEYS OR INVESTIGATIONS.

NOTICE OF TERMINATION:

-PERMITTEE MUST SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS IF ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:

1. FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH PERMITTEE IS RESPONSIBLE INCLUDING THE REMOVAL OF ALL TEMPORARY MEASURES SUCH AS SILT FENCE.
2. ANOTHER OWNER HAS ASSUMED CONTROL OVER ALL PORTIONS OF THE SITE THAT HAVE NOT ACHIEVED FINAL STABILIZATION.

8. CHANGES TO SWPPP

-THE PERMITTEE MUST AMEND THE SWPPP AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs, DESIGNED TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER:

1. THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION OR MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAVE SIGNIFICANT EFFECT ON DISCHARGE. INSPECTION IS REQUIRED WITHIN 24 HOURS OF A RAINFALL EVENT GREATER THAN ONE-HALF INCH.
2. INSPECTION OR INVESTIGATION BY SITE OPERATORS, LOCAL, STATE OR FEDERAL OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE.
3. THE SWPPP IS NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS OR THE SWPPP IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THIS PERMIT.
4. THE MPCA DETERMINES THAT DISCHARGE MAY CAUSE OR CONTRIBUTE TO NON-ATTAINMENT OF ANY APPLICABLE WATER QUALITY STANDARDS OR THE SWPPP DOES NOT INCORPORATE THE REQUIREMENTS RELATED TO AN APPROVED TOTAL MAXIMUM DAILY LOAD (TMDL).

9. SWPPP CERTIFICATION:

- THIS STORMWATER POLLUTION PREVENTION PLAN WAS PREPARED BY INDIVIDUAL(S) TRAINED IN ACCORDANCE WITH THE PERMIT'S TRAINING REQUIREMENTS FOR PREPARATION OF SWPPPS. INDIVIDUAL(S) PREPARING THIS SWPPP:

PREPARED BY:

KEVIN GARDNER, P.E.
PIERCE PINI AND ASSOCIATES
RHONDA@PIERCEPINI.COM
763-537-1311

TRAINING /CERTIFICATION:

DATE OF TRAINING /CERTIFICATION: 2013
CERTIFICATION PROGRAM: UNIVERSITY OF MINNESOTA - DESIGN OF CONSTRUCTION SWPPP ARDEN HILLS, MN
INSTRUCTOR(S): JOHN CHAPMAN
CERTIFICATION EXPIRATION: 2016

ESTIMATED BMP QUANTITIES	
SILT FENCE	1,200 LF
ROCK CONSTRUCTION ENTRANCE	2 EACH
CONCRETE WASHOUT AREA	1 EACH
INLET PROTECTION	4 EACH
TREE PROTECTION FENCING	1,200 LF
EROSION CONTROL BLANKET	3,950 SY
FLOATING SILT CURTAIN	350 LF

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR THEIR BID AND CIVIL ENGINEER IS NOT RESPONSIBLE FOR COST ESTIMATES OR ACTUAL CONSTRUCTION COSTS.

ACREAGE SUMMARY	
TOTAL SITE AREA	3.44 ACRES
EXISTING PERVIOUS AREA	2.96 ACRES
EXISTING IMPERVIOUS AREA	0.48 ACRES
EXISTING IMPERVIOUS COVERAGE	13.95%
PROPOSED PERVIOUS AREA	2.76 ACRES
PROPOSED IMPERVIOUS AREA	0.68 ACRES
PROPOSED IMPERVIOUS COVERAGE	19.86%

CONTACT INFORMATION	
ENGINEER/EROSION CONTROL DESIGNER	
COMPANY: PIERCE PINI & ASSOCIATES CONTACT: KEVIN GARDNER, PE ADDRESS: 9298 CENTRAL AVENUE NE, SUITE 312 BLAINE, MN 55434 PHONE: 763-537-1311 EMAIL: KEVIN@PIERCEPINI.COM	
CONTRACTOR/EROSION CONTROL INSTALLER	
COMPANY: STREETER & ASSOCIATES CONTACT: STEVEN STREETER ADDRESS: 18312 MINNETONKA BOULEVARD WAYZATA, MN 55391 PHONE: 952-498-9200 EMAIL: SA@STREETERHOMES.COM	
OWNER/LONG TERM MAINTENANCE	
CONTACT: ABBEY ROAD REALTY LLC C/O ACCOUNTING RESOURCE GROUP ADDRESS: 601 CARLSON PARKWAY, SUITE 120 MINNETONKA, MN 55305 PHONE: 952-593-1356 EMAIL: INFO@ACCOUNTINGRESOURCEGRP.COM	

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed:

Name: Kevin Gardner

Date: 05/20/2016 Reg. No: 45815

Issued for Date

Site Plan Review 05/20/2016

NOTE: CONTRACTOR'S ONSITE REPRESENTATIVE INFORMATION SHALL BE COMPLETED ON THE PLAN SET KEPT IN THE CONSTRUCTION TRAILER. THIS INFORMATION SHALL ALSO BE PROVIDED TO THE OWNER AND CIVIL ENGINEER.

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Checked KG

Date 05/20/2016

Site Plan Review

Drawing Title
STORMWATER POLLUTION
PREVENTION NOTES

C300
Page 26 of 207

BAYSIDE RESIDENCE

320 FERDALE ROAD SOUTH
WAYZATA, MINNESOTA



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Signed: _____

Name: Kevin Gardner

Date: 05/20/2016 Reg. No: 45815

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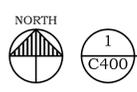
Checked KG

Date 05/20/2016

Site Plan Review

Drawing Title
STORMWATER POLLUTION
PREVENTION PLAN
EXISTING CONDITIONS

C400
FC 6/20/2016
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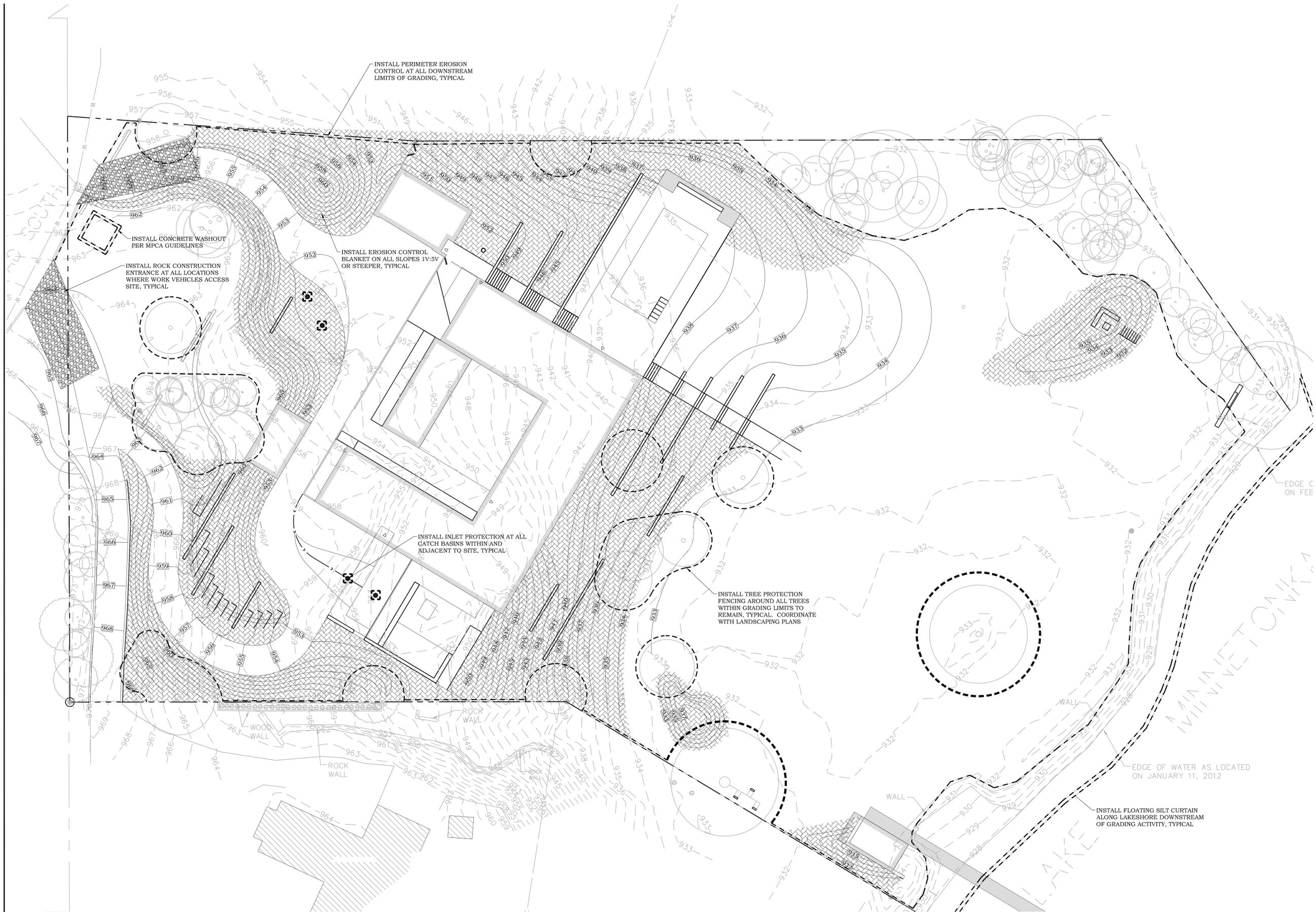


STORMWATER POLLUTION PREVENTION PLAN - EXISTING CONDITIONS

1"=20'

BAYSIDE RESIDENCE

320 FERNDALE ROAD SOUTH
WAYZATA, MINNESOTA



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Signed:

Name: Kevin Gardner

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Site Plan Review: _____ Date: 05/20/2016

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Date 05/20/2016

Site Plan Review

Drawing Title
STORMWATER POLLUTION
PREVENTION PLAN
PROPOSED CONDITIONS

C500
FC 6/10/2016
Page 28 of 207

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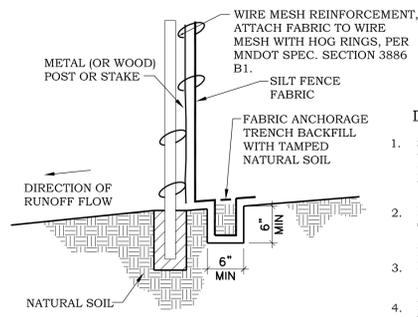
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Date: 05/20/2016

Site Plan Review

Drawing Title
EROSION CONTROL
DETAILS

C600
FC 6/20/2016
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DESIGN RECOMMENDATIONS

- SILT FENCES SHOULD BE INSTALLED ON THE CONTOUR (AS OPPOSED TO UP AND DOWN A HILL) AND CONSTRUCTED SO THAT FLOW CANNOT BYPASS THE ENDS.
- ENSURE THAT THE DRAINAGE AREA IS NO GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
- MAKE THE FENCE STABLE FOR THE 10-YEAR PEAK STORM RUNOFF.
- WHERE ALL RUNOFF IS TO BE STORED BEHIND THE SILT FENCE, ENSURE THAT THE MAXIMUM SLOPE LENGTH BEHIND THE FENCE DOES NOT EXCEED THE SPECIFICATIONS SHOWN IN TABLE 1.

NOTE: SILT FENCE SHALL FOLLOW MNDOT SPEC. SECTION 3886.

FIGURE 1 TYPICAL INSTALLATION FOR SILT FENCE

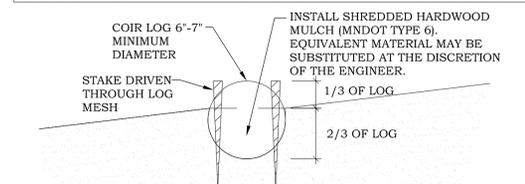
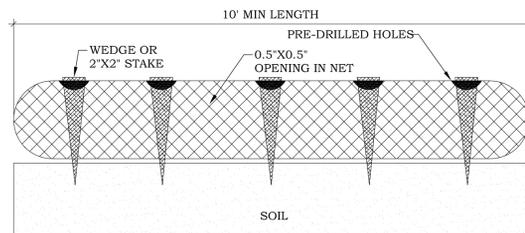
TABLE 1 MAXIMUM SLOPE LENGTH AND SLOPE FOR WHICH SILT FENCE IS APPLICABLE

SLOPE H:V	PERCENT	BY CALCULATION		BY ACCEPTED DESIGN PRACTICES
		SILT FENCE STORAGE EQUALS 2 FT FOR A 100-YEAR EVENT	SILT FENCE STORAGE EQUALS 2 FT FOR A 2-YEAR EVENT OR 3 FT FOR A 100-YEAR EVENT	MAXIMUM SLOPE LENGTH
100:1	1%	400 FT	900 FT	100 FT
50:1	2%	200 FT	450 FT	75 FT
25:1	4%	100 FT	225 FT	75 FT
20:1	5%	80 FT	180 FT	75-50 FT
17:1	6%	67 FT	150 FT	50 FT
12.5:1	8%	50 FT	112 FT	50 FT
10:1	10%	40 FT	90 FT	50-25 FT
5:1	20%	20 FT	45 FT	25-15 FT
4:1	25%	16 FT	36 FT	15 FT
3:1	33%	12 FT	27 FT	15 FT
2:1	50%	8 FT	18 FT	15 FT

1 HEAVY DUTY SILT FENCE

C600

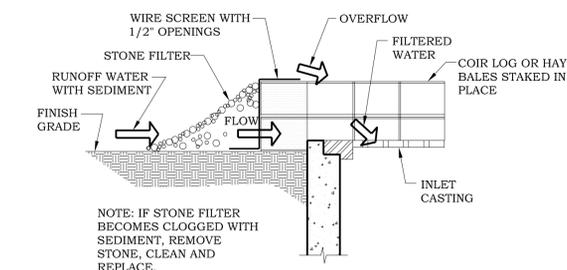
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5 COIR LOG

C600

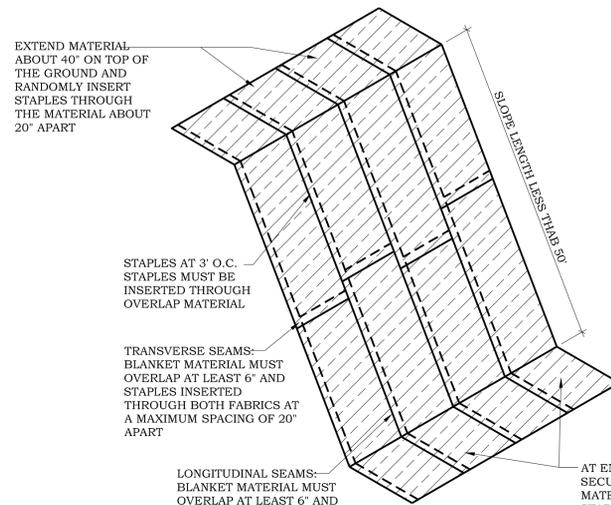
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6 NYLOPLAST INLET PROTECTION

C600

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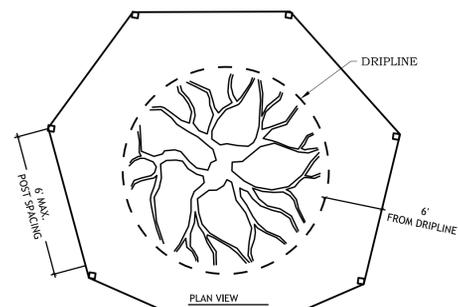
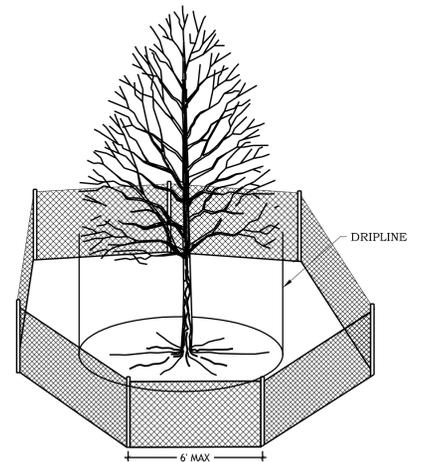


- NOTES:
- EROSION CONTROL BLANKET TO BE CATEGORY 4-COCONUT 2S FOR SLOPES GREATER THAN 5:1 AND SIDES AND BOTTOM OF ALL DRAINAGE SWALES AND PONDING AREAS AND CATEGORY 2-STRAW 2S FOR ALL SLOPES LESS THAN 5:1 PER MNDOT SPEC. SECTION 3885.
 - INSTALL PER MNDOT SPEC. SECTION 2575

2 EROSION CONTROL BLANKET

C600

NO SCALE



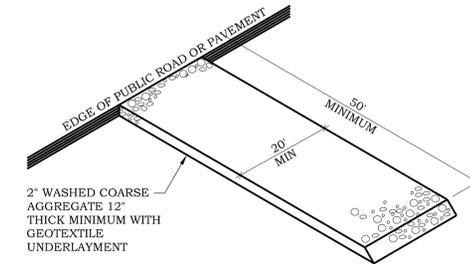
NOTES:

- ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. ALL TREE PROTECTION FENCING AND EROSION CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
- THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL USE DESIGNATED CONSTRUCTION ENTRANCES AND STAGING AREAS.

7 TREE PROTECTION FENCING

C600

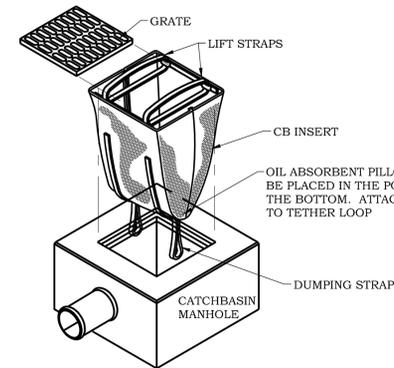
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3 GRAVEL CONSTRUCTION ENTRANCE

C600

NO SCALE

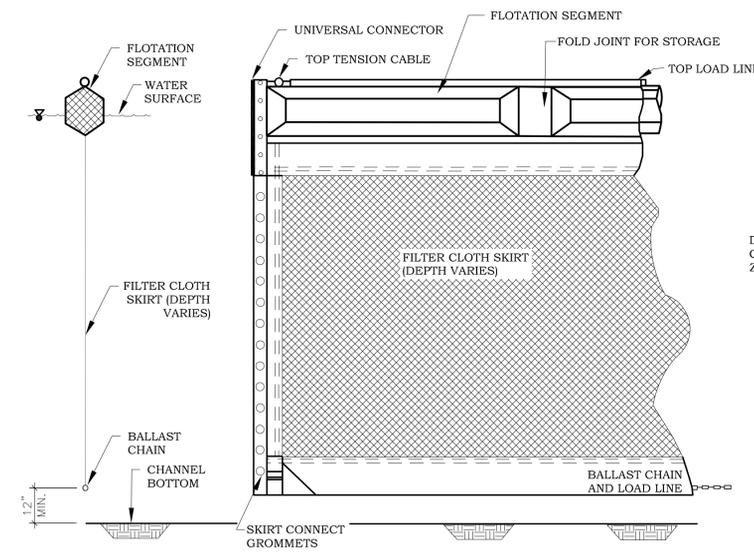


- OIL ABSORBENT PILLOW SHALL BE REMOVED AND REPLACED WHEN NEAR SATURATION.
- USE DANDY® BAG II AS MANUFACTURED BY DANDY® PRODUCTS, INC.
- AN EQUIVALENT CATCHBASIN EROSION CONTROL INSERT METHOD OR PRODUCT MAY BE USED WITH PRIOR APPROVAL FROM ENGINEER.

4 CATCH BASIN INSERT

C600

NO SCALE

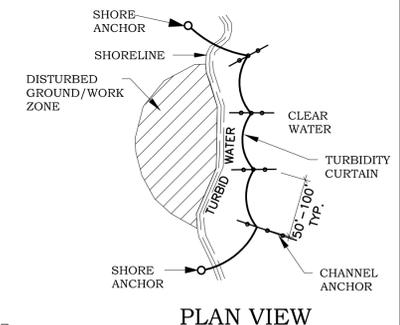


8 FLOATING SILT CURTAIN

C600

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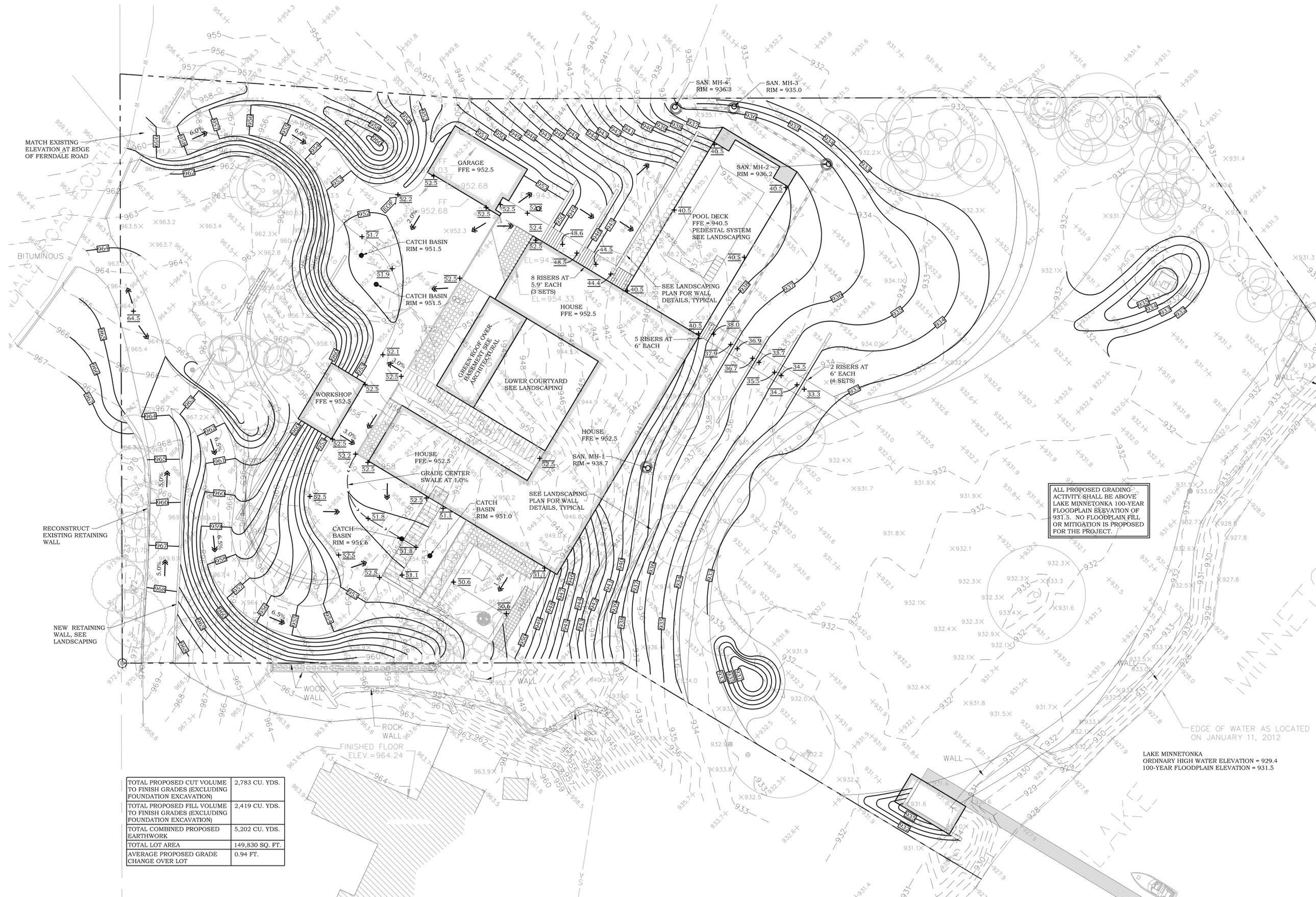
SHORELINE ANCHORING



PLAN VIEW

BAYSIDE RESIDENCE

320 FERDALE ROAD SOUTH
WAYZATA, MINNESOTA



TOTAL PROPOSED CUT VOLUME TO FINISH GRADES (EXCLUDING FOUNDATION EXCAVATION)	2,783 CU. YDS.
TOTAL PROPOSED FILL VOLUME TO FINISH GRADES (EXCLUDING FOUNDATION EXCAVATION)	2,419 CU. YDS.
TOTAL COMBINED PROPOSED EARTHWORK	5,202 CU. YDS.
TOTAL LOT AREA	149,830 SQ. FT.
AVERAGE PROPOSED GRADE CHANGE OVER LOT	0.94 FT.

GRADING AND DRAINAGE PLAN



1
C700



1" = 20'

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed:

Name: Kevin Gardner

Date: 05/20/2016 Reg. No: 45815

Issued for _____ Date _____

Site Plan Review _____ 05/20/2016

EDGE OF WATER AS LOCATED ON JANUARY 11, 2012

LAKE MINNETONKA
ORDINARY HIGH WATER ELEVATION = 929.4
100-YEAR FLOODPLAIN ELEVATION = 931.5

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Comm. No. 16-013

Drawn LB

Checked KG

Date 05/20/2016

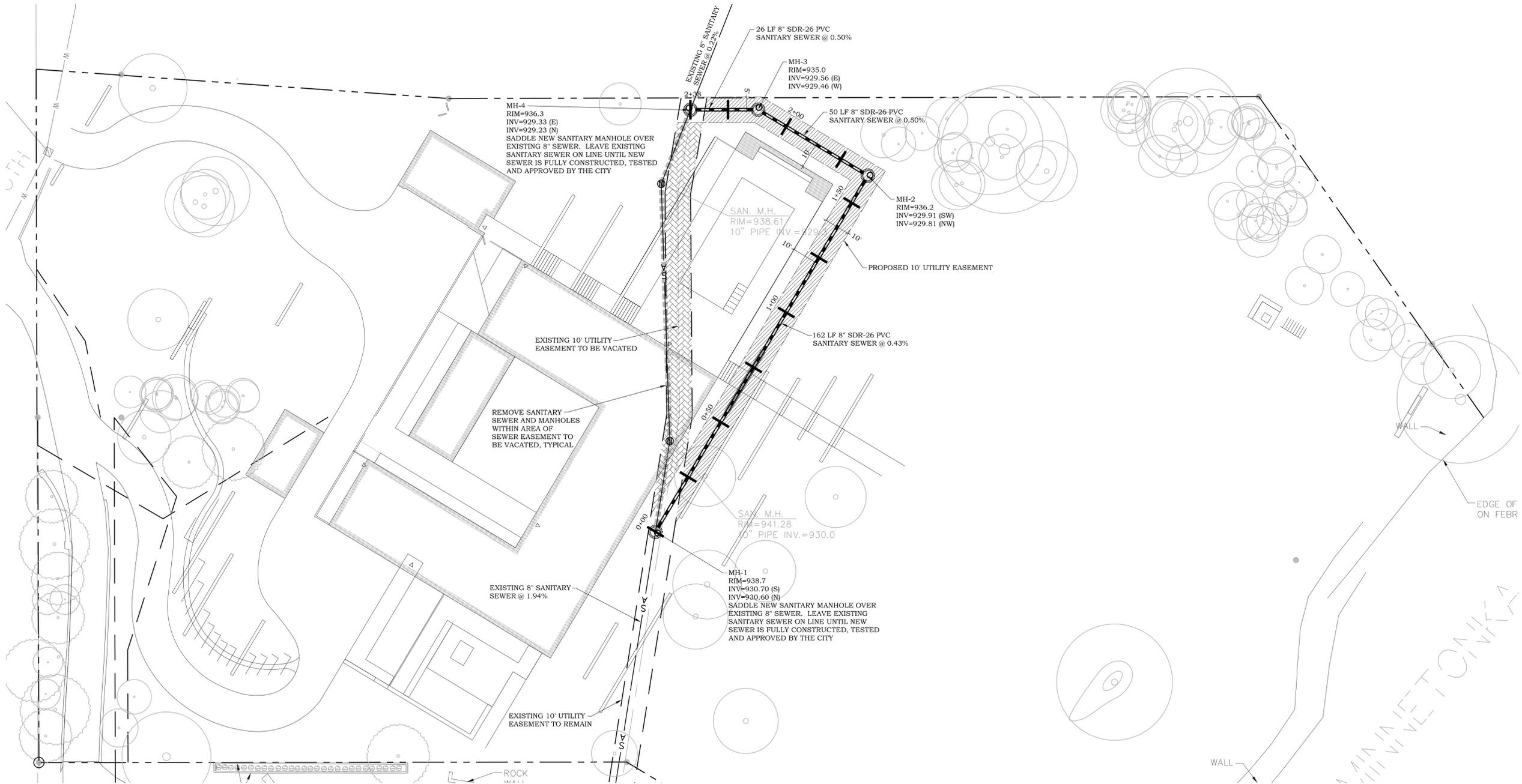
Site Plan Review

Drawing Title
GRADING AND DRAINAGE PLAN

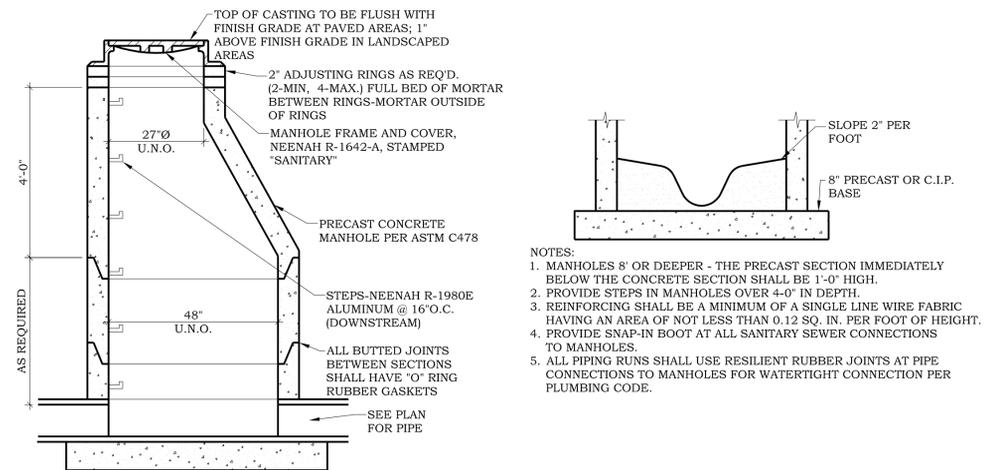
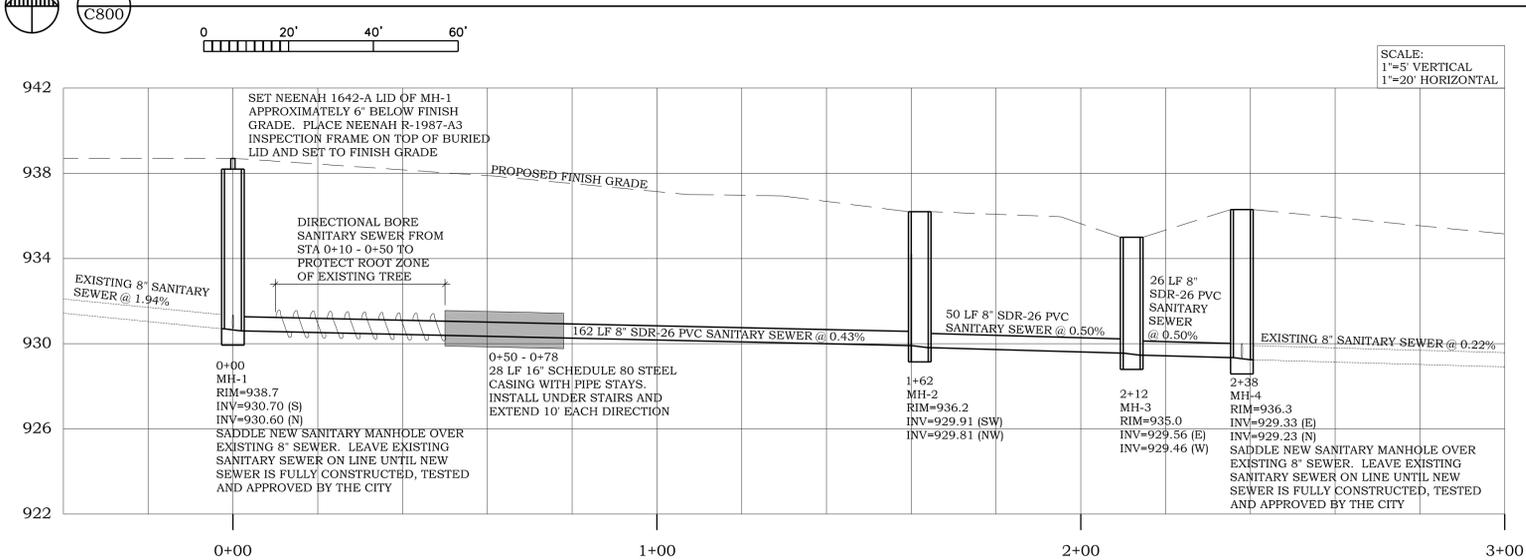
C700
FC 6/20/2016
Page 30 of 207

BAYSIDE RESIDENCE

320 FERDALE ROAD SOUTH
WAYZATA, MINNESOTA



1 SANITARY SEWER PLAN AND PROFILE



2 SANITARY SEWER MANHOLE

2
C800

NO SCALE

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Company: PIERCE PINI & ASSOCIATES

Signed:

Name: Kevin Gardner

Date: 05/20/2016 Reg. No: 45815

Issued for: Date:

Site Plan Review: 05/20/2016

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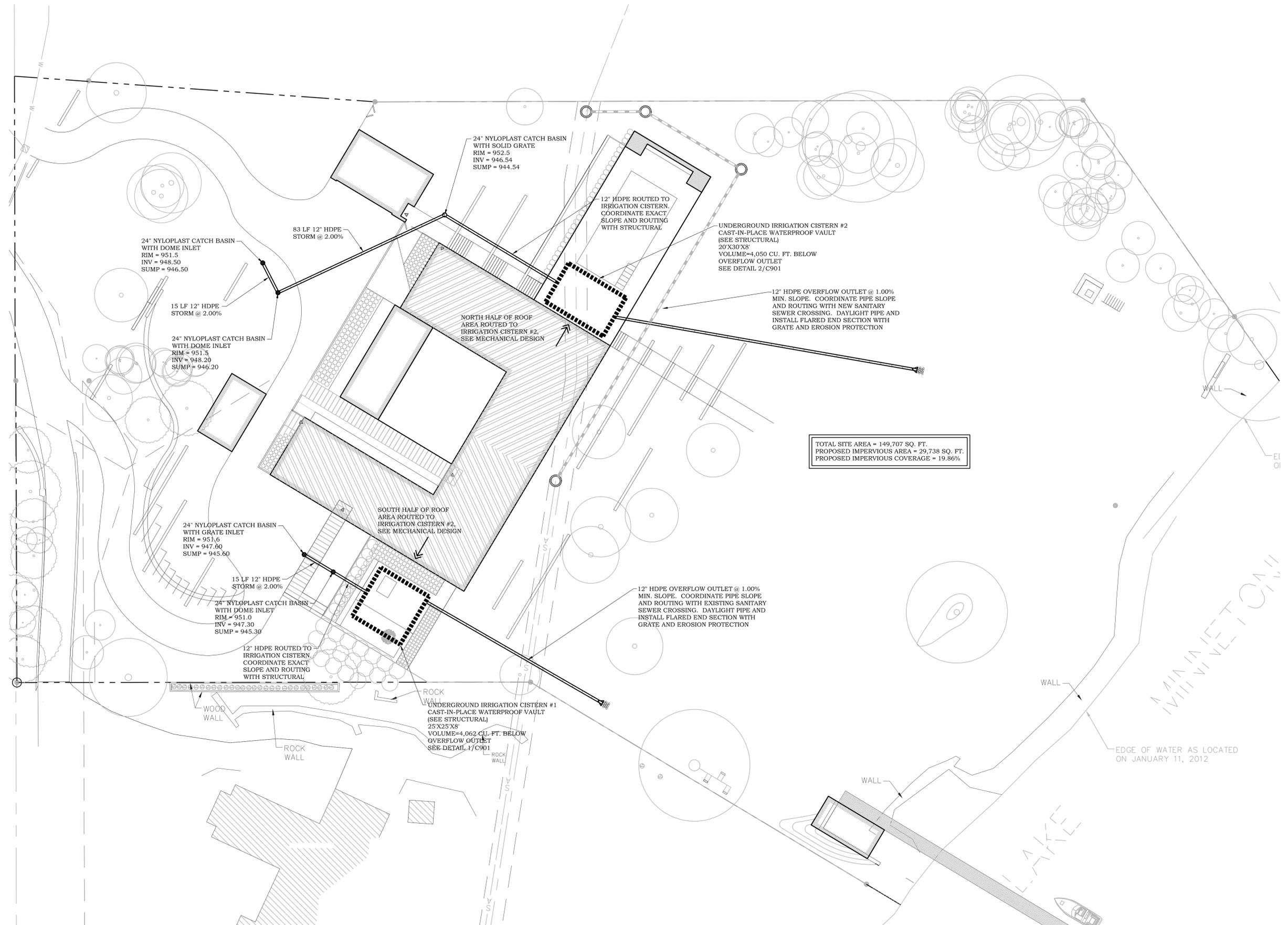
Date 05/20/2016

Site Plan Review

Drawing Title
**SANITARY SEWER
PLAN AND PROFILE**

BAYSIDE RESIDENCE

320 FERDALE ROAD SOUTH
WAYZATA, MINNESOTA



TOTAL SITE AREA = 149,707 SQ. FT.
PROPOSED IMPERVIOUS AREA = 29,738 SQ. FT.
PROPOSED IMPERVIOUS COVERAGE = 19.86%

STORMWATER MANAGEMENT PLAN



1
C900



1"=20'

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Signed:

Name: Kevin Gardner

Date: 05/20/2016 Reg. No: 45815

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Date 05/20/2016

Site Plan Review

Drawing Title

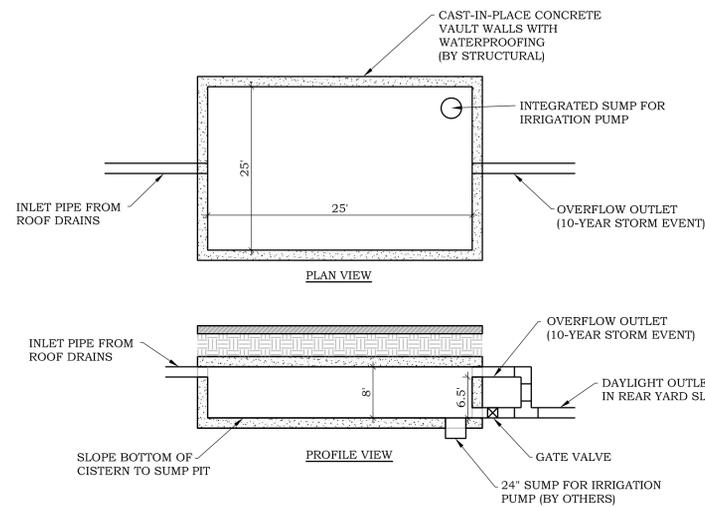
STORMWATER

MANAGEMENT PLAN

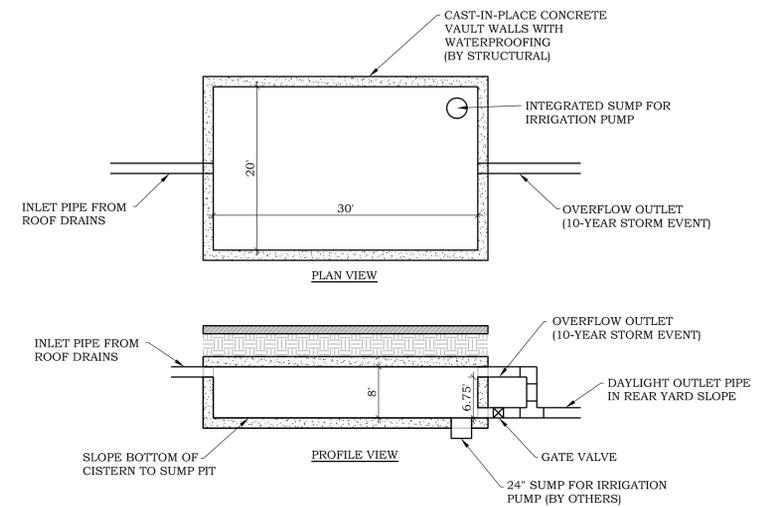
C900

FC 6/20/2016

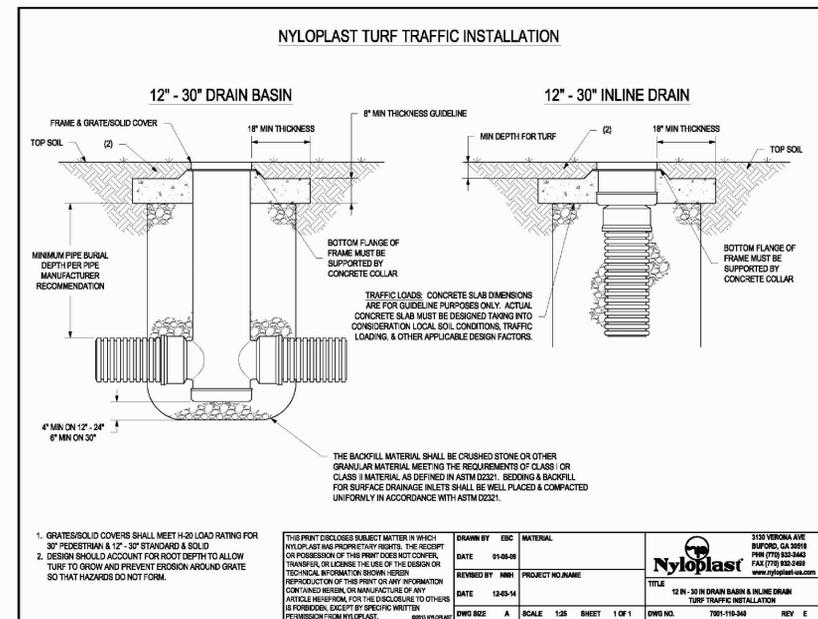
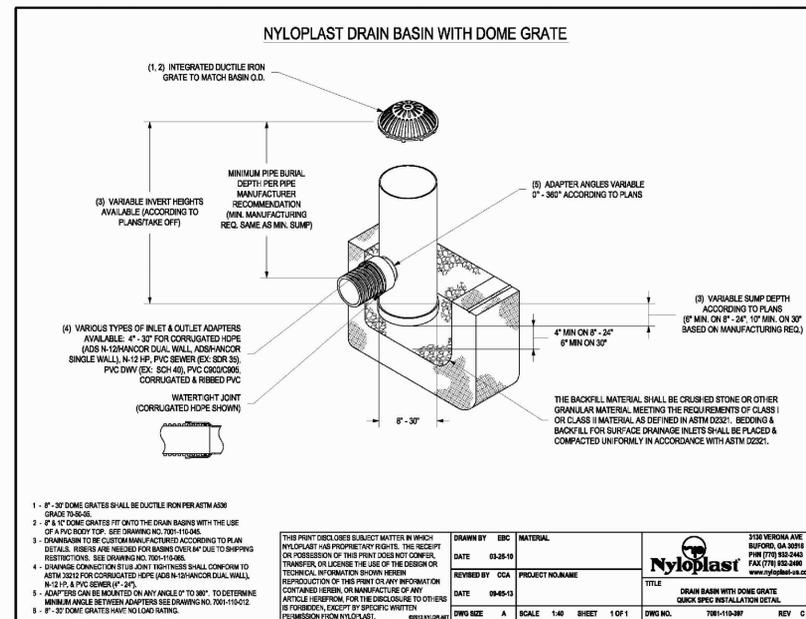
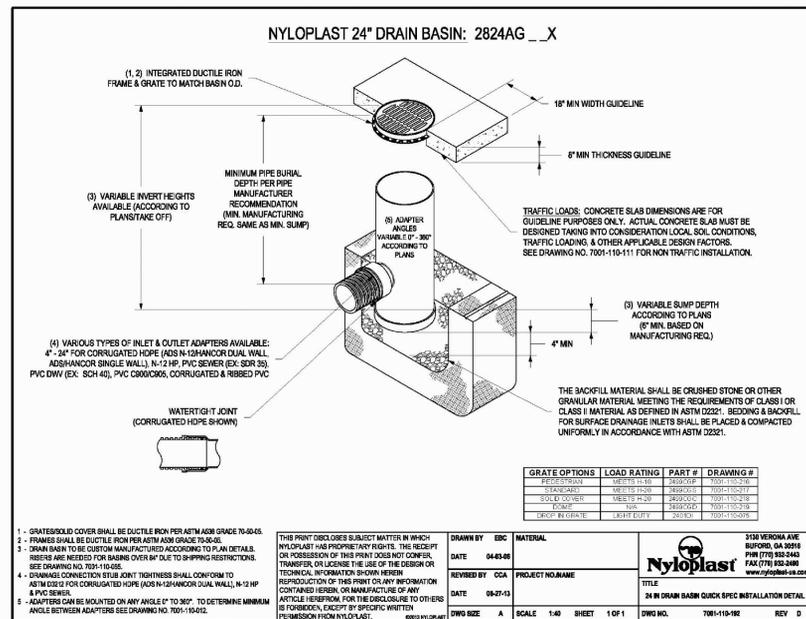
Page 32 of 207



1 IRRIGATION CISTERN #1 SCHEMATIC
C901 NO SCALE



2 IRRIGATION CISTERN #2 SCHEMATIC
C901 NO SCALE



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Company: PIERCE PINI & ASSOCIATES

Signed: Name: Kevin Gardner

Date: 05/20/2016 Reg. No: 45815

Issued for: Date: 05/20/2016

Site Plan Review: 05/20/2016

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Comm. No. 16-013

Drawn: LB

Checked: KG

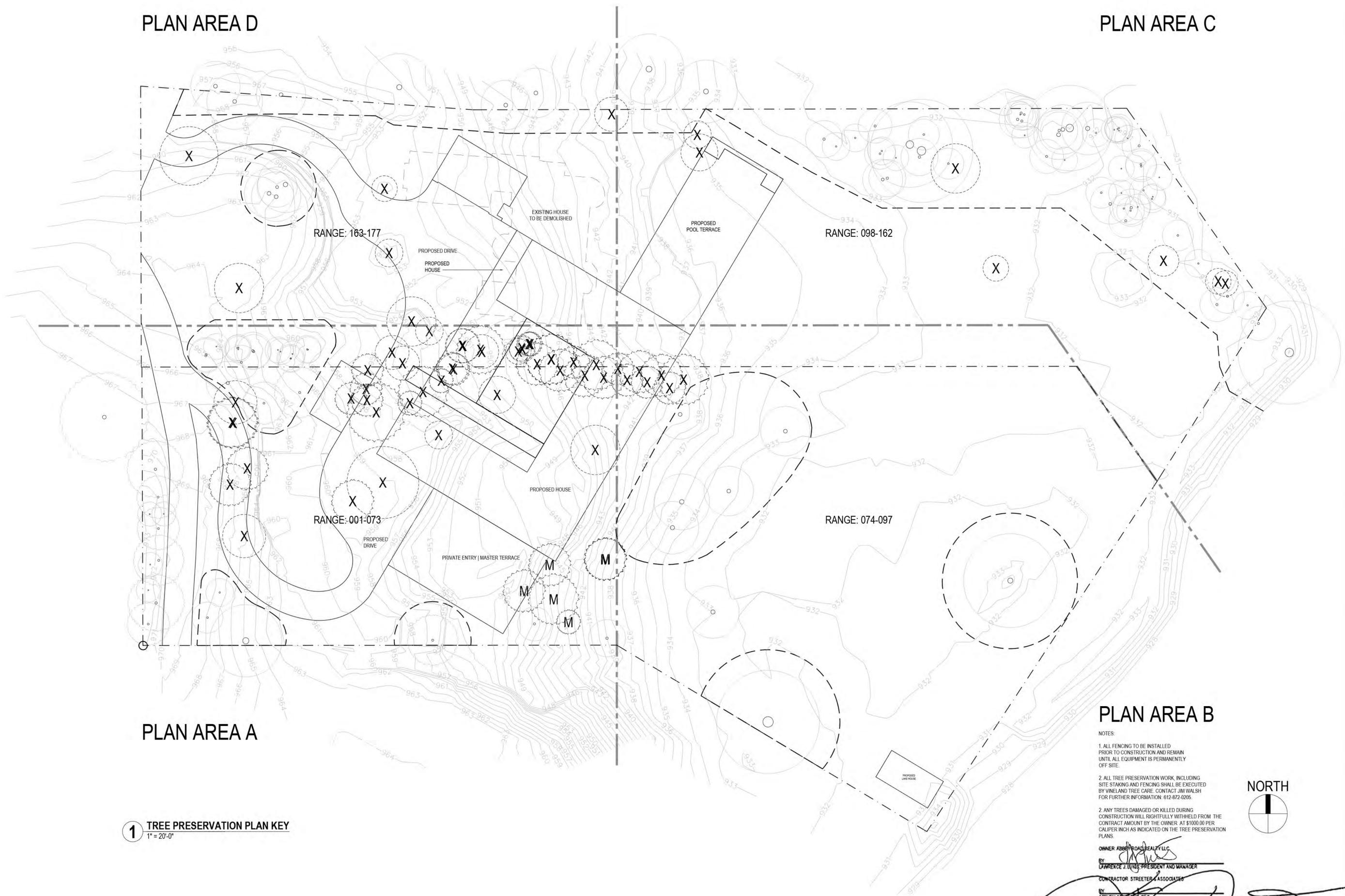
Date: 05/20/2016

Site Plan Review

Drawing Title
STORMWATER
MANAGEMENT DETAILS

PLAN AREA D

PLAN AREA C



PLAN AREA A

PLAN AREA B

1 TREE PRESERVATION PLAN KEY
1" = 20'-0"

NOTES:
1. ALL FENCING TO BE INSTALLED PRIOR TO CONSTRUCTION AND REMAIN UNTIL ALL EQUIPMENT IS PERMANENTLY OFF SITE.
2. ALL TREE PRESERVATION WORK, INCLUDING SITE STAKING AND FENCING SHALL BE EXECUTED BY VINELAND TREE CARE. CONTACT JIM WALSH FOR FURTHER INFORMATION: 612-872-0205.
2. ANY TREES DAMAGED OR KILLED DURING CONSTRUCTION WILL BE FULLY WITHHELD FROM THE CONTRACT AMOUNT BY THE OWNER AT \$1000.00 PER CALIPER INCH AS INDICATED ON THE TREE PRESERVATION PLANS.



OWNER: ABBEY ROAD REALTY, LLC
BY: LAWRENCE J. LUKIS, PRESIDENT AND MANAGER
CONTRACTOR: STREETER & ASSOCIATES
BY: STEVEN STREETER, CEO

BAYSIDE RESIDENCE
320 & 326 FERNDALE RD
WAYZATA, MN 55391

CLIENT
ABBAY ROAD REALTY, LLC
210 Accounting Resource Group
601 Carlson Parkway
Suite 120
Minnetonka, MN 55305

ARCHITECT
PETERSENKELLER
2919 James Ave S
Minneapolis, MN 55408
612-353-4520
info@pkarch.com

LANDSCAPE DESIGN
D/O
227 Colfax Ave N
Suite 205
Minneapolis, MN 55405
612-250-8623
info@dwyeroglesbay.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

John Dwyer
JOHN DWYER, AIA
REGISTR. # MN 43166
05.20.2016

DATE
REVISIONS

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OVERVIEW PROJECT MONTH

REFERENCE LEVEL
+0.0 = TBD

PROJECT NUMBER
1601

REVISED
05.20.2016

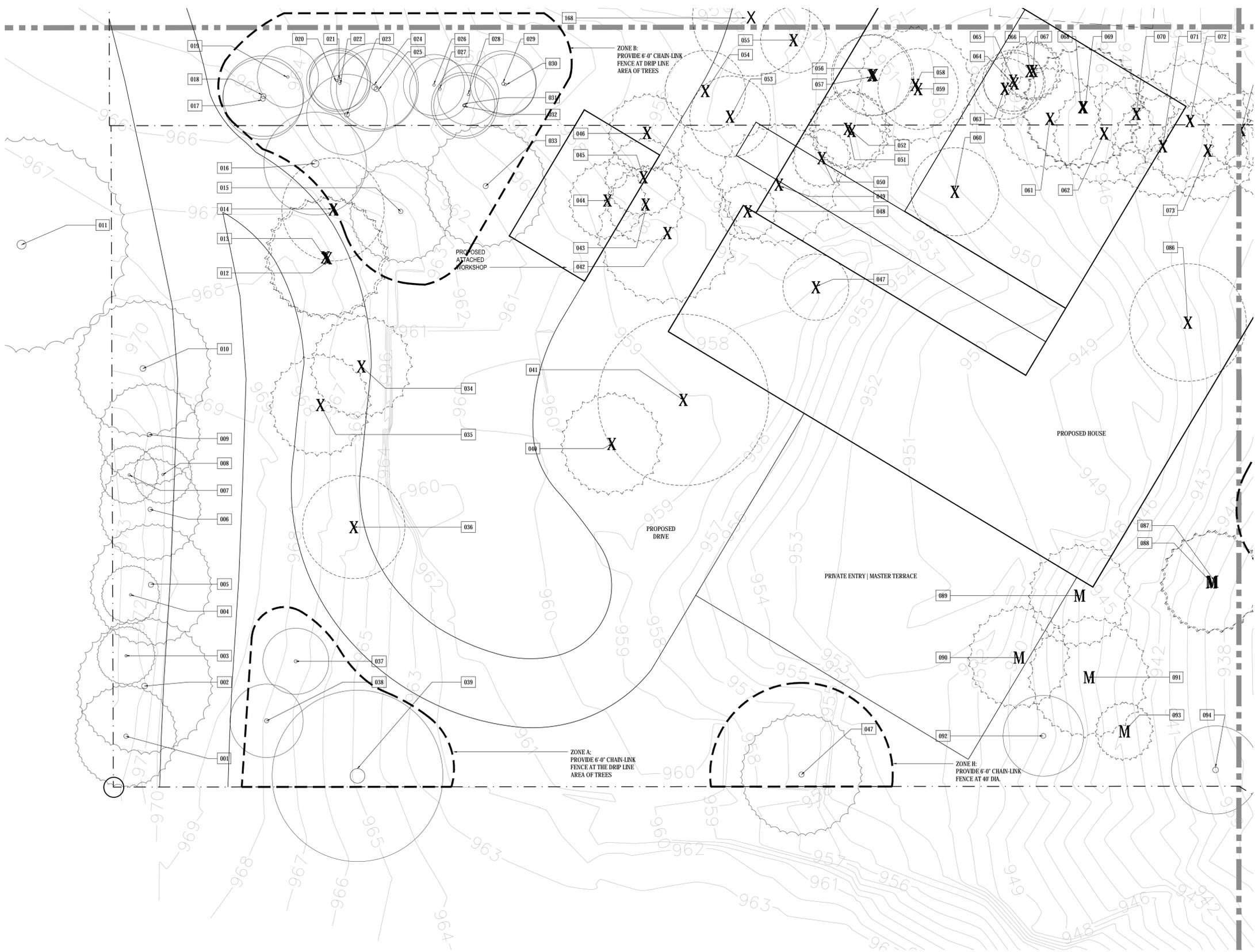
PHASE
DESIGN DEVELOPMENT

DRAWN
CO

CHECKED
DU

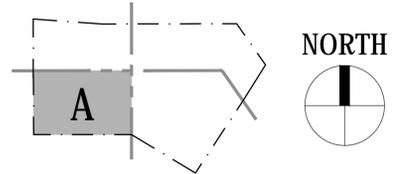
SCALE (AT ARCH D)
1"=20'

TREE PRESERV.
PLAN OVERVIEW
PL 0-80
Page 34 of 207



NUMBER	LATIN	COMMON	DIA	QUALITY	DEMO	PROTECTION MEASURE
1	PRICA GALICA	WHITE SPRUCE	10	MEDIUM	NO	PRUNE, TREAT FOR SPIDER MITES
2	PRICA GALICA	WHITE SPRUCE	14	MEDIUM	NO	PRUNE, TREAT FOR SPIDER MITES
3	PRICA GALICA	WHITE SPRUCE	6	MEDIUM	NO	PRUNE, TREAT FOR SPIDER MITES
4	PRICA GALICA	WHITE SPRUCE	6	DEAD	NO	PRUNE, TREAT FOR SPIDER MITES
5	PRICA GALICA	WHITE SPRUCE	12	MEDIUM	NO	PRUNE, TREAT FOR SPIDER MITES
6	PRICA GALICA	WHITE SPRUCE	10	LOW	YES	
7	PRICA GALICA	WHITE SPRUCE	6	LOW	YES	
8	PRICA GALICA	WHITE SPRUCE	6	MEDIUM	NO	PRUNE, TREAT FOR SPIDER MITES
9	PRICA GALICA	WHITE SPRUCE	10	MEDIUM	NO	PRUNE, TREAT FOR SPIDER MITES
10	PRICA GALICA	WHITE SPRUCE	14	MEDIUM	NO	PRUNE, TREAT FOR SPIDER MITES
11	PRINUS SYLVESTRIS	SCOTCH PINE	10	MEDIUM	NO	PRUNE, TREAT FOR SPIDER MITES
12	PRICA GALICA	WHITE SPRUCE	12	LOW	YES	
13	PRICA GALICA	WHITE SPRUCE	12	MEDIUM	YES	
14	ULMUS RUBRA	RED ELM	14	LOW	YES	
15	PRICA GALICA	WHITE SPRUCE	10	MEDIUM	NO	ZONE A PROTECTION, PRUNE, TREAT FOR SPIDER MITES
16	ACER NEGUNDO	BOKHOEYER MAPLE	15	MEDIUM	NO	ZONE A PROTECTION, PRUNE
17	ULMUS RUBRA	RED ELM	12	MEDIUM	YES	
18	OMIT					
19	ACER SACCHARINUM	SUGAR MAPLE	6	MEDIUM	NO	ZONE A PROTECTION, PRUNE
20	ACER SACCHARINUM	SUGAR MAPLE	6	MEDIUM	NO	ZONE A PROTECTION, PRUNE
21	ACER SACCHARINUM	SUGAR MAPLE	6	MEDIUM	NO	ZONE A PROTECTION, PRUNE
22	ACER SACCHARINUM	SUGAR MAPLE	6	MEDIUM	YES	
23	ULMUS RUBRA	RED ELM	12	MEDIUM	NO	ZONE A PROTECTION, DUTCH ELM DISEASE INJECTION
24	ULMUS RUBRA	RED ELM	14	MEDIUM	NO	ZONE A PROTECTION, DUTCH ELM DISEASE INJECTION
25	OMIT					
26	TRAVIS Y. MEDA	ANGILO-LAP YEW	6	LOW	NO	ZONE A PROTECTION, PRUNE
27	ACER SACCHARINUM	SUGAR MAPLE	6	DEAD	YES	
28	ACER SACCHARINUM	SILVER MAPLE	8	MEDIUM	NO	ZONE A PROTECTION, PRUNE
29	ACER NEGUNDO	BOKHOEYER MAPLE	8	LOW	NO	ZONE A PROTECTION, PRUNE
30	ACER SACCHARINUM	SUGAR MAPLE	6	MEDIUM	NO	ZONE A PROTECTION, PRUNE
31	ACER SACCHARINUM	SUGAR MAPLE	6	MEDIUM	NO	ZONE A PROTECTION, PRUNE
32	ACER SACCHARINUM	SUGAR MAPLE	8	MEDIUM	NO	ZONE A PROTECTION, PRUNE
33	PRICA GALICA	WHITE SPRUCE	12	MEDIUM	NO	ZONE A PROTECTION, PRUNE, TREAT FOR SPIDER MITES
34	PRICA GALICA	WHITE SPRUCE	10	LOW	YES	
35	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	10	MEDIUM	YES	
36	ACER SACCHARINUM	SUGAR MAPLE	18	LOW	YES	
37	ACER SACCHARINUM	SUGAR MAPLE	8	MEDIUM	NO	ZONE B PROTECTION, PRUNE
38	ACER SACCHARINUM	SUGAR MAPLE	10	MEDIUM	NO	ZONE B PROTECTION, PRUNE
39	ACER SACCHARINUM	SUGAR MAPLE	36	HIGH	NO	ZONE B PROTECTION, PRUNE
40	PRINUS SYLVESTRIS	SCOTCH PINE	10	LOW	YES	
41	ACER SACCHARINUM	SILVER MAPLE	36	MEDIUM	YES	
42	PRICA GALICA	WHITE SPRUCE	14	MEDIUM	YES	
43	ABIES BALSAMEA	BALSAM FIR	6	LOW	YES	
44	ABIES BALSAMEA	BALSAM FIR	8	LOW	YES	
45	PRICA GALICA	WHITE SPRUCE	8	LOW	YES	
46	PRICA GALICA	WHITE SPRUCE	8	LOW	YES	
47	PRICA GALICA	WHITE SPRUCE	14'	LOW	YES	
48	PRINUS STROBUS	WHITE PINE	6	LOW	YES	
49	PRINUS STROBUS	WHITE PINE	12'	LOW	YES	
50	PRINUS STROBUS	WHITE PINE	6'	LOW	YES	
51	OMIT					
52	PRINUS STROBUS	WHITE PINE	8	LOW	YES	
53	ACER NEGUNDO	BOKHOEYER MAPLE	12	MEDIUM	YES	
54	FRAXINUS PENNSYLVANICA	GREEN ASH	12	LOW	YES	
55	ACER SACCHARINUM	SILVER MAPLE	36	LOW	YES	
56	ACER SACCHARINUM	SUGAR MAPLE	12	HIGH	YES	
57	OMIT					
58	OMIT					
59	PRICA GALICA	WHITE SPRUCE	12	LOW	YES	
60	FRAXINUS PENNSYLVANICA	GREEN ASH	14	LOW	YES	
61	PRINUS SYLVESTRIS	SCOTCH PINE	10	LOW	YES	
62	PRINUS SYLVESTRIS	SCOTCH PINE	10	LOW	YES	
63	MORUS ALBA	MULBERRY	6	LOW	YES	
64	ACER SACCHARINUM	SUGAR MAPLE	6	MEDIUM	YES	
65	MORUS ALBA	MULBERRY	6	LOW	YES	
66	MORUS ALBA	MULBERRY	8	LOW	YES	
67	PRINUS SYLVESTRIS	SCOTCH PINE	10	LOW	YES	
68	PRINUS SYLVESTRIS	SCOTCH PINE	12	LOW	YES	
69	OMIT					
70	PRINUS SYLVESTRIS	SCOTCH PINE	8	LOW	YES	

1 TREE PRESERVATION PLAN - AREA A
1" = 10'-0"



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

John Dwyer
JOHN DWYER, AIA
REGISTR. # MN 43166

DATE
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OVERVIEW

REFERENCE LEVEL
-SS11 F8S

PROJECT NUMBER
1601

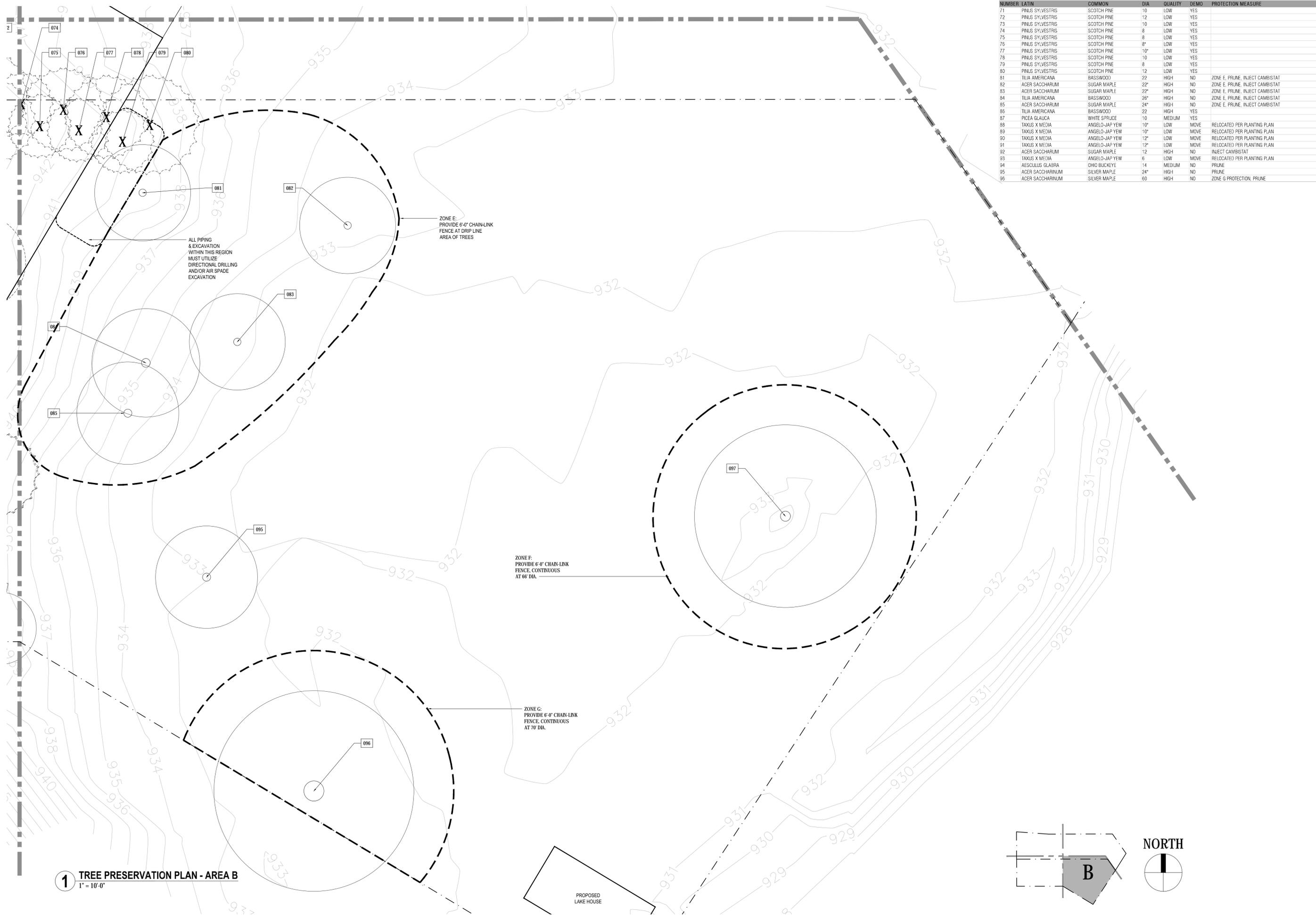
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05.20.2016

PHASE
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CO

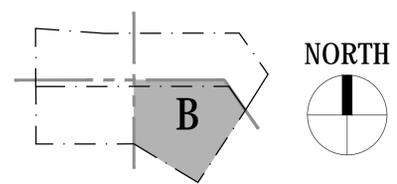
CHECKED
JD

SCALE (AT ARCH D)
1"=10'-0"



NUMBER	LATIN	COMMON	DIA	QUALITY	DEMO	PROTECTION MEASURE
71	PINUS SYLVESTRIS	SCOTCH PINE	10	LOW	YES	
72	PINUS SYLVESTRIS	SCOTCH PINE	12	LOW	YES	
73	PINUS SYLVESTRIS	SCOTCH PINE	10	LOW	YES	
74	PINUS SYLVESTRIS	SCOTCH PINE	8	LOW	YES	
75	PINUS SYLVESTRIS	SCOTCH PINE	8	LOW	YES	
76	PINUS SYLVESTRIS	SCOTCH PINE	8"	LOW	YES	
77	PINUS SYLVESTRIS	SCOTCH PINE	10"	LOW	YES	
78	PINUS SYLVESTRIS	SCOTCH PINE	10	LOW	YES	
79	PINUS SYLVESTRIS	SCOTCH PINE	8	LOW	YES	
80	PINUS SYLVESTRIS	SCOTCH PINE	12	LOW	YES	
81	TILIA AMERICANA	BASSWOOD	22	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
82	ACER SACCHARINUM	SUGAR MAPLE	22"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
83	ACER SACCHARINUM	SUGAR MAPLE	22"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
84	TILIA AMERICANA	BASSWOOD	26"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
85	ACER SACCHARINUM	SUGAR MAPLE	24"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
86	TILIA AMERICANA	BASSWOOD	22	HIGH	YES	
87	PICEA GLAUCOA	WHITE SPRUCE	10	MEDIUM	YES	
88	TAXUS X MEDIA	ANGELO-JAP YEW	10"	LOW	MOVE	RELOCATED PER PLANTING PLAN
89	TAXUS X MEDIA	ANGELO-JAP YEW	10"	LOW	MOVE	RELOCATED PER PLANTING PLAN
90	TAXUS X MEDIA	ANGELO-JAP YEW	12"	LOW	MOVE	RELOCATED PER PLANTING PLAN
91	TAXUS X MEDIA	ANGELO-JAP YEW	12"	LOW	MOVE	RELOCATED PER PLANTING PLAN
92	ACER SACCHARINUM	SUGAR MAPLE	12	HIGH	NO	INJECT CAMBISTAT
93	TAXUS X MEDIA	ANGELO-JAP YEW	6	LOW	MOVE	RELOCATED PER PLANTING PLAN
94	AESCULLUS GLABRA	OHIO BUCKEYE	14	MEDIUM	NO	PRUNE
95	ACER SACCHARINUM	SILVER MAPLE	24"	HIGH	NO	PRUNE
96	ACER SACCHARINUM	SILVER MAPLE	60	HIGH	NO	ZONE G PROTECTION, PRUNE

1 TREE PRESERVATION PLAN - AREA B
1" = 10'-0"



BAYSIDE RESIDENCE
320 & 326 FERDALE RD
WAYZATA, MN 55391

CLIENT
ABBEE ROAD REALTY LLC
c/o
Accounting Resource Group
601 Carlson Parkway
Suite 120
Minnetonka, MN 55305

ARCHITECT
PETERSEN/KELLER
2919 James Ave S
Minneapolis, MN 55408
612.355.4950
info@pkarch.com

LANDSCAPE DESIGN
D/O
227 Colton Ave N
Suite 205
Minneapolis, MN 55405
612.254.8623
info@dwyerdgsbay.com

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[Signature]

JOHN DWYER, AIA
REGISTR. # MN 43166
05.20.2016

DATE

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1/7/2016 - 1/15/2016

OVERVIEW

REFERENCE LEVEL
-SS 11 F83

PROJECT NUMBER
1601

REVISED
05.20.2016

PHASE
DESIGN DEVELOPMENT

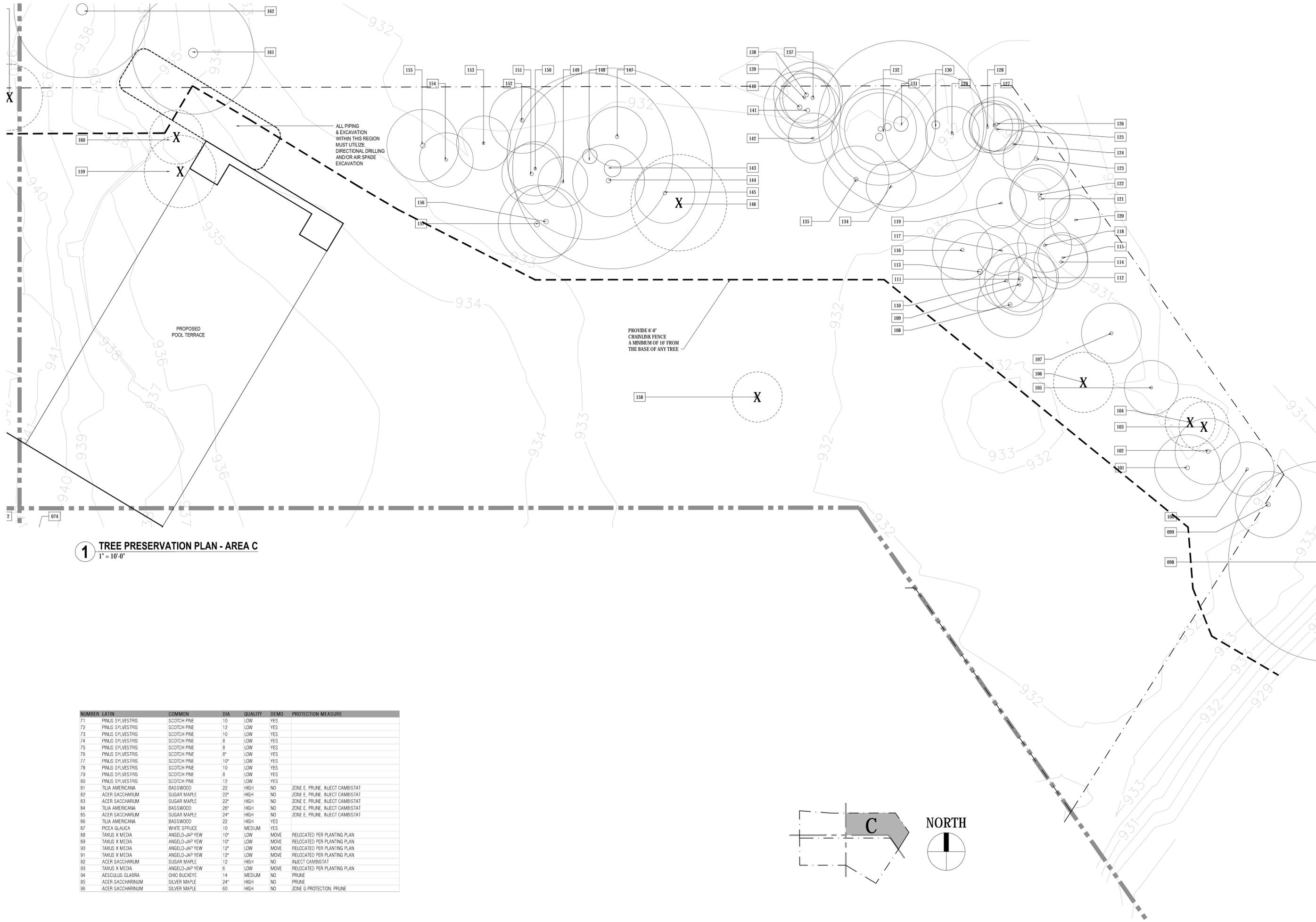
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JD

SCALE (AT ARCH D)
1"=10'-0"

TREE PRESERV. PLAN - AREA B

10-82
Page 36 of 207



1 TREE PRESERVATION PLAN - AREA C
 1" = 10'-0"

NUMBER	LATIN	COMMON	DIA	QUALITY	DEMO	PROTECTION MEASURE
71	PINUS SYLVESTRIS	SCOTCH PINE	10"	LOW	YES	
72	PINUS SYLVESTRIS	SCOTCH PINE	12"	LOW	YES	
73	PINUS SYLVESTRIS	SCOTCH PINE	10"	LOW	YES	
74	PINUS SYLVESTRIS	SCOTCH PINE	8"	LOW	YES	
75	PINUS SYLVESTRIS	SCOTCH PINE	8"	LOW	YES	
76	PINUS SYLVESTRIS	SCOTCH PINE	8"	LOW	YES	
77	PINUS SYLVESTRIS	SCOTCH PINE	10"	LOW	YES	
78	PINUS SYLVESTRIS	SCOTCH PINE	10"	LOW	YES	
79	PINUS SYLVESTRIS	SCOTCH PINE	8"	LOW	YES	
80	PINUS SYLVESTRIS	SCOTCH PINE	12"	LOW	YES	
81	TILIA AMERICANA	BASSWOOD	22"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
82	ACER SACCHARUM	SUGAR MAPLE	22"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
83	ACER SACCHARUM	SUGAR MAPLE	22"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
84	TILIA AMERICANA	BASSWOOD	26"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
85	ACER SACCHARUM	SUGAR MAPLE	24"	HIGH	NO	ZONE E, PRUNE, INJECT CAMBISTAT
86	TILIA AMERICANA	BASSWOOD	22"	HIGH	YES	
87	PICEA GLAUCOA	WHITE SPRUCE	10"	MEDIUM	YES	
88	TAXUS X MEDIA	ANGELO-JAP YEW	10"	LOW	MOVE	RELOCATED PER PLANTING PLAN
89	TAXUS X MEDIA	ANGELO-JAP YEW	10"	LOW	MOVE	RELOCATED PER PLANTING PLAN
90	TAXUS X MEDIA	ANGELO-JAP YEW	12"	LOW	MOVE	RELOCATED PER PLANTING PLAN
91	TAXUS X MEDIA	ANGELO-JAP YEW	12"	LOW	MOVE	RELOCATED PER PLANTING PLAN
92	ACER SACCHARUM	SUGAR MAPLE	12"	HIGH	NO	INJECT CAMBISTAT
93	TAXUS X MEDIA	ANGELO-JAP YEW	6"	LOW	MOVE	RELOCATED PER PLANTING PLAN
94	AESCLLUS GLABRA	OHIO BUCKEYE	14"	MEDIUM	NO	PRUNE
95	ACER SACCHARINUM	SILVER MAPLE	24"	HIGH	NO	PRUNE
96	ACER SACCHARINUM	SILVER MAPLE	60"	HIGH	NO	ZONE G PROTECTION, PRUNE

BAYSIDE RESIDENCE
 320 & 326 FERNDALE RD
 WAYZATA, MN 55391

CLIENT
 ABBEY ROAD REALTY LLC
 c/o
 Accounting Resource Group
 601 Carlson Parkway
 Suite 120
 Minnetonka, MN 55305

ARCHITECT
 PETERSEN/KELLER
 2919 James Ave S
 Minneapolis, MN 55408
 612.355.4920
 info@pkarch.com

LANDSCAPE DESIGN
 D/O
 227 Colton Ave N
 Suite 205
 Minneapolis, MN 55405
 612.254.8623
 info@dwyrngesbay.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

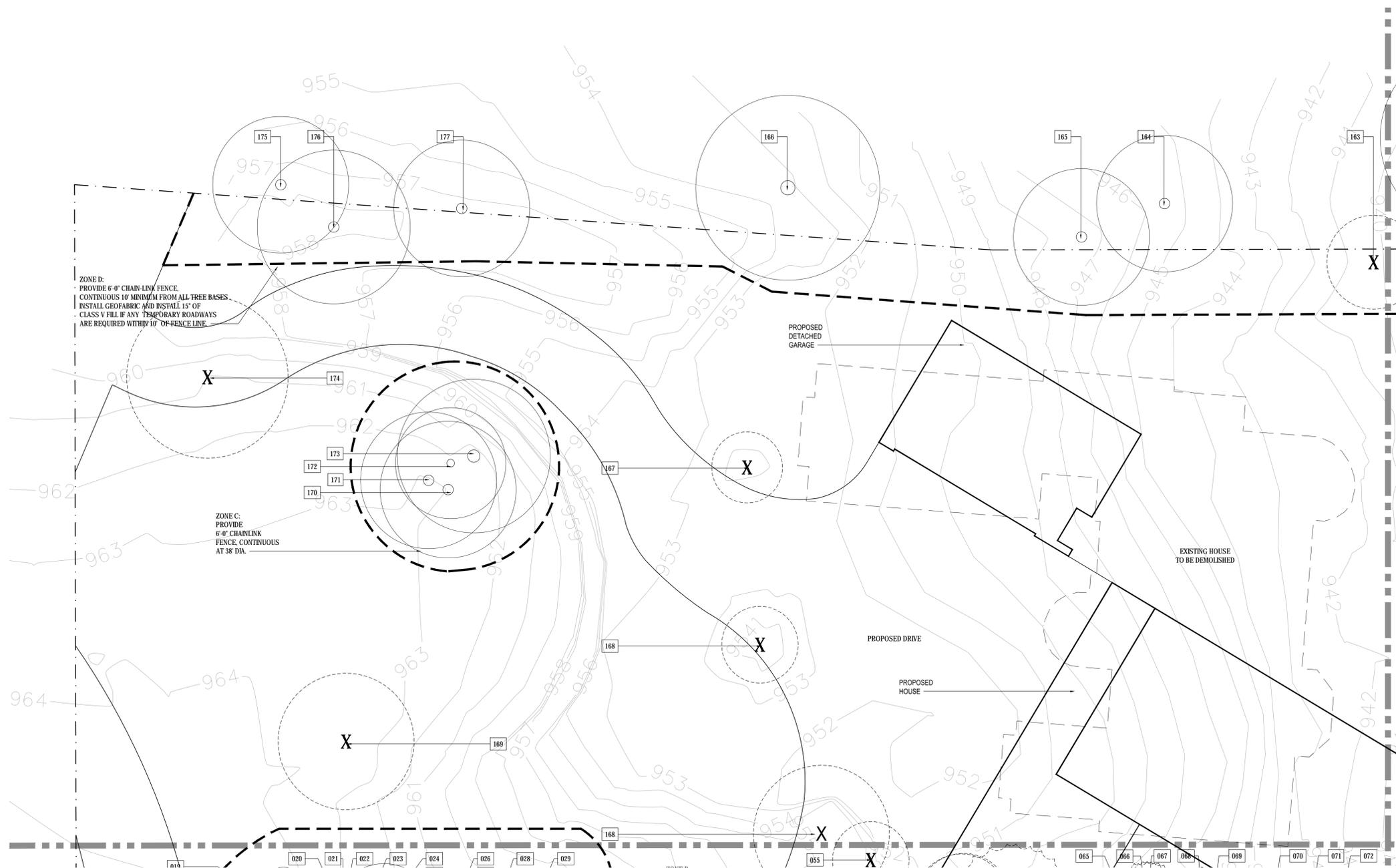
JOHN DWYER, AIA
 REGISTR. # MN 43166
 05.20.2016

DATE
 05.20.2016
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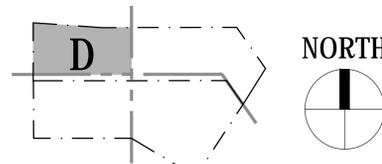
OVERVIEW

REFERENCE LEVEL
 -SS 11 FBS
PROJECT NUMBER
 1601
REVISED
 05.20.2016
PHASE
 DESIGN DEVELOPMENT
DRAWN
 CO
CHECKED
 JD
SCALE (AT ARCH D)
 1"=10'-0"
TREE PRESERV. PLAN - AREA C
10.83
 Page 37 of 207



1 TREE PRESERVATION PLAN - AREA D
1" = 10'-0"

NUMBER	LATIN	COMMON	DIA	QUALITY	DEMO	PROTECTION MEASURE
158	MALUS SP	CRABAPPLE	6	LOW	NO	ZONE D PROTECTION, PRUNE
159	ACER SACCHARINUM	SILVER MAPLE	14"	MEDIUM	NO	ZONE D PROTECTION, PRUNE
160	ACER NEGUNDO	BOXELDER MAPLE	8"	LOW	YES	
161	ACER SACCHARUM	SUGAR MAPLE	30	HIGH	NO	ZONE D PROTECTION, PRUNE
162	ACER SACCHARUM	SUGAR MAPLE	40	HIGH	NO	ZONE D PROTECTION, PRUNE
163	CELTIS OCCIDENTALIS	HACKBERRY	12	HIGH	NO	ZONE D PROTECTION, PRUNE
164	ACER SACCHARUM	SUGAR MAPLE	28"	HIGH	NO	ZONE D PROTECTION, PRUNE
165	ACER SACCHARUM	SUGAR MAPLE	16"	HIGH	NO	ZONE D PROTECTION, PRUNE
166	ACER SACCHARUM	SUGAR MAPLE	22"	HIGH	NO	ZONE D PROTECTION, PRUNE
167	SYRINGA RETICULATA	JAPANESE TREE LILAC	6	LOW	YES	
168	ACER SACCHARUM	SUGAR MAPLE	8	MEDIUM	YES	
169	ACER PLATANOIDES	NORWAY MAPLE	22	LOW	YES	
170	ACER SACCHARUM	SUGAR MAPLE	22	HIGH	NO	ZONE C PROTECTION, PRUNE, STABILIZE
171	ACER SACCHARUM	SUGAR MAPLE	22	HIGH	NO	ZONE C PROTECTION, PRUNE, STABILIZE
172	ACER SACCHARUM	SUGAR MAPLE	20	HIGH	NO	ZONE C PROTECTION, PRUNE, STABILIZE
173	ACER SACCHARUM	SUGAR MAPLE	28	HIGH	NO	ZONE C PROTECTION, PRUNE, STABILIZE
174	FRAXINUS PENNSYLVANICA	GREEN ASH	28	LOW	YES	
175	ACER SACCHARUM	SUGAR MAPLE	30	HIGH	NO	ZONE D PROTECTION, PRUNE
176	ACER SACCHARUM	SUGAR MAPLE	26	HIGH	NO	ZONE D PROTECTION, PRUNE
177	ACER SACCHARUM	SUGAR MAPLE	27	HIGH	NO	ZONE D PROTECTION, PRUNE



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

John Dwyer

JOHN DWYER, AIA
REGISTR. # MN 43166
05.20.2016

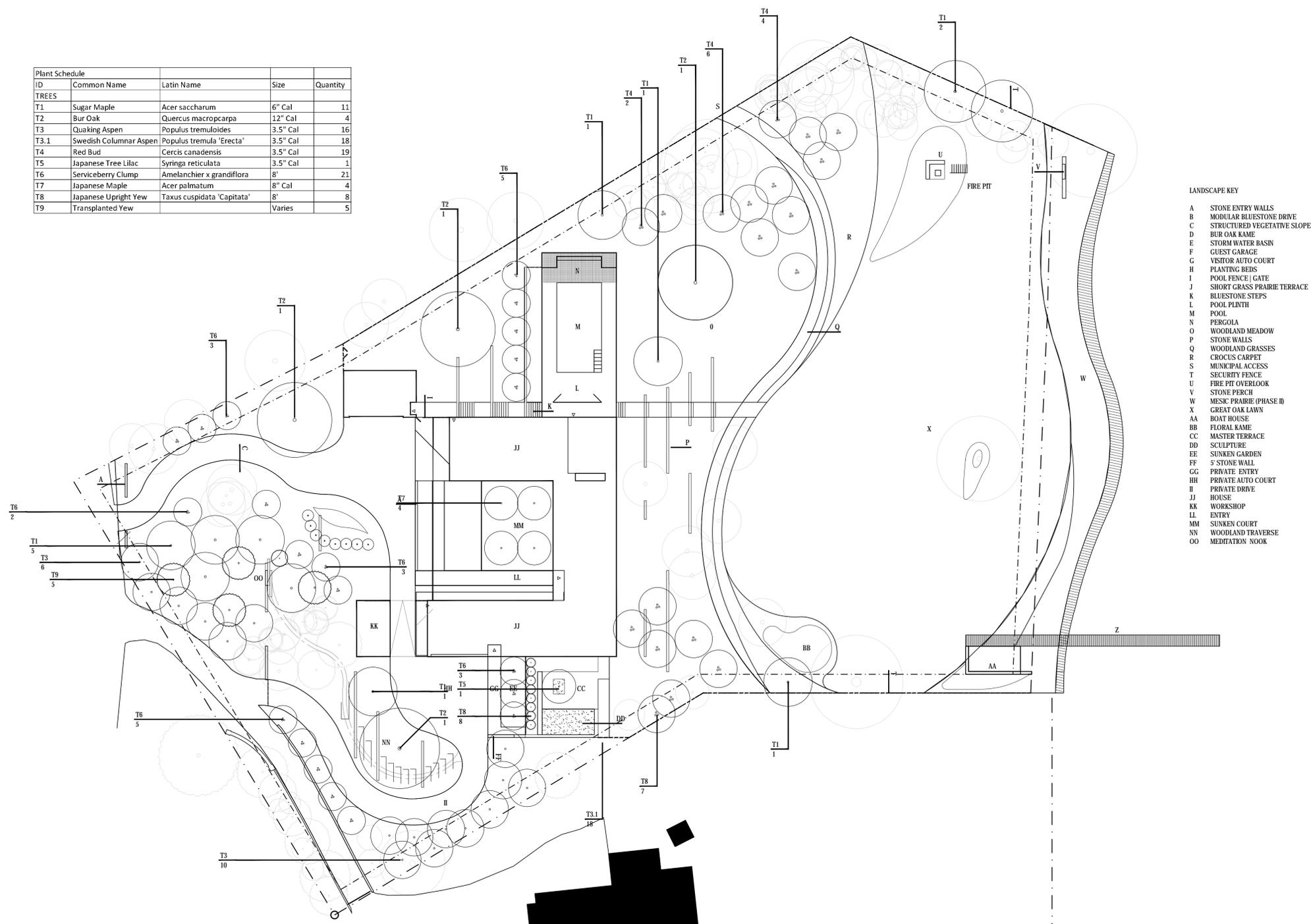
DATE
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Y 7'CDM+ <HSE' 8800
OVERVIEW

REFERENCE LEVEL
-SS 11 F88
PROJECT NUMBER
1601
REVISED
05.20.2016
PHASE
DESIGN DEVELOPMENT
DRAWN
CO
CHECKED
JD
SCALE (AT ARCH D)
1"=10'-0"
TREE PRESERV.
PLAN - AREA D
10:84
Page 38 of 207

Plant Schedule				
ID	Common Name	Latin Name	Size	Quantity
TREES				
T1	Sugar Maple	Acer saccharum	6" Cal	11
T2	Bur Oak	Quercus macrocarpa	12" Cal	4
T3	Quaking Aspen	Populus tremuloides	3.5" Cal	16
T3.1	Swedish Columnar Aspen	Populus tremula 'Erecta'	3.5" Cal	18
T4	Red Bud	Cercis canadensis	3.5" Cal	19
T5	Japanese Tree Lilac	Syringa reticulata	3.5" Cal	1
T6	Serviceberry Clump	Amelanchier x grandiflora	8'	21
T7	Japanese Maple	Acer palmatum	8" Cal	4
T8	Japanese Upright Yew	Taxus cuspidata 'Capitata'	8'	8
T9	Transplanted Yew		Varies	5



- LANDSCAPE KEY**
- A STONE ENTRY WALLS
 - B MODULAR BLUESTONE DRIVE
 - C STRUCTURED VEGETATIVE SLOPES
 - D BUR OAK KAME
 - E STORM WATER BASIN
 - F GUEST GARAGE
 - G VISITOR AUTO COURT
 - H PLANTING BEDS
 - I POOL FENCE | GATE
 - J SHORT GRASS PRAIRIE TERRACE
 - K BLUESTONE STEPS
 - L POOL PLINTH
 - M POOL
 - N PERGOLA
 - O WOODLAND MEADOW
 - P STONE WALLS
 - Q WOODLAND GRASSES
 - R CROCUS CARPET
 - S MUNICIPAL ACCESS
 - T SECURITY FENCE
 - U FIRE PIT OVERLOOK
 - V STONE PERCH
 - W MESIC PRAIRIE (PHASE II)
 - X GREAT OAK LAWN
 - AA BOAT HOUSE
 - BB FLORAL KAME
 - CC MASTER TERRACE
 - DD SCULPTURE
 - EE SUNKEN GARDEN
 - FF 5' STONE WALL
 - GG PRIVATE ENTRY
 - HH PRIVATE AUTO COURT
 - II PRIVATE DRIVE
 - JJ HOUSE
 - KK WORKSHOP
 - LL ENTRY
 - MM SUNKEN COURT
 - NN WOODLAND TRAVERSE
 - OO MEDITATION NOOK

1 PLANTING PLAN - TREE
1" = 30'-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

John Dwyer

JOHN DWYER, AIA
REGISTR. # MN 43166
05.20.2016

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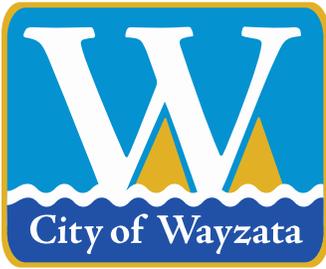
OVERVIEW

REFERENCE LEVEL
-SS 11 F8

PROJECT NUMBER
1601
REVISED
05.20.2016
PHASE
DESIGN DEVELOPMENT
DRAWN
LP
CHECKED
JD, CO
SCALE (AT ARCH D)
1" = 30'-0"

PLANTING PLAN - TREE

PL 14.00
Page 39 of 207



City of Wayzata
600 Rice Street
Wayzata, MN 55391-1734

Mayor:
Ken Willcox

City Council:
Bridget Anderson
Johanna McCarthy
Andrew Mullin
Steven Tyacke

City Manager:
Jeffrey Dahl

Date: June 17, 2016
To: Planning Commission
From: Jeff Thomson, Director of Planning and Building
Subject: Holdridge Homes

Application Information

The applicant and property owner, Lake West Development, LCC has submitted a development application requesting rezoning from R-2/Medium Density Single Family Residential to PUD/Planned Unit Development, Concurrent PUD Concept Plan and General Plan of Development approval, and preliminary plat review to subdivide the properties at 1407 Holdridge Terrace and an unaddressed parcel on Holdridge Terrace (PID 04-117-22-32-0036) for a six lot single-family residential development. The property has a total area of 2.13 acres, and includes a wetland on the south side of the property. The upland area of the property is 1.35 acres in size. The property is currently undeveloped, except for a City-owned lift station located along Holdridge Terrace. The project includes constructing six new single-family homes. The six homes would have shared driveways, and would have driveway access from Holdridge Terrace on the north side.

Planning Commission Review

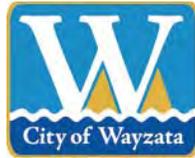
The Planning Commission reviewed the development application and held a public hearing at its meeting on May 16, 2016. After discussing the application, the Planning Commission directed staff to prepare a Planning Commission Report and Recommendation recommending denial of the development application.

Planning Commission Action

City staff has drafted the attached Planning Commission Report and Recommendation. Staff recommends that the Planning Commission adopt the draft Planning Commission Report and Recommendation.

Attachments

- Draft Planning Commission Report and Recommendation
- May 16, 2016 Planning Report and Attachments



WAYZATA PLANNING COMMISSION

June 20, 2016

REPORT AND RECOMMENDATION OF DENIAL OF PLANNED UNIT DEVELOPMENT, PUD REZONING AND PRELIMINARY PLAT AT 1407 HOLDRIDGE TERRACE

DRAFT

SUMMARY OF RECOMMENDATIONS

1. **Denial** of Concurrent PUD Concept Plan and General Plan of Development for a six lot single-family residential development
 2. **Denial** of Rezoning from R-2/Medium Density Single Family Residential District to PUD/Planned Unit Development District
 3. **Denial** of Preliminary Plat subdividing two existing lots into six lots
-

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 Project. Lake West Development, LCC (the "Applicant") has submitted a development application (the "Application") for a proposed six lot single-family residential PUD development on the properties at 1407 Holdridge Terrace and an unaddressed parcel on Holdridge Terrace (collectively, the "Project").
- 1.2 Application Requests. As part of the Application, the Applicant is requesting approval of the following:
 - A. Concurrent PUD Concept Plan and General Plan of Development approval for a six lot single-family residential development (the "PUD").
 - B. Rezoning from the existing zoning of R-2/Medium Density Single Family Residential District to PUD/Planned Unit Development District (the "Rezoning" or "Zoning Amendment").
 - C. Preliminary Plat that would subdivide the two existing lots into six lots (the "Subdivision" or "Preliminary Plat").
Code Section 805.14)

- 1.3 Property. The addresses, property identification numbers and owner of the parcels comprising the subject property (the “Property”) are:

1407 Holdridge Terrace	04-117-22-32-0035	Lake West Development, LCC
Unaddressed Parcel	04-117-22-32-0036	Lake West Development, LLC

- 1.4 Land Use Designations. The Property falls within the following districts:

Zoning	R-2/Medium Density Single-Family Residential
Comp Plan	Low Density Single Family

- 1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Sun Sailor* on May 5, 2016. A copy of the notice was mailed to all property owners located with 350 feet of the Property on May 5, 2016. The required public hearing was held at the May 16, 2016 Planning Commission meeting.

Section 2. STANDARDS

2.1 Planned Unit Developments (PUDs).

- A. Intent and Purpose of PUDs. The PUD process, outlined in Section 801.33 of the Zoning Ordinance, allows deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., for the purpose of encouraging:
1. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
 2. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
 3. More convenience in location and design of development and service facilities.
 4. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.

5. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
 6. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
 7. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
 8. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.
- B. General Standards. Section 801.33.2.A of the Zoning Ordinance sets forth the general standards for review of any PUD application. These are:
1. Health Safety and Welfare; Intent and Purpose of PUDs; Discretion of Council. In reviewing the PUD application, the Council shall consider comments on the application of those persons appearing before the Council, the report and recommendations of the Planning Commission, the recommendations on design and any staff report on the application. The Council also shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area and shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the PUD Ordinance. If the Council determines that the proposed project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area and that the project does conform with the overall intent and purpose of this Section, it may approve a PUD permit, although it shall not be required to do so.
 2. Ownership. Applicant/s must own all of the property to be included in the PUD.
 3. Comprehensive Plan Consistency. The PUD project must be consistent with the City's Comprehensive Plan.
 4. Sanitary Sewer Plan Consistency. The PUD project must be consistent with the City's Sanitary Sewer Plan.
 5. Common Open Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive

Plan, and contain provisions to assure the continued operation and maintenance of such.

6. Operating and Maintenance Requirements. Whenever common private or public open space or service facilities are provided within a PUD, the PUD plan must contain provisions to assure the continued operation and maintenance of such open space and service facilities to a predetermined reasonable standard. Common private or public open space and service facilities within a PUD must be placed under the ownership of one of the following, as approved by the City Council: (i) dedicated to the public, where a community-wide use is anticipated, (ii) Landlord control, where only tenant use is anticipated, or (iii) Property Owners Association, provided the conditions of 801.33.2.A.6.c are met.
7. Staging of Public and Common Open Space. When a PUD provides for common private or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.
8. Density. The maximum allowable density in a PUD District shall be determined by standards negotiated and agreed upon between the applicant and the City. In all cases, the negotiated standards shall be consistent with the development policies as contained in the Wayzata Comprehensive Plan.
9. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
10. Utility Connections. All utilities associated with proposed PUD must meet the utility connection requirements of Section 801.33.2.A.10.
11. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
12. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.

13. Setbacks. The front, rear and side yard restrictions on the periphery of the Planned Unit Development site at a minimum shall be the same as imposed in the underlying districts, if a PUD conditional use permit, or the previous zoning district, if a PUD District. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern. No building within the PUD project shall be nearer to another building than one-half (1/2) the sum of the building heights of the two (2) buildings. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the allowable setbacks shall be as negotiated and agreed upon between the applicant and the City.
 14. Height. The maximum building height to be considered within a PUD District shall be thirty five (35) feet and three (3) stories, whichever is lesser. There shall be no deviation from the height standards applied within the applicable zoning districts for PUD conditional use permits. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the maximum allowable height and number of floors shall be as negotiated and agreed upon between the applicant and the City.
- C. Residential Area PUD Standards. Section 801.33.3 sets forth area standards for PUDs which have a residential component. For multiple family residential PUD District projects, the normal standards of either the R-4 or R-5 Zoning Districts shall apply to each project, excepting usage standards, as determined by the City Council and as provided above in Section 801.33.2. In addition to the other standards for PUDs, City Council may impose such other standards for a PUD project as are reasonable and as the Council deems are necessary to protect and promote the general health, safety and welfare of the community and the surrounding area.
- D. Simultaneous Concept and General Plans. In cases of single stage PUDs or for projects of limited size and scope, the applicant may, at the discretion of the Zoning Administrator, submit the General Plan of Development for the proposed PUD simultaneously with the submission of a Concept Plan. The Planning Commission and City Council shall consider such plans simultaneously and shall grant or deny a General Plan of Development in accordance with the provisions of the PUD Ordinance.
- 2.2 Zoning Ordinance Amendments (Text and Map) / Rezoning.

City Council has the discretion and authority under state law and City Code to amend the City's Zoning Ordinance and Official Zoning Map. Minn. Stat. Sec. 462.357; Wayzata City Code Sec. 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Sec. 462.357, Subd. 4. The existing provisions of the

Zoning Ordinance are presumed to be constitutional and otherwise valid. The City has broad discretion in whether to grant or deny a request to rezone. An applicant is only legally entitled to a change in the Zoning Ordinance if they can demonstrate that the existing zoning is unsupported by any rational basis related to the public health, safety and welfare. Under the City's Zoning Ordinance, the City Council acts on any proposed amendment upon receiving the report and recommendation of the Planning Commission. Section 801.03.2. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained in the Zoning Ordinance (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

2.3 Subdivision / Preliminary Plat

Review and approval of lot combinations and subdivisions of property are governed by the City's Subdivision Ordinance, Ch. 805 of City Code. In reviewing such requests, the Planning Commission shall consider possible adverse effects of the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors found in Section 805.14.E:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.
2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.

3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

The Subdivision Ordinance also requires the City Council to deny any preliminary plat of a proposed subdivision deemed premature for development. Section 805.16. The burden is on the applicant to show that the proposed subdivision is

not premature. Section 805.18. Under Section 805.17 of the Subdivision Ordinance, a subdivision may be deemed premature should any of the conditions listed in Section 805.17 exist, including inadequate drainage, inadequate water supply, inadequate roads, inadequate waste disposal systems, and inconsistency with the Comprehensive Plan, in ability to provide public improvements, and MEQB policies.

Section 3. FINDINGS

Based on the Application materials, additional materials submitted by the Applicant, staff reports, public comment and information presented at the hearing, and the standards of the Wayzata Zoning and Subdivision Ordinances, the Planning Commission of the City of Wayzata makes the following findings of fact:

3.1 PUD.

A. Intent and Purpose of PUDs. The PUD represented in the Application (the "Proposed PUD") does not conform with all of the factors outlined in Section 33 of the Zoning Ordinance that represent the overall intent and purpose of a PUD in that Proposed PUD:

1. Does not represent a greater variety in type, design, and placement of structures, or the conservation of land on the Property.
2. Does not appear to represent higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
3. Does not preserve or enhance desirable site characteristics, including the natural topography and geologic features, and wetlands, mature trees and vegetation, but instead have negative impact on such features.
4. Does not show a development pattern in harmony with the objectives of the Wayzata Comprehensive Plan but rather appears to be a means to vary applicable planning and zoning principles of the applicable current zoning district.
5. Would not result in a more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

- B. General Standards. The Proposed PUD does not satisfy all of the general standards listed in Section 801.33.2.A of the Zoning Ordinance and in Section 2.1 of this Report.
1. Health Safety and Welfare; Intent and Purpose of PUDs; Discretion of Council. The Proposed PUD would have a negative effect on the health, safety and welfare of residents of the community and the surrounding area in that removal of trees and other natural buffers for a dense six lot residential development along the frontage road would negatively impact the views, noise levels and traffic flows in the surrounding area. In addition, the height, scale, design and aesthetics of the Proposed PUD do not reflect the “small town” character and aesthetics of Wayzata, given the density of the six proposed residences in a small area. The Proposed PUD does not conform with the overall intent and purpose of Section 33 of the PUD Ordinance as noted elsewhere in this Report. Even if the Council determines that the Proposed PUD was in conformance with the overall intent and purpose of a PUD, the Council is not required to approve this or any PUD, and based on the other findings of this Report, the Planning Commission recommends that the Proposed PUD be denied.
 2. Density. The Proposed PUD’s six new residential buildings would exceed the current density for the location and be out of scale with the amount of lot area for the Property. Although the City Council has the authority to allow increased density beyond what is permitted in the underlying zoning district, the City Council is not required to approve additional density and the Planning Commission does not believe the significant amount of density requested is appropriate.
 3. Greater Flexibility of PUD Not Justified. The Property is currently zoned R-2/Medium Density Single Family Residential. The Project deviates from the requirements of the R-2 zoning district. The PUD Ordinance allows the City Council to approve deviations from the lot area, width and depth, and setback requirements. However, it is not the intent of the PUD ordinance to waive the standards for a development project. Rather, a PUD allows modifications of the strict standards for projects that meet a specific purpose, as outlined in Section 3 of this Report.

3.2 Zoning Ordinance Amendment / Rezoning.

- A. Rezoning to PUD is contingent on approval of the requested PUD, which the Planning Commission recommends denying for reasons stated in the preceding sections of this Report.

- B. The uses associated with the requested Rezoning will have adverse effects, including on the residential area in which it is proposed, as noted elsewhere in this Report.

3.3 Subdivision / Preliminary Plat.

- A. Goals. The Subdivision is not consistent with all of the goals of the Subdivision Ordinance.

1. The lots and building pads associated with the Subdivision would not respect the scale, character and pattern of the existing neighborhood. As noted elsewhere in this Report, the lots would not conform with the minimum lot size of the current zoning district, and would not be reflective of the size and layout of adjacent properties and the surrounding neighborhood.
2. While the Applicant would be required to make a Parkland dedication pursuant to the Subdivision Ordinance, there would nonetheless be a significant loss of trees, and natural vegetation and topography that give the wooded neighborhood its distinctive natural character and provide important sound and visual buffers for the neighborhood.

- B. Criteria for Approval.

1. The lots would not meet the standards of the current zoning district without a rezoning to PUD.
2. The building pads associated with the Project would negatively impact sensitive areas of trees, and natural vegetation and topography that give the wooded neighborhood its distinctive natural character and provide important sound and visual buffers for the neighborhood.
3. Existing stands of significant trees and natural vegetation would be lost. The Application materials show that approximately 55 trees would need to be removed as a result of the Project.
4. The Proposed Subdivision would adversely impact the scale, pattern or character of the surrounding neighborhood, as it would result in the loss of natural vegetation and topography that give the wooded neighborhood its distinctive natural character and provide important sound and visual buffers for the neighborhood. It would also not be consistent with the surrounding area in terms of creating 6 new smaller lots which do not fit the scale, pattern and character of the surrounding neighborhood.

5. The design of the lots, the proposed building pads, and the site layout of the Proposed Subdivision is not reflective of the surrounding lots and neighborhood character, as noted elsewhere in this Section.
- C. The Subdivision is contingent on approval of the requested Rezoning and PUD, both of which the Planning Commission recommends denying for reasons stated in the preceding sections of this Report.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends **DENIAL** of the (1) PUD; (2) Rezoning; and (3) Subdivision/Preliminary Plat requested in the Application.

Adopted by the Wayzata Planning Commission this 20th day of June 2016.

Voting In Favor:
Voting Against:
Abstaining:

Chair, Planning Commission



**Planning Report
Wayzata Planning Commission
May 16, 2016**

Project Name: Holdridge Homes
File Number: PR 2015-17
Applicant/Owner: Lake West Development, LLC
Addresses of Request: 1407 Holdridge Terr, and unaddressed parcel
Property ID #s: 04-117-22-32-0035; 04-117-22-32-0036
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: May 16, 2016
“120 Day” Deadline: June 12, 2016

Section 1. Development Application

Introduction

The applicant and property owner, Lake West Development, LCC has submitted a development application requesting rezoning from R-2/Medium Density Single Family Residential to PUD/Planned Unit Development, Concurrent PUD Concept Plan and General Plan of Development approval, and preliminary plat review to subdivide the properties at 1407 Holdridge Terrace and an unaddressed parcel on Holdridge Terrace (PID 04-117-22-32-0036) for a six lot single-family residential development.

The property has a total area of 2.13 acres, and includes a wetland on the south side of the property. The upland area of the property is 1.35 acres in size. The property is currently undeveloped, except for a City-owned lift station located along Holdridge Terrace.

The project includes constructing six new single-family homes. The six homes would have shared driveways, and would have driveway access from Holdridge Terrace on the north side. (See plans on Attachment A)

Application Requests.

As part of the development application, the applicant is requesting approval of the following items:

- A. Rezoning from R-2/Medium Density Single Family Residential District to PUD/Planned Unit Development District (City Code Section 801.33).
- B. Concurrent PUD Concept Plan and General Plan of Development approval for a six lot single-family residential development (City Code Section 801.33)
- C. Preliminary Plat Review to subdivide the two existing lots into six lots (City Code Section 805.14)

Project Location.

The Project is located on the south side of Highway 12 along Holdridge Terrace.

Map 1: Project Location.



The property identification numbers and owners for the property involved in the development application are as follows:

1407 Holdridge Ter	04-117-22-32-0035	Lake West Development, LCC
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Unaddressed Parcel	04-117-22-32-0036	Lake West Development, LLC
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Relevant property Information

Current zoning:	R-2/Medium Density Single-Family Residential
Comp plan designation:	Low Density Single Family
Total project area:	92,643 square feet or 2.13 acres

Surrounding Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Holdridge Terrace and Highway 12, City of Minnetonka beyond	NA	NA
East	City of Minnetonka	NA	NA
South	Single-family homes	R-2/Medium Density Single Family Residential	Low Density Single Family
West	Holdridge Terrace and single-family homes beyond	R-2/Medium Density Single Family Residential	Low Density Single Family

Property Background.

In January 2014, the City Council approved a subdivision, with conditions, that included the property. The subdivision, Fretham 17th Addition, divided one larger lot that included the subject property and the property at 1409 Holdridge Terrace. The approved subdivision created three single-family residential lots and one outlot that was encumbered by an easement by MnDOT. The applicant subsequently sold Lot 1 of Fretham 17th Addition, which is not included in the current application. In September 2015, MnDOT conveyed the Outlot easement to the property owner. The preliminary plat from the previous subdivision approval is included as Attachment B.

In July 2015, the City Council reviewed a concept to develop the Property into a ten (10) unit detached townhome project. The plans from the workshop meeting are included as Attachment C.

Public Hearing Notice.

Zoning Ordinance Sections 801.03.2.C, 801.33.5.B.2 and Section 805.14.B require the Planning Commission to hold a public hearing on the Rezoning, PUD Concept and General Plan of Development, and Preliminary Plat applications. The Notice of Public

Hearing was published in the *Sun Sailor* on May 5, 2016. A copy of the Notice of Public Hearing was also mailed to all property owners located within 350 feet of the subject Property on May 5, 2016.

Section 2. Previous Development Plans

The Planning Commission reviewed the application at its meeting on January 4, 2016. (See minutes on Attachment D and previous site plan on Attachment E) At the meeting, the Planning Commission requested additional information regarding lot coverage, building height and size of homes, value of the homes, building materials, if the homes would be rental or owner occupied, wetland buffer, noise impacts, additional information on how each of the provisions of the PUD Ordinance are being met, and to provide a tree preservation plan.

On April 15, 2016, the applicant submitted revised plans for the proposal. The revised plans remove the property at 1405 Holdridge Terrace from the development application, as the applicant is not proposing any changes to the lot as it was approved as part of the 2014 subdivision application for Fretham 17th addition.

The revised application materials include the revised plans, a written narrative regarding the project, and revised building elevations. The applicant has also submitted a single-family subdivision plan for a four lot subdivision that would meet the R-2 zoning district requirements for lot area, lot width, and setbacks. In addition, the applicant submitted a tree preservation plans for the proposed six lot subdivision and the four lot subdivision alternative. (See Attachment A)

Section 3. Analysis of Application

Comprehensive Plan Guidance.

The Property is guided in the City's Comprehensive Plan for Low Density Residential. The Low Density Residential land use category represents the single family detached neighborhoods, with an allowed density range of one to four units per acre or less. The total property size is 2.13 acres in the size, and the Project would have a gross density of 2.8 units per acre, which is consistent with the Comprehensive Plan land use designation.

Zoning.

The property is currently zoned R-2/Medium Density Single Family Residential. The project deviates from the requirements of the R-2 zoning district. The PUD zoning district is an Ordinance that can be used to allow for greater flexibility in development by incorporating design modifications from the strict application of the standard zoning district requirements. The PUD Ordinance allows the City Council to approve deviations from the lot area, width and depth, and setback requirements. It is not the intent of the PUD ordinance to waive the standards for a development project. Rather, a PUD allows modifications of the strict standards for projects that meet a specific purpose, as

outlined in Section 4.2 of this report. In addition, the PUD zoning district establishes general and residential standards for a PUD, which are also outlined below.

The applicant is requesting a PUD/Planned Unit Development rezoning for the project to deviate from the strict provisions of the Ordinance related to lot width, front yard setback, and side yard setback requirements. The following tables outline the proposed lot and home arrangements for the project, and include the zoning standards for R-2 lots for comparison purposes.

Table 1: Proposed Lots

	Lot area (sq. ft.)	Lot width	Lot depth
R-2 Requirements	15,000 (min.)	100 ft. (min.)	100 ft. (min.)
Lot 1	15,029	68 ft.	207 ft.
Lot 2	15,037	68 ft.	207 ft.
Lot 3	15,018	86 ft.	206 ft.
Lot 4	15,000	59 ft.	206 ft.
Lot 5	16,398	58 ft.	205 ft.
Lot 6	16,159	107 ft.	205 ft.

Table 2: Proposed Homes

	Front yard setback	Side yard setback	Rear yard setback	Lot coverage	Impervious surface	Height Max
R-2 Requirements	25 ft. (min)	10 ft. (min)	20 ft. (min)	20% (max.)	30% (max.)	2 ½ stories or 30 ft.
Proposed PUD	15 ft.	5 ft. (internal) 10 ft. (external)	20 ft.	20%	30%	Not Specified
Lot 1	15 ft.	11 ft. 16 ft.	100 ft.	Not provided	20.3%	Not provided
Lot 2	15 ft.	16 ft. 11 ft.	100+ ft.		20.3%	
Lot 3	15 ft.	8 ft. 8 ft.	100+ ft.		17.5%	
Lot 4	15 ft.	5 ft. 14 ft.	100+ ft.		13.9%	
Lot 5	15 ft.	7 ft. 5 ft.	100+ ft.		14.2%	
Lot 6	15 ft.	5 ft. 37 ft.	100+ ft.		14.8%	

House Plans

The applicant has submitted revised house plans for the development application, which are similar to the plans previously reviewed by the Planning Commission. The proposed plans include a streetscape elevation of the homes on the lots, as viewed along Holdridge Terrace. The application does not include detailed house plans for each of the lots. So, the size, exterior materials, or heights of each of the homes are not known. The general plans indicate that each home would be one and half stories with either a walkout or lookout basement on the rear of the home. Each of the homes would have a two car garage, and would have a shared driveway with an adjacent lot.

Tree Inventory

The application materials include a tree inventory of the property, which shows a total of 153 significant trees on the property having a minimum diameter of 6 inches. The property includes a wide variety of species: spruce, ash, black walnut, oak and boxelder. The tree preservation plan indicates that 55 trees, or 36% of the site's trees, would be removed for construction of the homes, driveways, and associated grading.

Stormwater Management

The plans submitted with the application include four small infiltration basins which would be constructed on the back side of the homes. The infiltration basins would capture stormwater runoff from each of the lots, and provide infiltration to meet the City's stormwater management requirements. The infiltration basins would outlet to the adjacent wetland on the back of the Property.

Traffic

Based on data from the Institute of Transportation Engineers (ITE) *Trip Generation, Ninth Edition*, a single family detached housing unit has approximately 9.5 trips per day. For a six lot single family development, the average daily trips would be approximately 57 trips.

Section 4. Applicable Code Provisions for Review

4.1 Standards for Rezoning Section 801.03.2

Under the City's Zoning Ordinance, the City Council acts on any proposed amendment upon receiving the report and recommendation of the Planning Commission. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.

- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

4.2 PUD Purpose (Section 801.33.1)

This Section is established to provide comprehensive procedures and standards designed to all greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of this Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.

- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

4.3 PUD General Standards (Section 801.33.2.A)

1. In its review of any application under this Section, the City Council shall consider comments on the application of those persons appearing before the Council, the report and recommendations of the Planning Commission, the recommendations of the Design Review Board and any staff report on the application. The Council also shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area and shall evaluate the project's conformance with the overall intent and purpose of this Section. If the Council determines that the proposed project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area and that the project does conform with the overall intent and purpose of this Section, it may approve a PUD permit, although it shall not be required to do so.
2. Ownership. An application for a PUD District or conditional use permit approval must be filed by the land owner or jointly by all land owners of the property included in a project. The application and all submissions must be directed to the development of the property as a unified whole. In the case of multiple ownership, the approved Final Plan shall be binding on all owners.
3. Comprehensive Plan Consistency. The proposed PUD shall be consistent with the City Comprehensive Plan.
4. Sanitary Sewer Plan Consistency. The proposed PUD shall be consistent with the City Comprehensive Sewer Plan and shall not create a discharge which is in excess of the City's assigned regional limitations.
5. Common Open Space. Common private or public open space and facilities at least sufficient to meet the minimum requirements established in the Comprehensive Plan and such complementary structures and improvements as are necessary and appropriate for the benefit and enjoyment of the residents of the PUD shall be provided within the area of the PUD development.
6. Operating and Maintenance Requirements for PUD Common Open Space Facilities. Whenever common private or public open space or service facilities

- are provided within the PUD, the PUD plan shall contain provisions to assure the continued operation and maintenance of such open space and service facilities to a predetermined reasonable standard. Common private or public open space and service facilities within a PUD may be placed under the ownership of one or more of the following, as approved by the City Council: (a) dedicated to public, where a community-wide use is anticipated and the City Council agrees to accept the dedication; (b) landlord control, where only use by tenants is anticipated; or (c) Property Owners Association, provided all of the conditions of 801.33.2.A.6.c are met
7. Staging of Public and Common Open Space. When a PUD provides for common private or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.
 8. Density.
 - a. The maximum allowable density in a PUD District shall be determined by standards negotiated and agreed upon between the applicant and the City. In all cases, the negotiated standards shall be consistent with the development policies as contained in the Wayzata Comprehensive Plan. Whenever any PUD is to be developed in stages, no such stage shall, when averaged with all previously completed stages, have a residential density that exceeds one hundred twenty-five (125) percent of the proposed residential density of the entire PUD.
 - b. There shall be no density variation from the standards applied in an applicable zoning district for PUD conditional use permits.
 9. Utilities. In any PUD, all utilities, including telephone, electricity, gas and telecable shall be installed underground.
 10. Utility Connections.
 - a. Water Connections. Where more than one property is served from the same service line, individual unit shut off valves shall be provided as required by the City Engineer.
 - b. Sewer Connections. Where more than one (1) unit is served by a sanitary sewer lateral which exceeds three hundred (300) feet in length, provision must be made for a manhole to allow adequate cleaning and maintenance of the lateral. All maintenance and cleaning shall be the responsibility of the property owners association or owner.

11. Roadways. All streets shall conform to the design standards contained in the Wayzata Subdivision Regulations unless otherwise approved by the City Council.

12. Landscaping. In any PUD, landscaping shall be provided according to a plan approved by the City Council, which shall include a detailed planting list with sizes and species indicated as part of the Final Plan. In assessing the landscaping plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.

13. Setbacks.

- a. The front, rear and side yard restrictions on the periphery of the Planned Unit Development site at a minimum shall be the same as imposed in the underlying districts, if a PUD conditional use permit, or the previous zoning district, if a PUD District.
- b. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern.
- c. No building within the project shall be nearer to another building than one-half (1/2) the sum of the building heights of the two (2) buildings.
- d. In PUD Districts that were zoned commercial prior to PUD and exceed 13 acres, the allowable setbacks shall be as negotiated and agreed upon between the applicant and the City.

14. Height.

- a. The maximum building height within a PUD District shall be thirty five (35) feet and three (3) stories, whichever is lesser.
- b. There shall be no deviation from the height standards applied within the applicable zoning districts for PUD conditional use permits.
- c. In PUD Districts that were zoned commercial prior to PUD and exceed 13 acres, the maximum allowable height shall be as negotiated and agreed upon between the applicant and the City.

4.4 PUD Residential Area Standards (Section 801.33.3)

A. Purpose. The purpose of this Section is to establish standards for single family, multiple family, institutional and other residential PUD District and

conditional use permit projects, in addition to those standards contained elsewhere in this Ordinance for all PUD projects. All residential PUD projects shall be developed in accordance with the following residential area standards:

1. Minimum Lot Area. There shall be no minimum lot or area size required for a tract of land for which a PUD District project is proposed. There shall be no minimum lot or area size imposed for a PUD conditional project except for standards applicable within the zoning district in which it is utilized.
2. Minimum Frontage. There shall be no minimum frontage on a public street required for a tract of land for which a PUD project is proposed.
3. The tract of land for which a PUD project is proposed shall have municipal water and sewer available to it.
4. It is the City's policy to discourage private roadways within a residential PUD project. Regardless if roads are private or dedicated to the public, they shall be designed to right-of-way widths and constructed to standards imposed by the Wayzata Subdivision Regulations.
5. For single family residential PUD District projects, the normal standards of either the R-1A, R-1, R-2, or R-3 zoning districts shall apply to each project, excepting usage standards, as determined by the City Council and as provided above in Section 801.33.2, Subd. 3.
6. For multiple family residential PUD District projects, the normal standards of either the R-4 or R-5 Zoning Districts shall apply to each project, excepting usage standards, as determined by the City Council and as provided above in Section 801.33.2, Subd. 1.
7. In addition to the above standards, the City Council may impose such other standards for a residential PUD project as are reasonable and as the Council deems are necessary to protect and promote the general health, safety and welfare of the community and the surrounding area.

4.5 Preliminary Plat Criteria (Section 805.14.E)

The Planning Commission shall consider possible adverse effects of the preliminary plat. Its judgment shall be based upon, but not limited to, the following factors:

1. The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.

2. Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.
3. Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filing or grading.
4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.
5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.
6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.
7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.
8. The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.
9. The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.
10. The proposed lot layout and building pads shall conform with all performance standards contained herein.
11. The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.
12. The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.

4.6 Parkland Dedication Fee (Section 805.37)

Section 805.37 of the Subdivision Ordinance requires a parkland dedication of land or fee in lieu for new single family lots at the time of recording of the Final Plat. As the proposed Subdivision creates four (4) new lots, the Applicant would be required to dedicate land or pay a fee in lieu for the four (4) new lots.

4.7 Premature Subdivision (Sections 805.16-18)

The Subdivision Ordinance requires the City Council to deny any preliminary plat of a proposed subdivision deemed premature for development. Section 805.16. The burden is on the applicant to show that the proposed subdivision is not premature. Section 805.18. Under Section 805.17 of the Subdivision Ordinance, a subdivision may be deemed premature should any of the conditions listed in Section 805.17 exist, including inadequate drainage, inadequate water supply, inadequate roads, inadequate waste disposal systems, and inconsistency with the Comprehensive Plan, in ability to provide public improvements, and MEQB policies.

Section 5: Discussion Items

In evaluating merits of the application, staff would offer the following topics for Planning Commission discussion:

- Does the Project meet the purpose of the Planned Unit Development ordinance? The Project varies from the zoning standards in the current zoning district for the Property, R-2/Medium Density Single Family Residential. The Planning Commission should consider and evaluate whether the rezoning to PUD meets the purpose outlined in the Ordinance.

Section 6. Action Steps.

After considering the items outlined in this Report, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the Application for review and adoption at the next Planning Commission meeting.

Attachments:

- Attachment A: Revised Narrative and Plans
- Attachment B: 2014 Subdivision Approval – Fretham 17th Addition
- Attachment C: 2015 Concept Plans
- Attachment D: January 14, 2016 Planning Commission Meeting Minutes
- Attachment E: Previous Site Plan

Lake West Development, LLC



Wayzata, MN

HOLDRIDGE HOMES
PLANNED UNIT DEVELOPMENT REZONING,
PRELIMINARY PLAT APPLICATION
AMENDMENT

April 15, 2016



INTRODUCTION

On behalf of Lake West Development, LLC, Landform is pleased to submit this amendment to the application submitted to the City of Wayzata by Lake West Development, LLC on September 28, 2015 for approval to rezone 2 parcels from R-2 Medium Density to Planned Unit Development to allow for the creation of six new single family lots on Wayzata Boulevard. We are submitting an amended narrative that responds to the questions and comments raised by members of the Wayzata Planning Commission at their January 4, 2016 meeting.

PROJECT HISTORY

Lake West Development, LLC purchased 1409 Holdridge Terrace in the fall of 2013. The City approved a subdivision with three lots and one outlot on January 14, 2014. One existing home located on what is now Lot 1, Block 1 of the approved subdivision has been sold. Lake West now owns two lots and one outlot. While the original intent of Lake West was to develop three single-family homes, the Minnesota Department of Transportation (MnDOT) sold a surplus easement to Lake West in 2015. This sale significantly increased the amount of usable land on the parcel. The MnDOT parcel has no zoning designation on the City's approved Zoning Map. This additional land acquisition led to further discussions with staff about the best possible use of a property that abuts a highway and a commercial district. On July 7, 2015, Lake West Development, LLC presented a PUD concept to the Council for a 10-12 lot subdivision that would have allowed for the construction of high-end single-family villas that would be marketable to potential high-end buyers that demand less square footage but want a single-family neighborhood. The Council felt that the proposed 10-12 lot subdivision was perhaps too high of a density for the residential properties to the south and asked to see a lower-density product.

On January 4, 2016, Lake West Development, LLC presented the present application for a seven-lot subdivision on 2.31 acres to the Planning Commission in response to the direction received from Council. The Planning Commission had several questions about the details of the proposed subdivision and asked to see more information. In light of the questions raised by the Planning Commission, Lake West has revised the narrative to more fully address the standards for rezoning and planned unit development as required by the Wayzata Zoning Code.

PUD SITE PLAN

The proposed Planned Unit Development (PUD) would allow for the development of six single-family lots on 2.13 acres. All lots exceed the minimum size of 15,000 square feet. The majority of the site has no adopted zoning – the remaining portion is currently zoned R-2 (medium-density residential) and guided low-density residential.

Tree Preservation

The site plan minimizes tree loss on site and removes about the same number of trees as if the site were to be subdivided according to a strict interpretation of the R-2 standards. Many of the trees that exist on site will remain. Driveways and houses are placed to minimize the loss of mature trees. While the City does not establish a limit to tree removal, the ordinance does indicate a desire to preserve trees to the extent possible. Our plans show that tree removal would be 38% under both the standard subdivision and the PUD.

Wetlands

A wetland in the southeast corner of the site will be preserved. The plans propose a buffer around the wetland area. While fill will be brought into the site, no wetland fill is proposed. Lake West will continue to work with the City of Wayzata to ensure the appropriate measures to mitigate any impacts during construction and that fill near the wetland minimizes any impact to the wetland. Lake West will use best practices for erosion control and will minimize, to the highest extent possible, the amount of fill on the site.

Common Open Space

Section 801.33.2 A of the PUD standards suggests that Common Open Space should be provided to meet the minimum requirements of the Comprehensive Plan. While the Comprehensive Plan does not identify any Open Space requirements specific to the property, Lake West is proposing a natural trail along the wetland for the PUD residents. The trail would be maintained through a Common Area Maintenance Agreement.

Density and Lot Layout

The proposed PUD has a gross density of 2.82 units per acre (net density of 4.44 upa). The site is guided Low Density Residential. The 2030 Comprehensive Plan identifies low density as 1-4 units per acre and medium density as 5-12 units per acre. The density of 2.82 units per acre would be consistent with the Comprehensive Plan.

Lot Layout

The lots could be a more traditional layout if it were not for the existing lift station on the site. Therefore, designers have proposed a solution that utilizes shared driveways and angles the homes. This solution increases safety for residents by reducing the number of curb cuts and lengthening the driveways. It also helps maximize the amount of yard and the views from the rear of the house, while minimizing tree loss and impacts to the wetland. Lake West will prepare shared driveway agreements for the residents.

Architecture and Landscaping

Lake West is proposing to work with a builder to build high-end homes constructed from quality materials. The building heights will stay within the 30-foot maximum allowed by the code. Landscaping and berming will be used to screen the frontage road and to reduce noise. While we have not selected the builder at this time, the properties will be attractive and consistent with the high standards of the community.

PUD FLEXIBILITY

Lake West Development LLC is requesting PUD flexibility to allow for reduced lot widths and reduced front and side yard setbacks. The following table shows the proposed lot sizes compared with the R-2 Zoning District standards:

	Lot Area (sq. ft.)	Lot Width	Lot Depth
R-2 Requirements	15,000 (min.)	100 ft. (min.)	100 ft. (min.)
Lot 1	15,029	68'	207.5'
Lot 2	15,037	68'	207'
Lot 3	15,018	58.1'	206.5'
Lot 4	15,000	52.2'	206'
Lot 5	16,398	49.7'	205.7'
Lot 6	16,159	75.8'	205.1'

	Front yard setback	Side yard	Rear yard setback	Lot coverage	Impervious surface	Max height
R-2 Requirements	25 ft. (min.)	10 ft. (min.)	20 ft. (min.)	20% Max	30% Max	2 ½ Stories or 30 ft.
Lot 1	15 ft.	10' (peripheral) 5' (interior)	100+ ft.	Will comply	21.6%	Will comply
Lot 2	15 ft.	5'	100+ ft.		21.6%	
Lot 3	15 ft.	5'	100+ ft.		20.5%	
Lot 4	15 ft.	5'	100+ ft.		12.6%	
Lot 5	15 ft.	5'	100+ ft.		13.0%	
Lot 6	15 ft.	10' (peripheral) 5' (interior)	100+ ft.		13.8%	

Section 801.33.1 of the Wayzata Zoning Ordinance allows for PUDs to promote flexibility in the development and design of projects. The Ordinance outlines 8 items that the PUD is intended to encourage. The proposed PUD is consistent with these items as follows:

1. *Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.*

The proposed development meets this goal. As noted with the original concept plan proposal, the demand for traditional low-density housing along highways and neighboring commercial sites can be more challenging in the marketplace. Constructing a traditional low-density development under the R-2 zoning standards would limit the type, design and placement of housing on site. Allowing for a clustered housing style supports the conservation and efficient use of land and offers greater variety in type, design and placement than a traditional single-family housing development. It allows Lake West to work with the constraints of the site in order to preserve natural features and solves the difficulties presented by the location of the existing on-site lift-station.

2. *Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.*

Although Section 9 of the Zoning Code provides standards for commercial and noncommercial development, residential standards are not provisioned in the code. However, Lake West will provide higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects and

engineers. Landform Professional Services, LLC is a multi-disciplinary landscape architecture, planning and engineering firm working with Lake West to maximize the preservation of the site's natural features, incorporate high quality storm water management and provide appropriate landscaping to ensure that the properties are designed with utmost care and quality. Lake West intends to work with a builder that focuses on high-end housing that will exceed existing area home values.

3. *More convenience in location and design of development and service facilities.*

A PUD would offer more convenience in location and design of development and service facilities. Lake West will provide water and sewer from an existing trunk line to the proposed homes. No additional utility services will need to be constructed. The efficient layout of the homes reduces the facilities that would be needed to service properties that are more spread out. The homes will otherwise tie into existing infrastructure and minimally increase demand for this infrastructure.

4. *The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.*

A PUD on this location will allow for the preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion. The clustering of the upscale single family homes allows for greater preservation of natural features, and supports greater enhancement of the wetland to the south of the property. A PUD allows for consistency in planting along the wetland buffer, greater control over the quality of the wetland enhancements and tree preservation. In addition, the flexibility in standards allows for a reduced setback that would protect the wetland on the southeastern portion of the parcel. The additional two homes that would be allowed by the PUD would have no impact on the number of trees removed from the parcels. Finally, the PUD gives the community more discretion in design considerations for natural features than a traditional zoning district.

5. *A creative use of land and related physical development which allows a phased and orderly development and use pattern.*

The proposed project will result in a creative use of land and physical development that allows a phased and orderly development and use pattern. Allowing for PUD flexibility

would allow the site to be developed efficiently and would provide a buffer between the residential properties to the south, the commercial properties to the north, and the senior housing directly to the east. The proposed shared-driveway design allows for fewer curb cuts, which increases safety for pedestrians and drivers. The layout makes creative use of land that is, at best, a challenging site for any residential development.

6. *An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.*

A PUD that increases density allows for efficient use of land, resulting in smaller networks of utilities and streets thereby lower development costs and public maintenance costs. The location offers easy access to the existing utility and street network. Clustering homes at this location does not require the addition of new streets and makes excellent use of underutilized property adjacent to undesirable highway uses. The development is not proposed in a location that would require additional right-of-way and provides a compact manner of providing infrastructure extensions.

7. *A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)*

The proposed development pattern is in harmony with the objectives of the Wayzata Comprehensive Plan. Section C of the Land Use Chapter of the 2030 Comprehensive Plan states that *“the City’s major planning goal is to maintain attractive, high-quality living, and working environments for community residents.”* The proposed PUD’s main intent is to provide an attractive, high-quality living environment for working professionals and residents that wish to stay in Wayzata but desire a more compact living space. The flexibility offered by the PUD gives the City the opportunity to offer housing choices to existing and potential residents that want a high-end product, but desire a smaller footprint.

The residential objective of the 2030 Comprehensive Plan is to *“maintain and enhance the character, diversity, and livability of all residential neighborhoods.”* The clustering of homes and the flexibility of standards diversifies the housing type by offering more

housing choices for existing and future residents and high quality design in an aging neighborhood. The project enhances livability by providing walkable trail access along the wetland. Additionally, the structures themselves provide a sound buffer, reducing noise from the highway for properties just to the south. The trail and sidewalk allows an area for local residents to walk and keep small children safely out of traffic.

8. *A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.*

A PUD would offer a more desirable and creative environment than might be possible through the strict application of zoning and subdivision regulations of the City. Allowing for the increased number of homes at the site allows Lake West to provide more public benefits to the City while keeping development costs low. As part of this proposed development, the plan includes a proposed trail that provides access to the natural beauty of the wetlands. Further, the clustering of homes provides a greater sound and visual barrier to the properties to the south. The landscaping and berming in front of the properties as well as the angled layout will provide attractive highway frontage for the City. Shared driveways and the angled layout increases the amount of usable yard space for future homeowners. The angled houses improve the views for homeowners, making it more desirable than a typical layout.

REZONING

Section 801.03.2 requires the Planning Commission to consider seven provisions when amending the Zoning Ordinance.

1. *The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.*

As noted above, rezoning to a PUD is consistent with the specific policies and provisions of the official City Comprehensive Plan. The proposed PUD meets the overall goals for the residential development, will help increase property values to the surrounding homes.

2. *The proposed use's conformity with present and future land uses of the area.*

The proposed PUD conforms to present and future land uses in the area. The proposed density of the project is consistent with the low-density standards described in the Comprehensive Plan, despite having a medium-density zoning designation. The proposed homes will be of high quality design that will be beneficial to surrounding property owners. The design and layout of the homes will increase the attractiveness of the community as a whole.

3. *The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).*

Rezoning to a PUD will conform to performance standards as allowed by PUD developments. The PUD offers flexibility that will reduce curb cuts, limit tree loss, increase wetland protections, and be consistent with the intent of the R-2 Zoning District.

4. *The proposed use's effect on the area in which it is proposed.*

Rezoning to a PUD will have a positive effect on the area where it is proposed. The homes will provide a buffer to adjacent undesirable highway uses; the proposed trail will increase walkability, and the high-quality architecture and landscaping will enhance the overall appearance of the neighborhood and the view of the City from the highway.

5. *The proposed use's impact upon property value in the area in which it is proposed.*

Rezoning to a PUD will increase property values in the area. The homes surrounding this parcel generally range in value from the \$200,000 - \$400,000s. We anticipate that the new homes will sell at a higher price point than this range due to the modern layout, energy efficiency, higher quality finishes and the targeted consumer demographic.

6. *Traffic generation by the proposed use in relation to capabilities of streets serving the property.*

The proposed rezoning will have little impact on the streets serving the property. The street is currently a frontage road that services the neighborhood and surrounding properties. The addition of six homes will have no significant impact on the surrounding neighborhood's streets or traffic.

7. *The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.*

Rezoning to a PUD will have little impact on the existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity. The parcel is currently in a residential zoning district and the number of homes proposed adds minimal demand to the existing city service demand.

PRELIMINARY PLAT

Section 805.14.E of the Subdivision Ordinance provides 8 items for the Planning Commission to review when considering approval of a preliminary plat. The proposed preliminary plat addresses these as follows:

1. *The proposed subdivision or lot combination shall be consistent with the Wayzata Comprehensive Plan.*

As noted above, the proposed subdivision is consistent with the intent and density standards of the Wayzata Comprehensive Plan.

2. *Building pads that result from a subdivision or lot combination shall preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets.*

Building pads preserve sensitive areas such as lakes, streams, wetlands, wildlife habitat, trees and vegetation, scenic points, historical locations, or similar community assets. As a result of PUD flexibility, building pads preserve the wetland, maximize tree preservation and enhance the appearance and character of the community through high quality design.

3. *Building pads that result from subdivision or lot combination shall be selected and located with respect to natural topography to minimize filling or grading.*

Building pads are selected and located with respect to natural topography to minimize filling or grading. As a result of the PUD, buildings and driveways can be located more

efficiently - closer to the front of the lot, which will minimize the amount of fill that will need to be brought to the site.

- 4. Existing stands of significant trees shall be retained where possible. Building pads that result from a subdivision or lot combination shall be sensitively integrated into existing trees.*

Existing stands of significant trees are retained where possible. Building pads that result from a subdivision or lot combination are sensitively integrated into existing trees. The proposed PUD minimizes tree loss and is designed to protect larger trees on site, and removes approximately the same number of trees as a traditional subdivision.

- 5. The creation of a lot or lots shall not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas.*

The creation of a lot or lots does not adversely impact the scale, pattern or character of the City, its neighborhoods, or its commercial areas. The lot layout and proposed homes improve the appearance of the neighborhood and the City. The homes provide a transition and buffer from the commercial and highway uses across the street to the residential homes to the south, while preserving the natural features of the site.

- 6. The design of a lot, the building pad, and the site layout shall respond to and be reflective of the surrounding lots and neighborhood character.*

The design of a lot, the building pad, and the site layout responds to and is reflective of the surrounding lots and neighborhood character. The angled layout of the proposed homes helps preserve the natural features of the site while making the best use of a property that is adjacent to the highway. The wooded area and the wetland provide an additional buffer to the homes to the South. The homes and preservation of these features helps the transition from highway uses to residential uses.

- 7. The lot size that results from a subdivision or lot combination shall not be dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area.*

The lot sizes that result from the subdivision are not dissimilar from adjacent lots or lots found in the surrounding neighborhood or commercial area. The lot sizes are consistent with a low-density pattern and vary only slightly from what is allowed in the R-2 zoning district. The lot sizes and shapes are primarily rectangular, but angled in some places to accommodate the existing lift station on site.

8. *The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed on a lot to be divided or combined shall be similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area.*

The architectural appearance, scale, mass, construction materials, proportion and scale of roof line and functional plan of a building proposed are similar to the characteristics and quality of existing development in the City, a neighborhood or commercial area. Lake West is proposing a high-end housing product that will be attractive, have a scale that, when viewed in an ensemble, is similar in appearance to the scale of surrounding homes and will use varied and high quality construction materials that help incorporate the homes into the neighborhood.

9. *The design, scale and massing of buildings proposed on a subdivided or combined lot shall be subject to the architectural guidelines and criteria for the Downtown Architectural District, Commercial and Institutional Architectural Districts, and Residential Architectural Districts and the Design Review Board/City Council review process outline in Section 9 of the Wayzata Zoning Ordinance.*

While the design standards described in Section 9 of the Zoning Code do not apply to residential developments, Lake West and the builder will work with the Design Review Board and City Council to ensure that the design standards of the community are addressed.

10. *The proposed lot layout and building pads shall conform with all performance standards contained herein.*

The proposed lot layout and building pads conform with all performance standards contained herein, with the exception of requested PUD flexibility for a high-end

development that maximizes the site through the use of clustered single family home development.

11. *The proposed subdivision or lot combination shall not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed.*

The proposed subdivision will not tend to or actually depreciate the values of neighboring properties in the area in which the subdivision or lot combination is proposed. In fact, as noted above, Lake West anticipates that the homes will be valued at a higher market rate than surrounding properties and will help increase property values of homes in the neighborhood.

12. *The proposed subdivision or lot combination shall be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity.*

The proposed subdivision will be accommodated with existing public services, primarily related to transportation and utility systems, and will not overburden the City's service capacity. Lake West is proposing minimal utility infrastructure that will utilize the existing City grid and is not proposing any new transportation facilities.

SUMMARY

We respectfully request approval of a PUD Rezoning and a Preliminary Plat to allow for the construction of six single-family homes on Holdridge Terrace and Wayzata Boulevard. We ask that we be scheduled for consideration at the Planning Commission on May 16, 2016 and City Council on June 7, 2016.

CONTACT INFORMATION

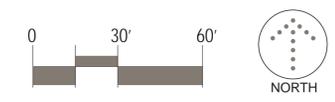
This document was prepared by:

Landform

105 South Fifth Street, Suite 513

Minneapolis, MN 55401

Any additional questions regarding this application can be directed to Reid Schulz at rschulz@landform.net or 612.638.0261.



HOLDRIDGE TOWNHOMES
WAYZETA MINNESOTA



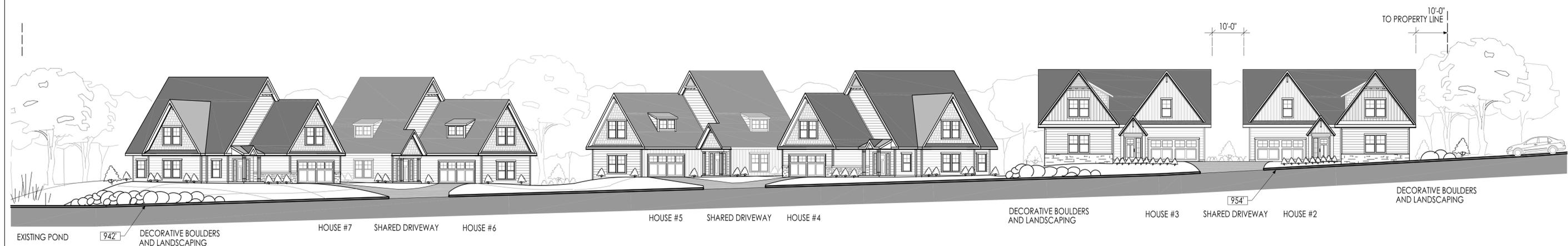
CONCEPT PLAN

4/15/2016



EXISTING STREET
WAYZATA BLVD

REFERENCE PLAN / MASTER PLAN
SCALE: 1/16" = 1'-0" when printed on 22" x 34" paper



VIEW FROM
WAYZATA BLVD

STREET ELEVATION - HOUSES FACING WAYZATA BLVD
SCALE: 1/16" = 1'-0" when printed on 22" x 34" paper

Lake West Development
15400 HIGHWAY 7
Minnetonka, MN 55345
952-930-3000

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www.WellsandCompanyArchitects.com

PROJECT TITLE:
HOLDRIDGE HOMES
A NEW HOUSING DEVELOPMENT
WAYZATA, MN

SHEET TITLE:
HOLDRIDGE HOMES
STREET ELEVATIONS,
WAYZATA BLVD
SCALE: 1/16" = 1'-0"

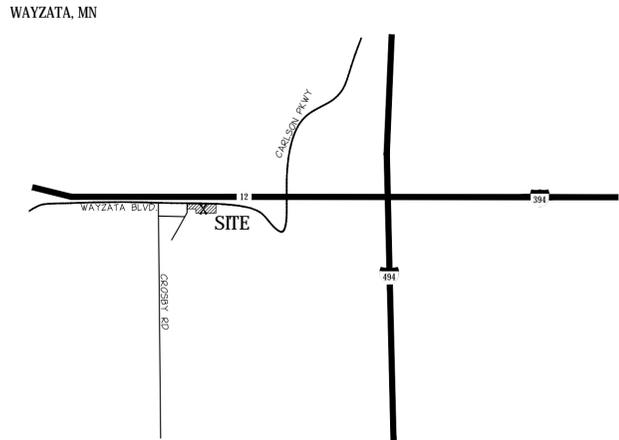
PROJECT #: 02-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota.
signed: *William M. Wells*
William M. Wells, Architect
date: 9-24-2015 reg. no. 49815

SHEET NO:
A1
PC 6/20/2016
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GENERAL NOTE:
THE SITE PLAN AND GRADING SHOWN IS FOR GRAPHIC REFERENCE ONLY. TO SHOW THE DEVELOPER'S DESIGN INTENT. PLEASE SEE THE CIVIL PLANS AND SITE PLANS PREPARED BY LANDFORM FOR EXACT GRADES AND EXACT DIMENSIONS. WELLS & COMPANY ARCHITECTS GIVES ALL CREDIT TO LANDFORM AND LAKE WEST DEVELOPMENT FOR THE DESIGN OF THE PROPOSED HOUSING DEVELOPMENT SHOWN. THESE ARE NOT THE FINAL CONSTRUCTION DOCUMENTS.
- FOR ZONING APPROVAL ONLY -

AREA LOCATION MAP



ABBREVIATIONS

D & @	Angle	L.F.	Linal Feet
100 YR.	100 Year Flood Elevation	L.P.	Low Point / Liquid Petroleum
A.B.	Anchor Bolt	L.B.	Lb.
A.D.	Area Drain	L.G.U.	Local Government Unit
A/C	Ar. Conditioning Unit	LONG.	Longitudinal
ADD.	Addendum	LT.	Light / Lighting
ADDL.	Additional	MAINT.	Maintenance
ADJ.	Adjacent / Adjust	MAS.	Masonry
AHJ	Air Handling Unit	MATL.	Material
ALT.	Alternate	MAX.	Maximum
ALUM.	Aluminum	MECH.	Mechanical
ANOD.	Anodized	MED.	Medium
APPROX.	Approximate	MFR.	Manufacturer
ARCH.	Architect / Architectural	MH	Manhole
AUTO.	Automatic	MNL.	Minimum / Minute
AVG.	Average	MISC.	Miscellaneous
B.C.	Back of Curb	MISS.	Minnesota Department Of Transportation
B/W	Basement Floor Elevation	MOD.	Module / Modular
BFE	Basement Floor Elevation	MUL.	Mullion
BIT	Bituminous (Asphaltic)	N.	North
BLDG	Building	N.I.C.	Not In Contract
BSMT.	Basement	NO. OR #	Number
C.F.	Cubic Feet	NOM	Nominal
C.F.S.	Cubic Feet Per Second	NTS	Not to Scale
C.G.	Corner Guard	NWE	Normal Water Elevation
C.J.	Control Joint	NWL	Normal Water Level
C.L.	Centerline	O.C.	On Center
C.M.U.	Concrete Masonry Unit	O.D.	Outside Dimension
C.O.	Cleanout	O.E.	Overhead Electric
C.O.E.	U.S. Army Corps Of Engineers	OH	Overhead
C.Y.	Cubic Yards	OH/WL	Ordinary High Water Level
CB	Catch Basin	OPNG.	Opening
CBMH	Catch Basin Manhole	ORIG.	Original
CEM.	Cement	P.C.	Point of Curvature
CF	Cast Iron Pipe	P.I.	Point of Intersection
CIP	Corrugated Metal Pipe	P.I.V.	Post Indicator Valve
CONC.	Concrete (Portland)	P.L. OR P/L	Property Line
CONNL	Construction	P.O.B.	Point of Beginning
CONST.	Continuous	P.S.F.	Pounds Per Square Foot
CONTR.	Contractor	P.S.I.	Pounds Per Square Inch
COP.	Copper	P.T.	Point of Tangency
CU.	Cubic	P.V.C.	Point of Vertical Curvature
D.S.	Down Spout	P.V.I.	Point of Vertical Intersection
DEG.	Degree	P.V.T.	Point of Vertical Tangency
DEMO.	Demolition / Demolish	PE	Polyethylene
DEPT.	Department	PEL	Pedestal / Pedestrian
DET.	Detail	PERF.	Perforated
DIAM.	Diameter	PREP.	Preparation
DIAG.	Diagonal	PROJ.	Project
DN	Down	PROP.	Proposed
DWG.	Drawing	PVC	Poly-Vinyl-Chloride (Pppa)
E.	East	PVMT.	Pavement
E.J.	Expansion Joint	QTY.	Quantity
E.O.	Emergency Overflow	R.	Radius
E.O.S.	Emergency Overflow Swole	RAD.	Radius
E.W.	Each Way	R.E.	Rim Elevation (Casting)
EA.	Each	R.D.	Roof Drain
EL	Elevation	R.E.	Remove Existing
EL.EC.	Electrical	R.O.	Rough Opening
ELEV.	Elevation	R.P.	Radius Point
EPR.	Emergency	RCP	Reinforced Concrete Pipe
ENGR.	Engineer	R.S.	Rough Slab
ENTR.	Entrance	RSD	Roof Storm Drain
EQ.	Equal	RE	Regrading
EQIP.	Equipment	RENF.	Reinforced
EQUIV.	Equivalent	REQD	Required
EXIST.	Existing	REV.	Revision / Revised
EXP.	Expansion	REGU.	Regulatory Government Unit
F & I	Furnish and Install	ROW OR R/W	Right of Way
F.B.O.	Furnished by Others	S.	South
F.C.	Face of Curb	S.F.	Square Feet
F.D.	Floor Drain	SAN.	Sanitary Sewer
F.D.C.	Fire Department Connection	SECT.	Section
F.V.	Field Verify	SE	Side Exit
FB	Full Basement	SEWO	Side Exit Walk Out
FBWO	Full Basement Walk Out	SHT.	Sheet
FBLO	Full Basement Look Out	SIM.	Sealant
FDNL	Foundation	SINT.	Sealant
FES	Flared End Section	SPEC.	Specification
FFE	Finished Floor Elevation	SQ.	Square
FLR.	Floor	SSD	Subsurface drain
FLR. OR ()	Floor	STMH	Storm Sever Manhole
FUT.	Future	STD.	Standard
G.B.	Grade Break	STRUCT.	Structural
G.C.	General Contractor	SYM.	Symmetrical
GAL.	Gallon	T	Thickness
GALV.	Galvanized	T/R	Top of Rim
GFE	Garage Floor Elevation	T/W	Top of Wall
GL.	Glass	TEMP.	Temporary
GR.	Grade	THK.	Thick Thickness
H.	Height	T.J.	Tooled Joint
H.P.	High Point	TNH	Top Nut Hydrant
HDPEP	High Density Polyethylene Pipe	TYP.	Typical
HGT.	Height	UNL.	Unless Noted Otherwise
HORIZ.	Horizontal	V.B.	Vapor Barrier
HVAC	Heating, Ventilation, Air Conditioning	V.C.	Vertical Curve
HYD	Hydrant	V.I.F.	Verify In Field
ID.	Inside Dimension	VER.	Verify
IE. or IE	Invert Elevation	VERT.	Vertical
IN. OR ()	Inches	VEST.	Vestibule
INFO.	Information	W.	Width
INSUL.	Insulation	W.P.T.	Working Point
INV.	Invert Elevation	W.W.F.	Welded Wire Fabric
IT.	Joint	W.	Width
		W/O	Without
		WO	Walk Out
		WESTL.	Westland
		WP	Waterproof
		WT.	Weight
		YD.	Yard
		YR.	Year

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY / OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	STORM SEWER LINE		GUARD RAIL
	SANITARY SEWER LINE		CONCRETE RETAINING WALL
	WATER MAIN		MODULAR RETAINING WALL
	OVERHEAD ELECTRIC		FIELDSTONE RETAINING WALL
	UNDERGROUND TELEPHONE		EXIT LOCATION
	UNDERGROUND ELECTRIC		LIGHT STANDARD
	GAS LINE		POWER POLE
	CONCRETE CURB		SLOPE DIRECTION
	FENCING		CATCH BASIN
	RETAINING WALL		MANHOLE
	SET 1/2" X 14" IRON PIPE		BOLLARD
	IRON MONUMENT FOUND		FORCE MAIN
	SURVEY DISK (BENCHMARK)		ROOF DRAIN SYSTEM
	POWERPOLE		GATE VALVE
	GUY WIRE		WATERMAN
	GUARD POST		FIRE LINE (IF SEPARATE)
	GAS METER		FIRE DEPT. CONNECTION
	TRANSFORMER		SOIL SUBDRAIN
	WATER SHUT-OFF VALVE		GAS LINE-UNDERGROUND
	TRAFFIC SIGN		ELECTRIC-UNDERGROUND
	FLAG POLE		TELEPHONE-UNDERGROUND
	LIGHT POLE		UNDERGROUND CABLE/TV
	TREES		LAWN SPRINKLER SLEEVE
	TREE LINE		
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MALBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLAT		
	SOL BORING		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SEDIMENT CONTROL FENCE
	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION

LOT 3, BLOCK 1, FRETHER 17TH ADDITION
 OUTLOT A, BLOCK 1, FRETHER 17TH ADDITION

OWNER

LAKE WEST DEVELOPMENT CO., LLC.
 15400 HIGHWAY 7
 MINNETONKA, MN 55345
 TEL 952-930-3000
 CONTACT: CURT FRETHER

PROJECT CONTACTS

<p>CIVIL ENGINEER LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 FAX 612-252-9077 CONTACT: REID SCHULZ</p>	<p>SURVEYOR LANDFORM 105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 FAX 612-252-9077 CONTACT: ERIC LINDREN</p>
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LANDSCAPE ARCHITECT
LANDFORM
 105 SOUTH FIFTH AVENUE, SUITE 513
 MINNEAPOLIS, MN 55401
 TEL 612-252-9070
 FAX 612-252-9077
 CONTACT: DANIELLE PIERQUET

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX

SHEETS ISSUED BY ISSUE / REVISION DATE		NO. OF SHEETS	NO. OF REVISIONS
SHEET NO.	DESCRIPTION		
C0.1	CIVIL & LANDSCAPE TITLE SHEET	X	X
C0.2	PRELIMINARY PLAT	X	X
C1.1	EXISTING CONDITIONS	X	X
C2.1	SITE PLAN	X	X
C2.2	WETLAND BUFFER PLAN	X	X
C3.1	GRADING & EROSION CONTROL	X	X
C3.2	SWPPP NOTES	X	X
C4.1	UTILITIES	X	X
C7.1	CIVIL CONSTRUCTION DETAILS	X	X
C7.2	CIVIL CONSTRUCTION DETAILS	X	X
L1.1	TREE PRESERVATION PLAN	X	X
L2.1	LANDSCAPE PLAN		

SITE / UTILITY CONTACTS

<p>CITY PLANNER CITY OF WAYZATA 600 RICE STREET E WAYZATA, MN 55391 TEL: 952-404-5312 FAX:</p>	<p>CITY ENGINEER CITY OF WAYZATA 299 WAYZATA BOULEVARD W WAYZATA, MN 55393 TEL: 952-4004-5316 FAX:</p>
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DEVELOPER

LAKE WEST DEVELOPMENT CO., LLC.
 15400 HIGHWAY 7
 MINNETONKA, MN 55345
 TEL (952)930-3000

MUNICIPALITY



PROJECT

HOLDRIDGE HOMES
 WAYZATA, MN

SHEET INDEX

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C3.2	SWPPP NOTES
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN

ISSUE / REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY			
DATE	ISSUE / REVISION	REVIEW	
04 SEPT. 2015	PRELIMINARY PLAT		RHS
11 DEC. 2015	CITY COMMENTS		RHS
16 FEB. 2016	CITY COMMENTS		RHS
04 APR. 2016	CITY COMMENTS		RHS

PROJECT MANAGER REVIEW

BY RTS DATE 04-14-16

CERTIFICATION

PRELIMINARY
NOT FOR
CONSTRUCTION

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PRELIMINARY PLAT RESUBMITTAL
 04-15-2016



105 South Fifth Avenue Tel: 612-252-9070
 Suite 513 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

FILE NAME C0011WD15008.DWG

PROJECT NO. LWD15008

TITLE SHEET

C0.1



HOLDRIDGE HOMES

WAYZATA, MN

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN

ISSUE / REVISION HISTORY

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4 SEPT. 2015	PRELIMINARY PLAT	RHS
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16 FEB. 2016	CITY COMMENTS	RHS
04 APR. 2016	CITY COMMENTS	RHS

PROJECT MANAGER REVIEW

BY RJS DATE 04-14-16

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PRELIMINARY PLAT

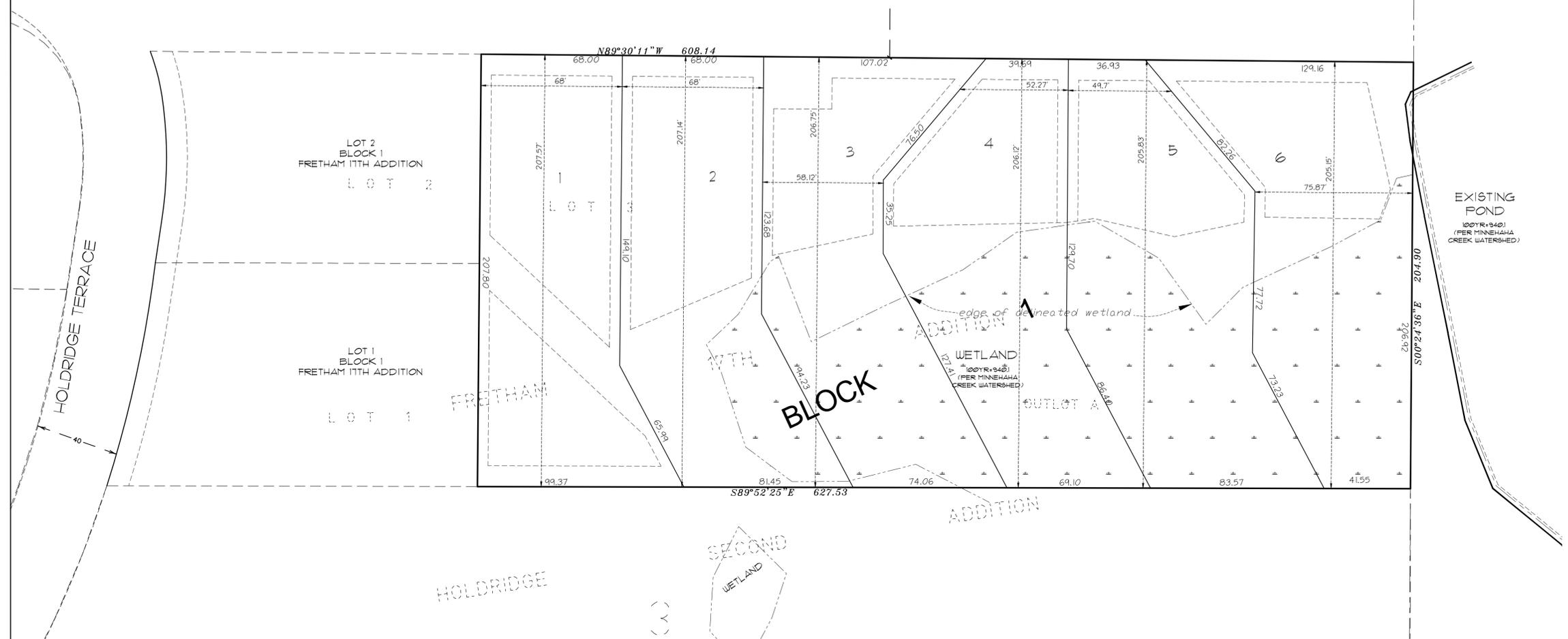
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DATE: 04/15/2016 2/12

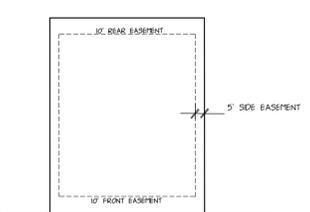
INTERSTATE 394

WAYZATA BLVD.

ROW (VARIES)



TYPICAL EASEMENTS

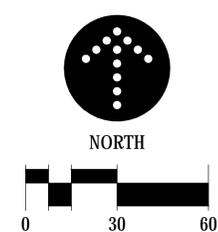


LEGAL DESCRIPTION

LOT 3, BLOCK 1, FRETHAM 17TH ADDITION
OUTLOT A, BLOCK 1, FRETHAM 17TH ADDITION

AREA SUMMARY

TOTAL GROSS AREA = 2.13 AC
• WETLAND AREA = .78 ACRE
NET AREA = 1.35
TOTAL SINGLE FAMILY LOTS = 6 UNITS
GROSS DENSITY = 2.82 UNITS/AC
NET DENSITY = 4.44 UNITS/AC





HOLDRIDGE HOMES

WAYZATA, MN

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PRELIMINARY PLAT RESUBMITTAL
04-15-2016



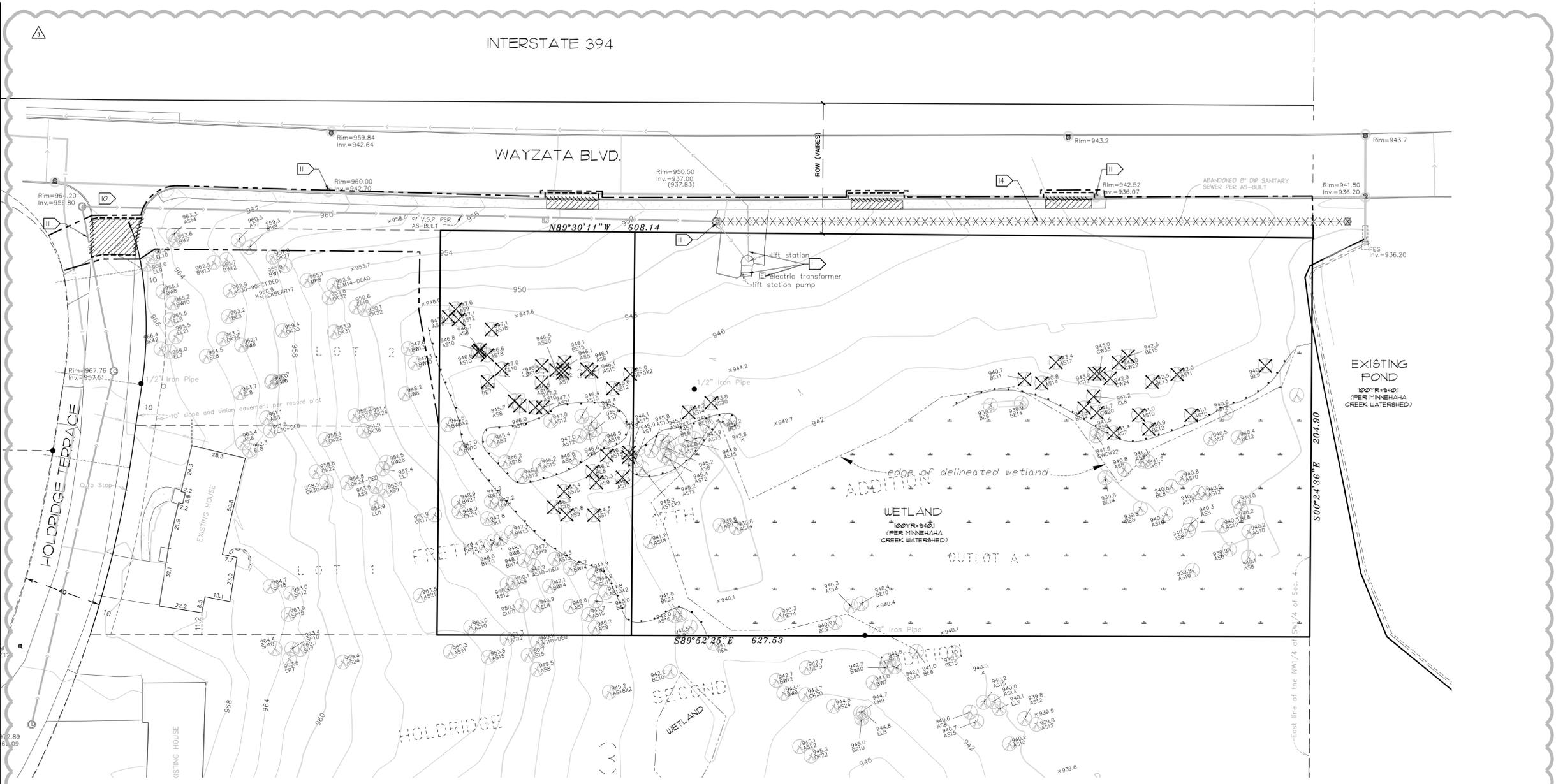
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Web: landform.net

FILE NAME: C1011WD15008.DWG
PROJECT NO.: LWD15008

EXISTING CONDITIONS AND DEMOLITION
C1.1

INTERSTATE 394

WAYZATA BLVD.



EXISTING CONDITIONS

1. BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY ACRE LAND SURVEYING BLAINE, MN. ON XXXXX, XXXXX, EXPRESSLY FOR THIS PROJECT, CITY OF WAYZATA, MINNESOTA RECORD DRAWINGS, AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

DEMOLITION AND CLEARING NOTES

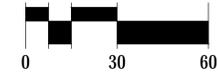
- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- BUILDING DEMOLITION: VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL. REMOVE STRUCTURE, COLUMNS, CANOPIES, FOOTINGS, FOUNDATIONS, AND ANY ASSOCIATED CONSTRUCTION IN ITS ENTIRETY.
- DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- REFER TO DETAILS FOR PAVEMENT SAWCUT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- ABANDON WELLS AND ON-SITE SEWAGE FACILITIES PRIOR TO ANY OTHER DEMOLITION IN ACCORDANCE WITH REQUIREMENTS OF REGULATORY AUTHORITIES.

DEMOLITION AND CLEARING NOTES

- REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING.
- REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
- HALL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.
- CUT AND CAP EXISTING UTILITY SERVICES AT R.O.W. LINE

LEGEND

- Tree Removal
- Tree Fence
- Construction Limits
- Sawcut Line
- Structure and/or Pavement Removal
- Curb Removal
- Pipe Removal





HOLDRIDGE HOMES
WAYZATA, MN

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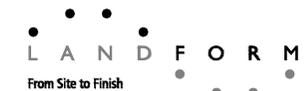
BY	DATE
RES	04/14/16

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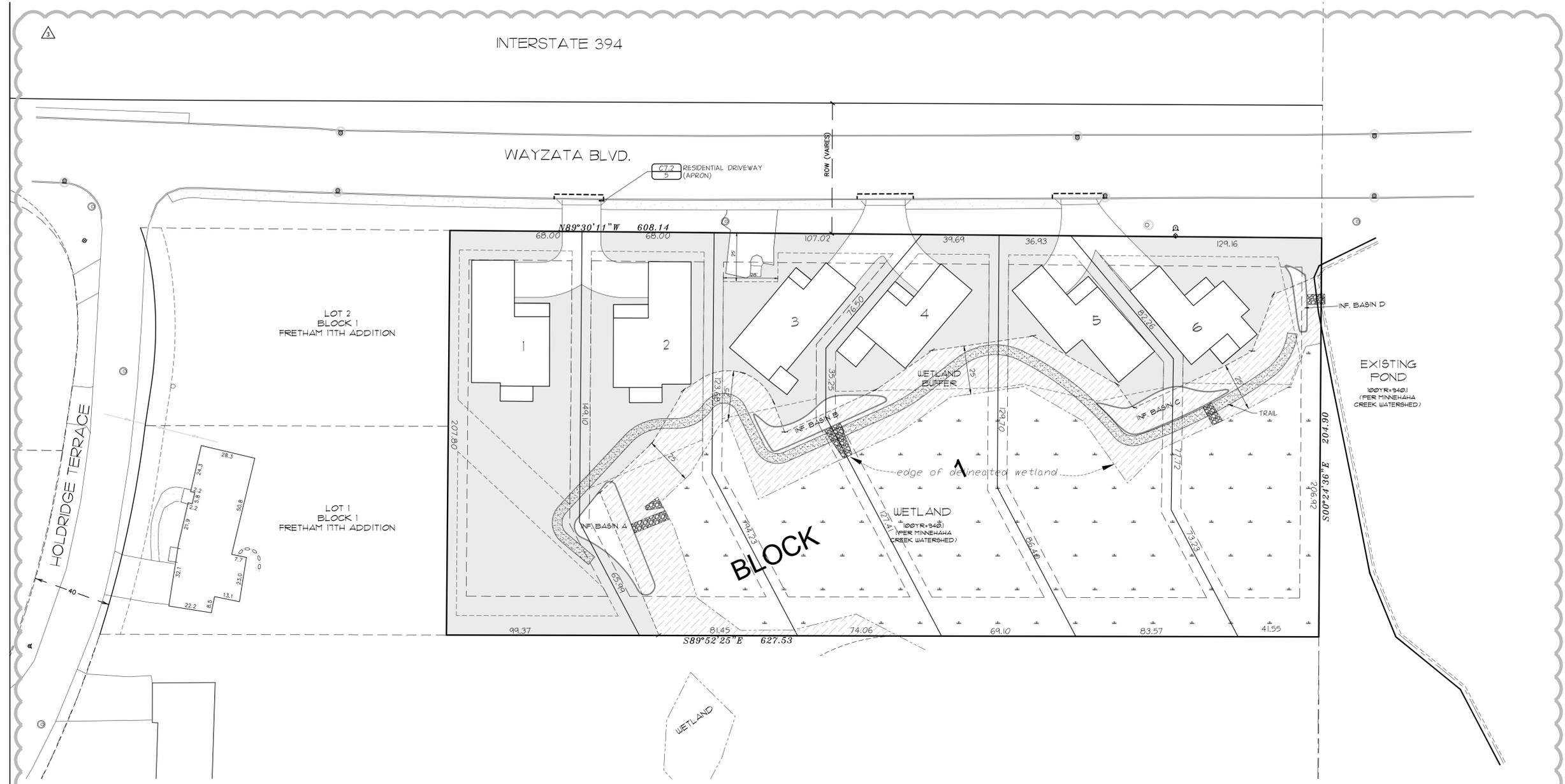
PRELIMINARY PLAT RESUBMITTAL
04-15-2016



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FILE NAME: C002LWD15008.DWG
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SITE PLAN
C2.1



SITE PLAN NOTES

- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER, THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING FOUNDATION UNLESS NOTED OTHERWISE.

- GREEN SPACE (LANDSCAPE AREA)
- WETLAND BUFFER
- 4' WIDE WOOD CHIP TRAIL

AREA SUMMARY

TOTAL GROSS AREA = 2.13 AC
• WETLAND AREA = .78 ACRE
NET AREA = 1.35

TOTAL SINGLE FAMILY LOTS = 6 UNITS
GROSS DENSITY = 2.82 UNITS/AC
NET DENSITY = 4.44 UNITS/AC

LOT SUMMARY

PARCEL ID:	PARCEL SIZE:	IMPERVIOUSNESS	PROPOSED ZONING:
LOT 1	15,029 S.F.	3,058 S.F.	PUD
LOT 2	15,037 S.F.	3,058 S.F.	PUD
LOT 3	15,018 S.F.	2,628 S.F.	PUD
LOT 4	15,000 S.F.	2,081 S.F.	PUD
LOT 5	16,398 S.F.	2,334 S.F.	PUD
LOT 6	16,159 S.F.	2,340 S.F.	PUD

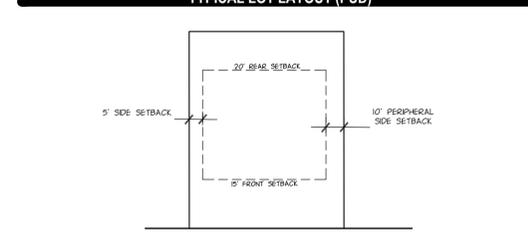
ZONING SUMMARY

THE PROPERTY IS CURRENTLY ZONED (R-2) MEDIUM DENSITY SINGLE FAMILY. THE PROPERTY IS BEING REZONED TO PUD.

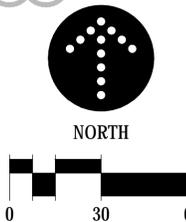
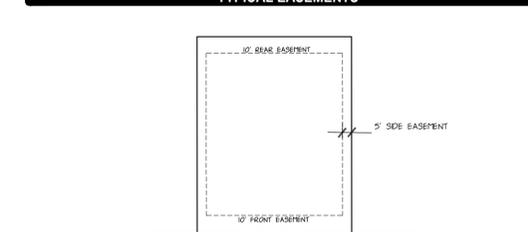
LOT COVERAGE INFORMATION IS AS FOLLOWS
LOT AREA MINIMUM = 15,000 S.F. = .33 ACRE
LOT WIDTH MINIMUM = 100 FT
LOT DEPTH MINIMUM = 100 FT
MAX. IMPERVIOUS COVERAGE = 30%

BUILDING SETBACK INFORMATION IS AS FOLLOWS (PUD)
FONT YARD = 15 FT.
REAR = 20 FT.
PERIPHERAL SIDE = 10 FT.
COMMON LOT LINE SIDE = 5 FT

TYPICAL LOT LAYOUT (PUD)

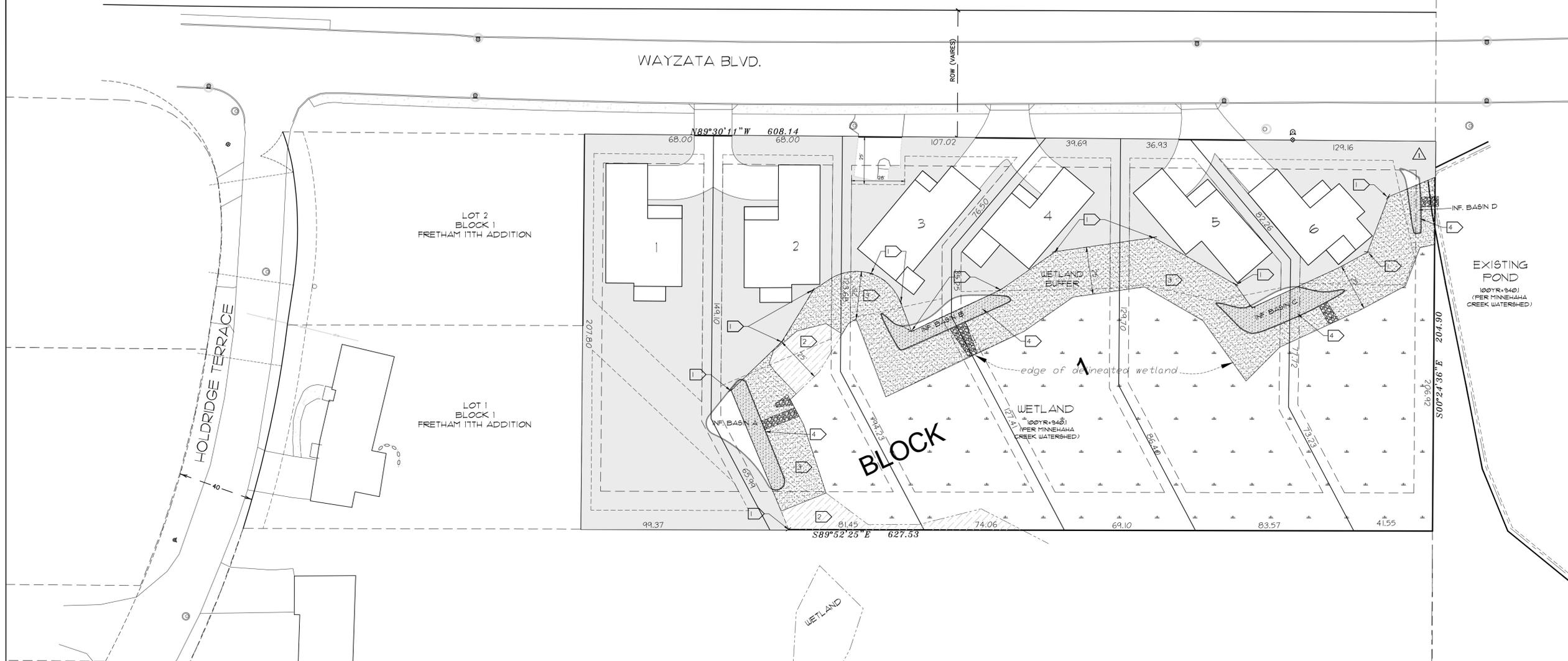


TYPICAL EASEMENTS



INTERSTATE 394

WAYZATA BLVD.



DEVELOPER

LAKE WEST DEVELOPMENT CO., LLC.

15400 HIGHWAY 7
MINNETONKA, MN 55345
TEL. (952)930-3000

MUNICIPALITY



PROJECT

**HOLDRIDGE
HOMES
WAYZATA, MN**

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BY RJS DATE 04/14/16

CERTIFICATION

WETLAND INFORMATION

WETLAND - TYPE: MANAGE 2

APPLIED BUFFER WIDTH = 25 FEET (WAYZATA STORMWATER MANAGEMENT PLAN 4.2.2.6)
APPLIED BUFFER WIDTH PROVIDED = 25 FEET

- 1 WETLAND BUFFER SIGN, SEE DETAIL 2; SHEET 7.2 (13 SIGNS TOTAL)
- 2 AREA NOT AFFECTED BY SITE GRADING
- 3 FOR WETLAND BUFFER AREA FALLING OUT OF THE INFILTRATION BASINS, SEED MIX 34-261 RIPARIAN SOUTH AND WEST - USE DOUBLE THE RATE OF GRASSES, SEDGES/RUSHES AND FORBS
- 4 FOR WETLAND BUFFER AREA FALLING INSIDE THE INFILTRATION BASINS, SEED MIX 33-261 STORMWATER SOUTH AND WEST - USE DOUBLE THE RATE OF GRASSES, SEDGES/RUSHES AND FORBS

NATIVE SEED AREA NOTES

CONTRACTOR IS TO AVOID COMPACTING SOILS ASSOCIATED TO PROPOSED INFILTRATION BASIN AREA. IF COMPACTION HAS OCCURRED CONTRACTOR IS TO RIP AREAS TO A DEPTH OF 18" AND TILL IN 6" OF ORGANIC COMPOST PRIOR TO ANY PLANTINGS.

CONTRACTOR IS TO MAINTAIN INFILTRATION BASIN AREA FREE FROM WEEDS AND OTHER INVASIVE PLANT MATERIAL.

LANDSCAPE ARCHITECT WILL INSPECT CONDITION OF INFILTRATION BASIN UPON COMPLETION OF INSTALLATION AND GIVE WRITTEN PROVISIONAL ACCEPTANCE. FOLLOWING ONE YEAR WARRANTY PERIOD, LANDSCAPE ARCHITECT WILL INSPECT INFILTRATION BASIN AREA FOR FINAL ACCEPTANCE. INSPECTION WILL INCLUDE OVERALL CONDITION OF PLANTINGS, INDICATION OF ANY WEEDS, AND MONITORING OF ANY SEDIMENTATION. FINAL ACCEPTANCE WILL BE OFFERED TO CONTRACTOR AFTER ANY COMMENTS ARE ADDRESSED UPON THIS INSPECTION.

CONTRACTOR IS RESPONSIBLE TO MONITOR AND CONTROL SEDIMENTATION IN PRE-TREATMENT AREAS (TURF) AND IN INFILTRATION BASIN FOR TWO FULL YEARS.

CONTRACTOR IS RESPONSIBLE TO MONITOR MOISTURE IN ALL INFILTRATION BASIN AREAS FOR TWO FULL YEARS. CONTRACTOR IS TO SUPPLEMENT WATER IF THERE IS INSUFFICIENT RAINFALL PER WEEK (ONE INCH PER WEEK).

BASIN AND WETLAND BUFFER AREAS ARE TO RECEIVE 4" DEPTH OF PLANTING SOIL. PLANTING SOIL IS TO CONSIST OF 20% ORGANIC MATERIAL, 50% SANDY SOIL, AND 30% TOPSOIL. CLAY CAN BE PRESENT TO A MAXIMUM OF 10% OF OVERALL MIX.

SEED MIXES SHALL BE PREPARED AND INSTALLED AT DOUBLE THE BWSR RECOMMENDED RATE TO COMPLY WITH LOCAL CODE. GRASSES, SEDGES/RUSHES AND FORBS SHALL BE AT MINIMUM 12 LBS/ACRE OF PURE LIVE SEED. COVER CROP SHALL BE PER BWSR RECOMMENDED RATE, BUT NOT LESS THAN 20 PLS/ACRE.

ITEMS NOT COVERED IN THESE SPECS SHALL BE GOVERNED BY THE MNDOT SEEDING MANUAL, CURRENT EDITION. THIS INCLUDES PREPARATION, SEQUENCING, ESTABLISHMENT AND MAINTENANCE OF NATIVE SEED AREAS.

EARLY MAINTENANCE AND EVALUATION OF NATIVE GRASS

1. YEAR 1

- A. ESTABLISHMENT (SPRING SEEDING):
 - 1. PREPARE SITE - LATE APRIL-MAY.
 - 2. SEED - MAY 1-JULY 1
- B. MAINTENANCE:
 - 1. MOW (6-10 INCHES)-JULY 15-AUGUST 15
 - 2. MOW- SEPTEMBER 1 (OPTIONAL).
 - 3. WEED CONTROL- MOW TO KEEP ANNUAL WEEDS DOWN, SPOT SPRAY THISTLES.
 - 4. COMPLETE MOWING WHEN ANNUAL WEEDS ARE NO TALLER THAN TWO FEET.
 - 5. MOWING HEIGHT TO BE SIX TO TEN INCHES.
- C. ESTABLISHMENT (FALL SEEDING):
 - 1. PREPARE SITE - LATE AUGUST-EARLY SEPTEMBER.
 - 2. SEED-LATE SEPTEMBER TO FREEZE.
- D. MAINTENANCE (FOLLOWING SEASON):
 - 1. MOW (6-10 INCHES)- JUNE 15-AUGUST 15.
 - 2. MOW -SEPTEMBER 1 (OPTIONAL).
 - 3. WEED CONTROL- MOW TO KEEP ANNUAL WEEDS DOWN, SPOT SPRAY THISTLES.
 - 4. COMPLETE MOWING WHEN ANNUAL WEEDS ARE NO TALLER THAN TWO FEET.
 - 5. MOWING HEIGHT TO BE SIX TO TEN INCHES.
- E. EVALUATION:
 - 1. COVER CROP GROWING WITHIN 2 WEEKS OF PLANTING (EXCEPT DORMANT SEEDLINGS).
 - 2. SEEDLINGS SPACED 1-6 INCHES APART IN DRILL ROWS.
 - 3. NATIVE GRASS SEEDLINGS MAY ONLY BE 4-6 INCHES TALL.
 - 4. IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL REED CANARY GRASS, PURPLE LOOSESTRIPE, COMMON BUCKTHORN ETC., MOW SITE.

2. YEAR 2

- A. MAINTENANCE:
 - 1. MOW (6-10 INCHES) - JUNE 1-AUGUST 15.
 - 2. MOW - SEPTEMBER 1 (OPTIONAL).
 - 3. WEED CONTROL- MOW TO KEEP ANNUAL WEEDS DOWN, SPOT SPRAY THISTLES.
 - 4. SITE MAINTENANCE MAY BE MINIMAL THE SECOND YEAR. FIELD VERIFY AND REPORT TO OWNER.
- B. EVALUATION:
 - 1. COVER CROP WILL BE GONE UNLESS WINTER WHEAT WAS USED IN A FALL PLANTING.
 - 2. GRASSES FORMING CLUMPS 1-6 INCHES APART IN DRILL ROWS, BUT STILL SHORT.
 - 3. SOME FLOWERS SHOULD BE BLOOMING.
 - 4. IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL, REED CANARY GRASS, PURPLE LOOSESTRIPE, COMMON BUCKTHORN ETC., MOW SITE.

3. YEAR 3

- A. MAINTENANCE:
 - 1. MOW ONLY IF NECESSARY FOR ANNUAL WEED CONTROL, SPOT SPRAY THISTLES.
 - 2. SITE MAINTENANCE IS LIKELY MINIMAL THE THIRD YEAR. FIELD VERIFY AND REPORT TO OWNER.
- B. EVALUATION:
 - 1. PLANTING SHOULD BEGIN LOOKING LIKE A PRAIRIE- TALL GRASSES, FLOWERS ETC.
- 4. YEAR 4&5
ONGOING MAINTENANCE, EVALUATION, AND CORRECTIVE ACTIONS AS DESCRIBED IN THE YEAR 3 MANAGEMENT PLAN.
- A. WILL CONTINUE.
- 5. LONG TERM MAINTENANCE:
 - 1. MOWING- NOT NECESSARY OR ONLY OCCASIONALLY.
 - 2. WEED CONTROL- SPOT SPRAY THISTLES.
 - 3. BURNING (3-5 YEAR ROTATION) ALTERNATE SPRING AND FALL IF POSSIBLE. CONFIRM WITH CITY OFFICIALS PRIOR TO ANY MAINTENANCE REGIME INVOLVING BURNING.

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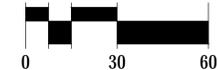
WETLAND PLAN

C2.2

DATE PLOTTED 5/12



Know what's Below.
Call before you dig.





HOLDRIDGE HOMES
WAYZATA, MN

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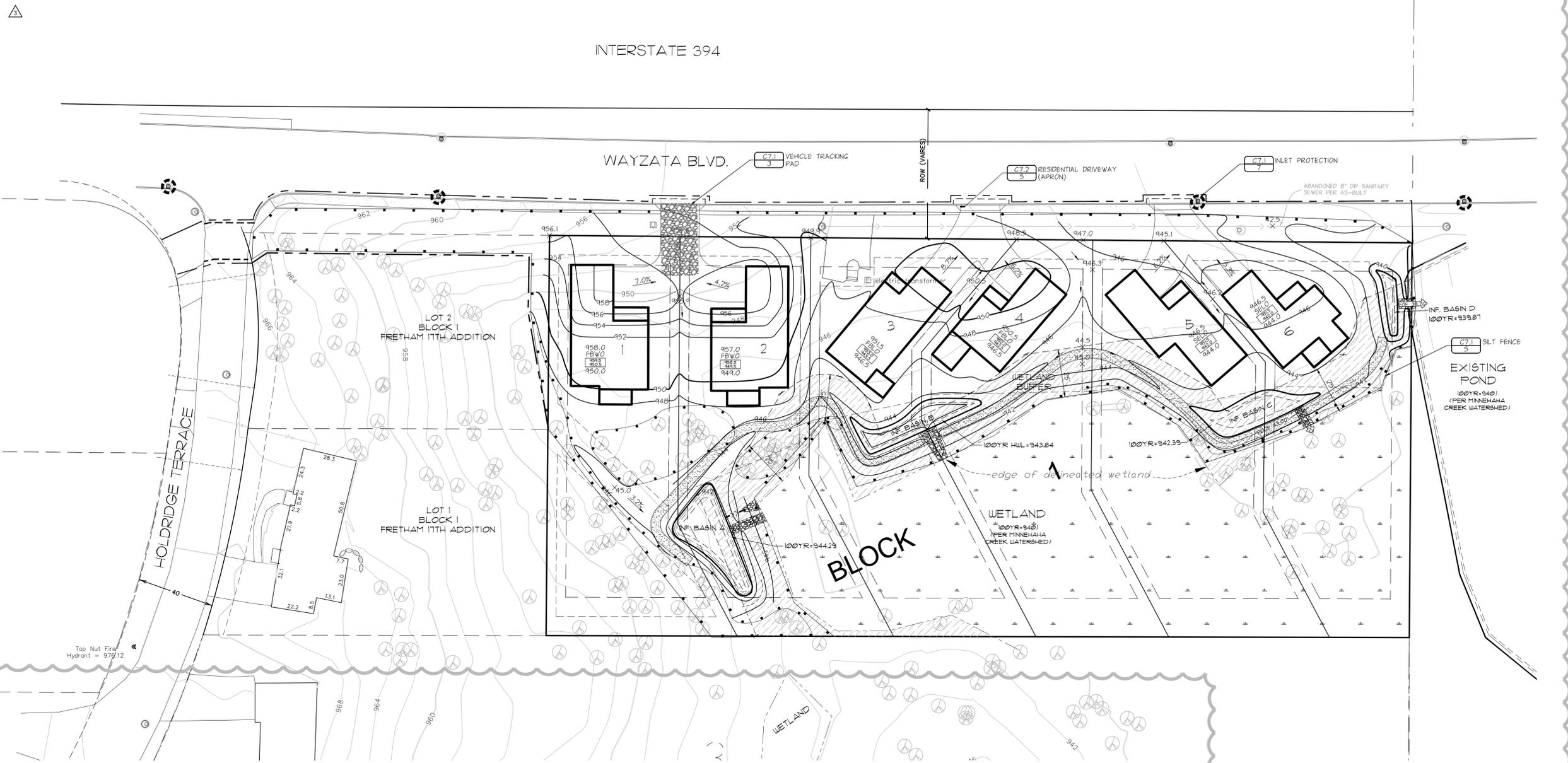
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PROJECT NO. LWD15008

GRADING, DRAINAGE AND EROSION CONTROL
C3.1
DATE: 04/15/2016 6:12



GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
 - REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
 - REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
 - REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
 - AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
 - PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
 - COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.
- LOT TO BE CUSTOM GRADED BY HOMEOWNER

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY:
	INLET PROTECTION	
	SILT FENCE	
	VEHICLE TRACKING PAD	
	CONSTRUCTION LIMITS	
	SAWCUT LINE	
	TREE PROTECTION FENCING	

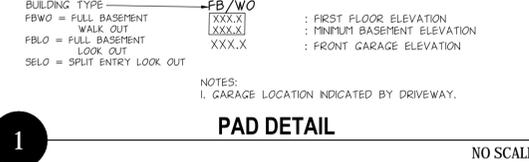
EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
- LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- CONTRACTOR SHALL PREVENT SEDIMENT LADEN WATER FROM ENTERING THE INFILTRATION SYSTEM UNTIL THE SITE IS COMPLETELY STABILIZED.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA. (IF WITHIN 1 MILE OF TREATED WATER USE THE FOLLOWING NOTE INSTEAD) ALL EXPOSED SOILS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED:

SEED	TERI	SOD	SEED	SPECIFICATION NUMBER
				MNDOT 3878
				MNDOT 3876

MN TYPE 22-III @ 30.5 LB/AC - TEMPORARY EROSION CONTROL
 MN TYPE 25-151 @ 120 LB/AC - PERMANENT TURF
 MULCH (MNDOT TYPE 1 @ 2 TON/AC, DISC ANCHORED) MNDOT 3882
 FERTILIZER (MNDOT 388) MNDOT 2575
- SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
- HYDRAULIC MULCHING AND OTHER PRACTICES MUST BE USED ON SLOPES OF 3:1 OR STEEPER TO PROVIDE ADEQUATE STABILIZATION.
- AT LEAST SIX INCHES OF TOPSOIL OR ORGANIC MATTER MUST BE SPREAD AND INCORPORATED INTO THE UNDERLYING SOIL DURING FINAL SITE TREATMENT WHEREVER TOPSOIL HAS BEEN REMOVED.
- THE CONTRACTOR MUST, AT A MINIMUM INSPECT, MAINTAIN, AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, THE CONTRACTOR MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED.

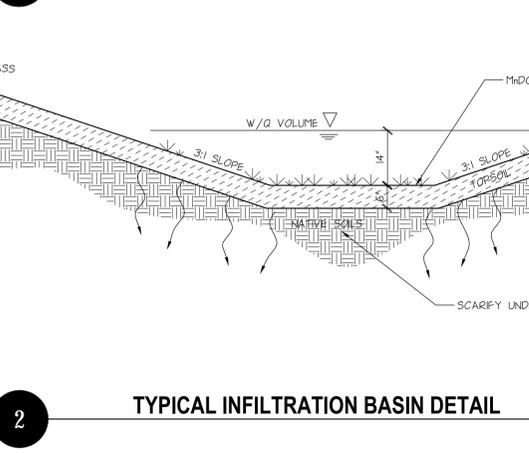
PAD DETAIL



LOT GRADE ALTERATION

Lot #	Size (Sq. Ft)	Fill (Cu. Yds)	Fill (Cu. Ft)	Total Alteration
1	14,115	966	26,082	+1.93 Ft
2	14,115	957	25,839	+1.83 Ft
3	12,794	700	18,900	+1.47 Ft
4	16,497	827	22,329	+1.35 Ft
5	17,835	587	15,849	+0.89 Ft
6	17,314	397	10,719	+0.62 Ft

TYPICAL INFILTRATION BASIN DETAIL



811
Know what's Below.
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HOLDRIDGE HOMES
WAYZATA, MN

SHEET	TITLE
CO.1	CIVIL TITLE SHEET
CO.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN

ISSUE / REVISION HISTORY

CONTACT ENGINEER FOR ANY PRIOR HISTORY			
DATE	ISSUE / REVISION		REVIEW
4 SEPT. 2015	PRELIMINARY PLAT		RHS
11 DEC. 2015	CITY COMMENTS	△	RHS
16 FEB. 2016	CITY COMMENTS	△	RHS
04 APR. 2016	CITY COMMENTS	△	RHS

PROJECT MANAGER REVIEW

BY	DATE
BY ITS	DATE 04-14-16

CERTIFICATION

**PRELIMINARY
NOT FOR
CONSTRUCTION**

IF THE SCENARIO, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT RESUBMITTAL
04-15-2016



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C302LWD15008

PROJECT NO. LWD15008

STORMWATER POLLUTION PREVENTION PLAN

C3.2

NPDES PERMIT AND SWPPP COMPONENTS

1. THE CURRENT MN NPDES PERMIT DATED AUGUST 1, 2013 IS REFERENCED IN THIS DOCUMENT AS THE PERMIT.

THE SWPPP INCLUDES THE FOLLOWING COMPONENTS:

- CONSTRUCTION DOCUMENTS PREPARED BY LANDFORM
- STORMWATER MANAGEMENT PLAN/NARRATIVE

SITE EVALUATION/ASSESSMENT/PLANNING

CONTACT INFORMATION/RESPONSIBLE PARTIES

1. THE OPERATOR SHALL HAVE PRIMARY RESPONSIBILITY AND SIGNIFICANT AUTHORITY FOR THE DEVELOPMENT, IMPLEMENTATION, MAINTENANCE, INSPECTION AND AMENDMENTS TO THE APPROVED SWPPP. DUTIES INCLUDE BUT ARE NOT LIMITED TO:
 - ENSURING FULL COMPLIANCE WITH THE SWPPP AND THE PERMIT
 - IMPLEMENTING ALL ELEMENTS OF THE SWPPP, INCLUDING BUT NOT LIMITED TO:
 - IMPLEMENTING PROMPT AND EFFECTIVE EROSION AND SEDIMENT CONTROL MEASURES
 - IMPLEMENTING ALL NON-STORM WATER MANAGEMENT, AND GOOD HOUSEKEEPING BMPs ENSURING THAT NO MATERIALS OTHER THAN STORM WATER ARE DISCHARGED IN QUANTITIES, WHICH WILL HAVE AN ADVERSE EFFECT ON RECEIVING WATERS OR STORM DRAIN SYSTEMS, ETC.
 - CONDUCTING ROUTINE INSPECTIONS AND MAINTENANCE
 - ENSURING ELIMINATION OF ALL UNAUTHORIZED DISCHARGES
 - COORDINATING TO ASSURE ALL OF THE NECESSARY CORRECTIONS/REPAIRS ARE MADE IMMEDIATELY, AND THAT THE PROJECT COMPLES WITH THE SWPPP, THE PERMIT, AND APPROVED PLANS AT ALL TIMES.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

1. OWNER/OPERATOR MUST DEVELOP POLLUTION PREVENTION MANAGEMENT MEASURES, IMPLEMENT GOOD HOUSEKEEPING BMPs, MUST FOLLOW ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND THE GENERAL CONDITIONS AND GENERAL REQUIREMENTS OF THE CONSTRUCTION CONTRACT.
2. THE OPERATOR SHALL MINIMIZE THE EXPOSURE TO STORMWATER OF ANY OF THE PRODUCTS, MATERIAL, OR WASTES STORED ON SITE.
3. BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER.
4. CHEMICALS AND LANDSCAPE MATERIALS SHALL BE UNDER COVER TO PREVENT THE DISCHARGE OF POLLUTANTS.
5. OPERATOR TO TRACK PROGRESS OF THE FOLLOWING ITEMS ON SITE MAPS:
 - PORTABLE TOILETS
 - MATERIAL STORAGE AREAS
 - VEHICLE AND EQUIPMENT FUELING AND MAINTENANCE AREAS
 - CONCRETE WASHOUTS
 - PAINT AND STUCCO WASHOUTS
 - DUMPSTERS OR OTHER TRASH AND DEBRIS CONTAINERS
 - SPILL KITS
 - STOCKPILES
 - ANY OTHER NON-STRUCTURAL NON-STORM WATER MANAGEMENT BMPs
 - ANY TEMPORARILY REMOVED STRUCTURAL BMPs
 - ANY CHANGES TO THE STRUCTURAL BMPs
6. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
7. HAZARDOUS WASTE: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE OR MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
8. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER.
9. CONCRETE AND OTHER WASHOUT WASTE: OPERATOR MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THE CONTAINMENT MUST BE DESIGNED SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA RULES. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASHOUT WASTES.
10. EXTERNAL VEHICLE WASHING: EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE.

SWPPP CONTACT AND TRAINING INFORMATION

1. OWNER:
LAKE WEST DEVELOPMENT CO. LLC.
ATTN: CURT FRETHERM
14525 HIGHWAY 7,
SUITE 265
MINNETONKA, MN 55345
952-930-3000
CURTF@LWESTDEV.COM
2. OPERATOR:
TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR IS SELECTED.
3. LONG TERM MAINTENANCE AND OPERATION:
TO BE DETERMINED. CONTACT OWNER UNTIL HOA IS SELECTED.
4. SWPPP DESIGNER:
CHRIS CALL, P.E.
LANDFORM PROFESSIONAL SERVICES
105 SOUTH FIFTH AVENUE, SUITE 513
MINNEAPOLIS, MN 55401
612-252-9070
CCALL@LANDFORM.NET
CERTIFICATION U OF MN, DESIGN OF CONSTRUCTION SWPPP, EXP. MAY 31, 2016
5. SWPPP INSPECTOR/MANAGER:
TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR AND SWPPP INSPECTOR/MANAGER IS SELECTED.
NAME: _____
CERTIFICATION: _____ EXP. _____
6. BMP INSTALLATION AND REPAIR:
TO BE DETERMINED. CONTACT OWNER UNTIL BMP INSTALLER AND MAINTAINER IS SELECTED.
NAME: _____
CERTIFICATION: _____ EXP. _____

DESCRIPTION OF CONSTRUCTION ACTIVITY

1. CONSTRUCTION ACTIVITY INCLUDES EROSION AND SEDIMENT CONTROL BMPs INSTALLATION, CLEARING AND GRUBBING, SITE GRADING, UTILITY INSTALLATION, BUILDING CONSTRUCTION, PAVING, AND LANDSCAPING.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

1. INSTALL PERIMETER SEDIMENT CONTROL BMPs PRIOR TO START OF OTHER SITE WORK. REFER TO GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEET(S) FOR INITIAL LOCATIONS OF BMPs.
2. PROTECT INFILTRATION AREAS WITH CONSTRUCTION FENCING.
3. CONSTRUCT TEMPORARY/PERMANENT SEDIMENTATION BASINS PRIOR TO UPLAND DISTURBANCE. INSTALL PERIMETER SEDIMENT CONTROL BMPs AROUND NORMAL WATER LEVEL.
4. STABILIZE OUTLETS FROM TEMPORARY/PERMANENT SEDIMENTATION BASINS.
5. PERFORM WORK IN PHASES TO MINIMIZE DISTURBED AREA AT ANY ONE TIME.
6. STRIP TOPSOIL FROM AREAS TO BE DISTURBED AND STOCKPILE WITH PERIMETER SEDIMENT CONTROL BMPs. PROVIDE STABILIZATION IF LEFT LONGER THAN 14 DAYS.
7. ROUGH GRADE SITE.
8. INSTALL UTILITIES.
9. FINAL GRADE PAVEMENT AREAS AND COMPACT SUBGRADE.
10. LAY DOWN PAVEMENT AGGREGATE AND COMPACT.
11. INSTALL CURB AND GUTTER. BACKFILL AFTER A MINIMUM OF THREE DAYS.
12. CONSTRUCT BUILDING/ADDITION AND SITE FEATURES.
13. CONSTRUCT SITE WALKS AND PATIOS.
14. PROVIDE FINAL STABILIZATION.
15. CONNECT INFILTRATION/FILTRATION PRACTICE TO STORM SEWER INLETS.
16. REMOVE TEMPORARY BMPs.

WATERS WITHIN ONE MILE OF SITE



IMPAIRED WATERS - REQUIRED TMDLS

1. GLEASON LAKE ARE IMPAIRED BASED ON THE CURRENT USEPA 303(d) CLEAN WATER ACT LIST; IS WITHIN 1 MILE OF THIS SITE; AND STORMWATER DOES NOT DISCHARGE INTO IT.

EROSION PREVENTION AND SEDIMENT CONTROL

1. SEE GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEETS FOR THE LOCATION AND TYPE OF TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPs. SEE GRADING AND DRAINAGE, UTILITY, PLANTING, AND LANDSCAPE SHEETS FOR THE LOCATION AND TYPE OF PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs.
2. MINIMIZE DISTURBED AREAS AND PROTECT NATURAL FEATURES AND SOIL.
APPROPRIATE CONSTRUCTION PRACTICES (E.G. CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING) SHALL BE USED TO MINIMIZE EROSION. AREAS NOT TO BE DISTURBED WILL BE DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE ETC.) BEFORE WORK BEGINS.
OPERATOR SHALL DEVELOP METHODS TO MINIMIZE SOIL COMPACTION OUTSIDE OF BUILDING PADS, PAVEMENT AREAS AND UTILITY TRENCHES AND SHALL USE TRACKED EQUIPMENT WHEREVER PRACTICABLE.
TOPSOIL SHALL BE SALVAGED AND REUSED TO THE EXTENT PRACTICABLE.
3. PHASE CONSTRUCTION ACTIVITY
SEDIMENT CONTROL PRACTICES SHALL BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADE LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED IN ACCORDANCE WITH THE PERMIT.

THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.

CONTROL STORM WATER FLOWING ONTO AND THROUGH THE PROJECT

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, SHALL BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER.
STABILIZATION OF THE LAST 200 LINEAL FEET SHALL BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.

STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES SHALL BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS SHALL BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

STABILIZE SOILS

ALL EXPOSED SOIL AREAS (INCLUDING STOCKPILES) MUST BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION WHEN THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AND WILL NOT RESUME FOR 14 CALENDAR DAYS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G. CLEAN AGGREGATE STOCKPILES, DETRICTION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT.

TEMPORARY SOIL STOCKPILES SHALL HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORM WATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORM WATER.

WHEN THE SITE HAS A DISCHARGE POINT WITHIN ONE MILE OF, AND FLOWS TO, A SPECIAL OR IMPAIRED WATERS, ALL EXPOSED SOIL AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.

PROTECT SLOPES

OPERATOR SHALL AVOID WORK ON SLOPES WITH A GRADE OF 3:1 OR GREATER WHEN PRACTICABLE. GRADING ON SLOPES WITH A GRADE OF 3:1 OR STEEPER WILL REQUIRE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING).

PROTECT STORM DRAIN INLETS

ALL STORM DRAIN INLETS SHALL BE PROTECTED BY APPROPRIATE BMPs DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE TEMPORARILY REMOVED IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED.

ESTABLISH PERIMETER CONTROLS AND SEDIMENT BARRIERS

RETAIN SEDIMENT ON-SITE AND CONTROL DEWATERING PRACTICES

DEWATERING OR BASIN DRAINING OF TURBID OR SEDIMENT LADEN WATER RELATED TO CONSTRUCTION ACTIVITIES SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN OR TREATED WITH THE APPROPRIATE BMP PRIOR TO ENTERING THE SURFACE WATER.

DISCHARGE SHALL NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS, ADVERSELY AFFECT RECEIVING WATER OR IMPACT WETLANDS, OR DOWNSTREAM PROPERTIES. DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION AND SCOUR BY ACCEPTED ENERGY DISSIPATION MEASURES.

DISCHARGE WATER CONTAINING OIL OR GREASE SHALL BE TREATED TO REMOVE OIL OR GREASE PRIOR TO DISCHARGE TO SURFACE WATERS.

REFER TO PERMIT REQUIREMENTS FOR TEMPORARY OR PERMANENT SEDIMENT BASINS.

ESTABLISH STABILIZED CONSTRUCTION EXITS

VEHICLE TRACKING PADS SHALL BE ESTABLISHED AS SHOWN ON THE GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEET TO MINIMIZE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE ONTO ADJACENT STREETS.

POST CONSTRUCTION BMPs

1. SEE GRADING AND DRAINAGE, AND UTILITY SHEETS FOR POST CONSTRUCTION BMPs.



HOLDRIDGE HOMES
WAYZATA, MN

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN

ISSUE / REVISION HISTORY

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PROJECT MANAGER REVIEW

BY RJS DATE 04/14/16

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

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PRELIMINARY PLAT RESUBMITTAL
04-15-2016



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C4011WD15008.DWG
PROJECT NO. LWD15008

UTILITIES
C4.1

INTERSTATE 394

WAYZATA BLVD.

HOLDRIDGE TERRACE

LOT 2
BLOCK 1
FRETHAM 11TH ADDITION

LOT 1
BLOCK 1
FRETHAM 11TH ADDITION

BLOCK

EXISTING POND
100YR-940!
(PER MINNEHAHA CREEK WATERSHED)

WETLAND
(PER MINNEHAHA CREEK WATERSHED)

WETLAND BUFFER

edge of delineated wetland

UTILITY NOTES

- PIPE MATERIALS
WATERMAIN 6" DIP
WATER SERVICE 1" COPPER PIPE
SANITARY SEWER 8" PVC SCHEDULE 40 (ASTM D3034, D2665, & F891)
SAN. SEWER SERVICE 4" PVC SCHEDULE 40 (ASTM D3034, D2665, & F891)
STORM SEWER 8" HDPE
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO LOTS.
- PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
- ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
- INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
- CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF WAYZATA STANDARDS.
- CONTACT CITY OF WAYZATA PUBLIC WORKS AT 952-404-5360 FOR WET TAP INSPECTION.
- MAINTAIN 7.5 FEET OF COVER ON WATER.
- CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.
- THE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PER MINNESOTA RULES, PART 4715.2250.
- SANITARY SERVICES ARE BASED OFF OF CITY AS-BUILT SHOTS.
- EXISTING SEWER MAIN (CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT).
- CONNECT INTO EXISTING SANITARY MAIN WITH PVC WYE AND FERRICO COUPLINGS INV=937.0



Know what's Below.
Call before you dig.



NORTH





HOLDRIDGE HOMES
WAYZATA, MN

SHEET	TITLE
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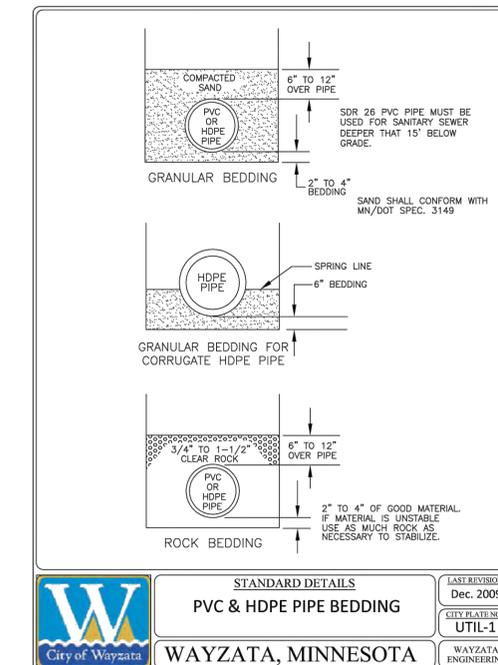
**PRELIMINARY
NOT FOR
CONSTRUCTION**

PRELIMINARY PLAT RESUBMITTAL
04-15-2016

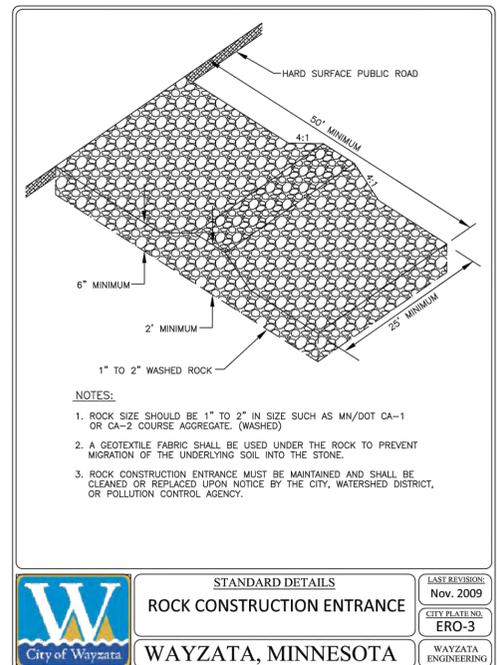


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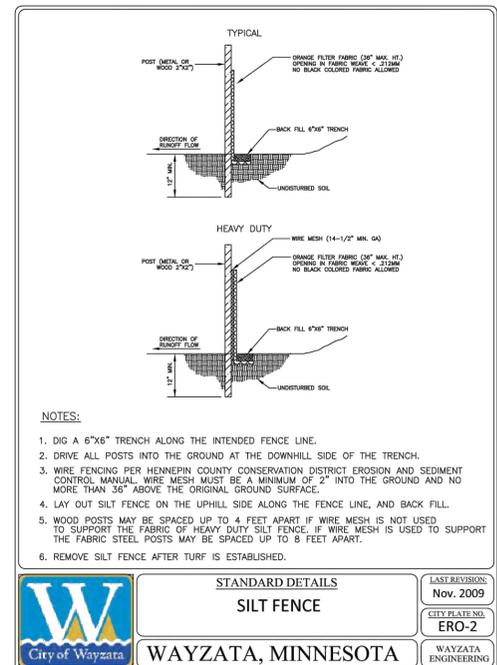
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PROJECT NO.: LWD15008



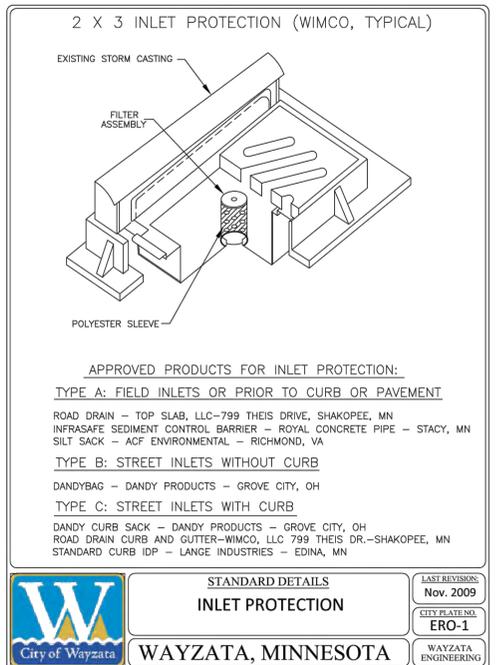
1 PVC AND HDPE PIPE BEDDING NO SCALE



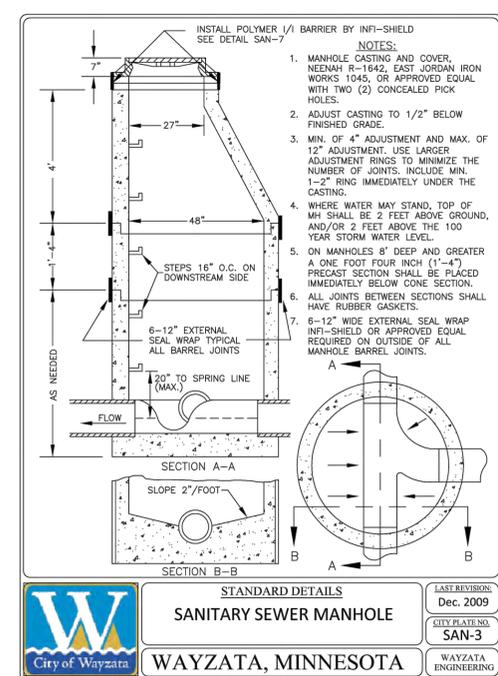
3 ROCK CONSTRUCTION ENTRANCE NO SCALE



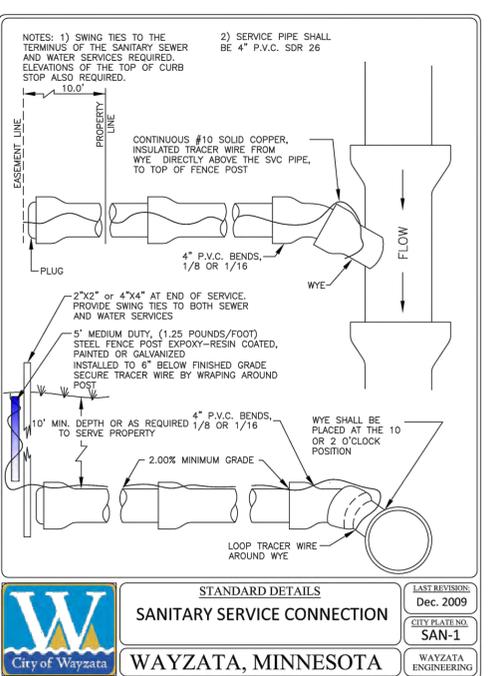
5 SILT FENCE NO SCALE



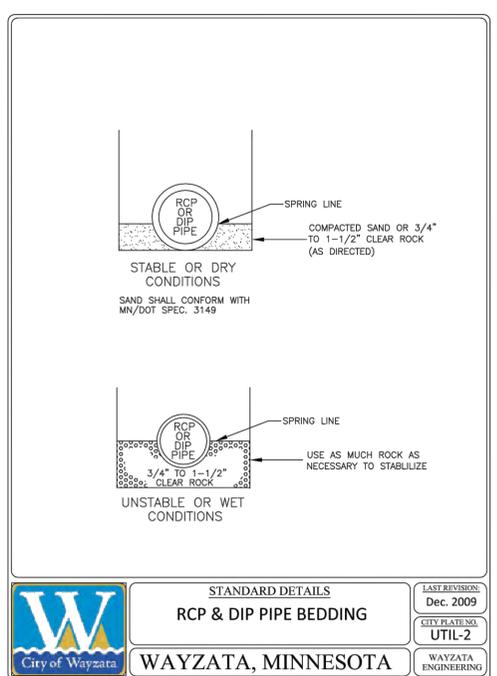
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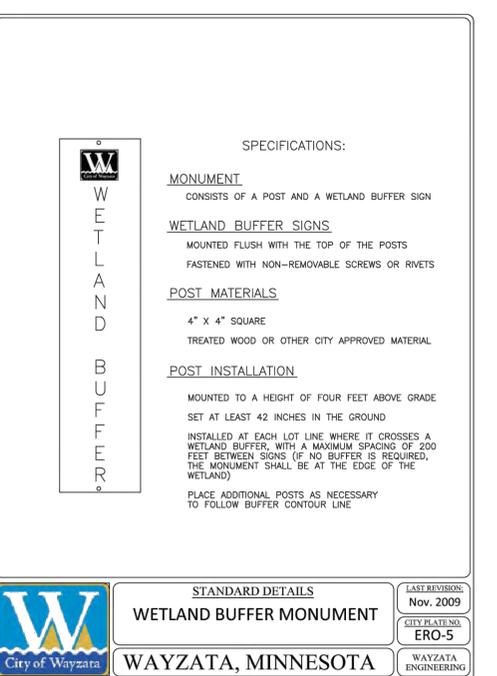
2 SANITARY SEWER MANHOLE NO SCALE



4 SANITARY SERVICE CONNECTION NO SCALE



6 RCP AND DIP PIPE BEDDING NO SCALE



8 WETLAND BUFFER MONUMENT NO SCALE



HOLDRIDGE HOMES
WAYZATA, MN

SHEET	TITLE
CO.1	CIVIL TITLE SHEET
CO.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C3.2	SWPPP NOTES
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
4 SEPT. 2015	PRELIMINARY PLAT	RHS
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04 APR. 2016	CITY COMMENTS	△ RHS

PROJECT MANAGER REVIEW

BY RTS DATE 04-14-16

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT RESUBMITTAL
04-15-2016



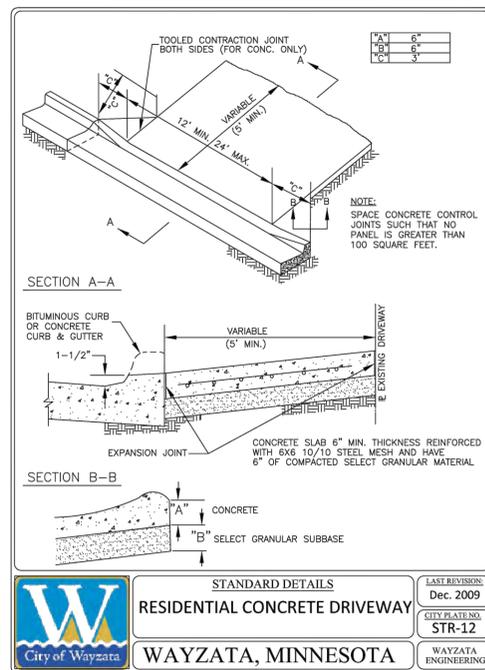
105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C702LWD15008.DWG

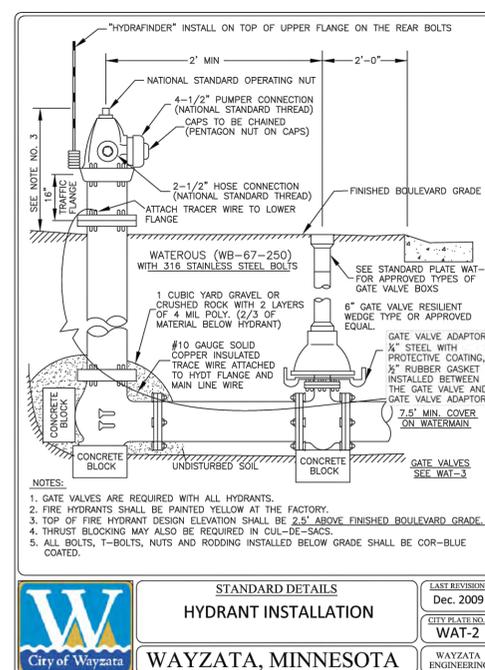
PROJECT NO. LWD15008

CIVIL DETAILS

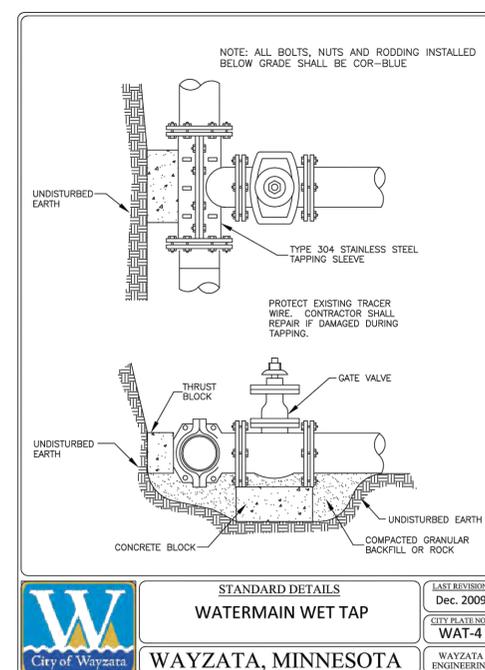
C7.2



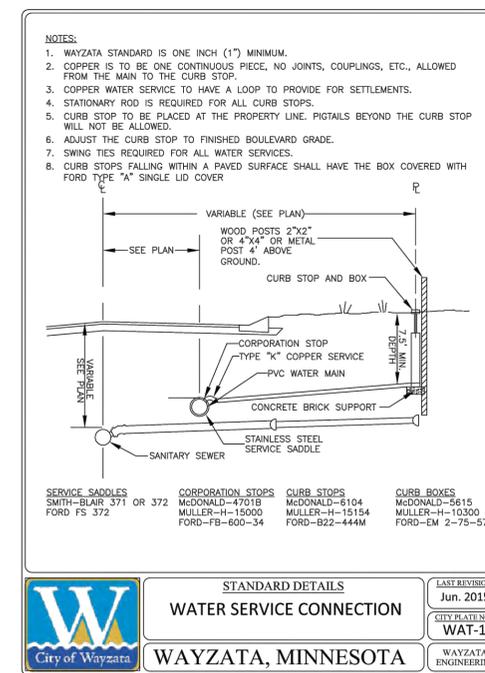
5 CONCRETE DRIVEWAY NO SCALE



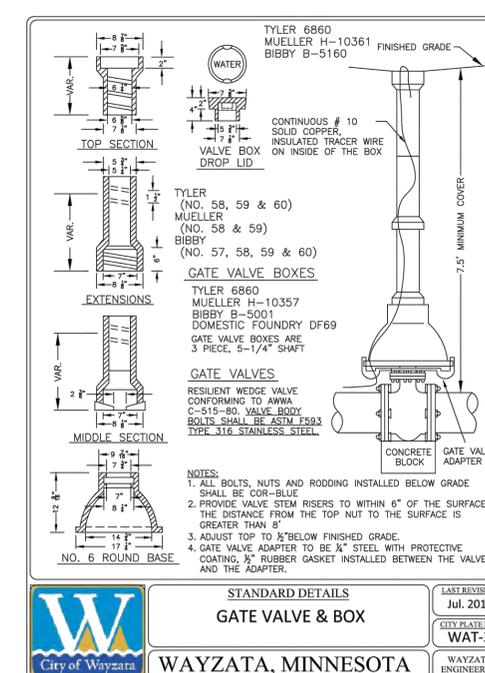
3 HYDRANT NO SCALE



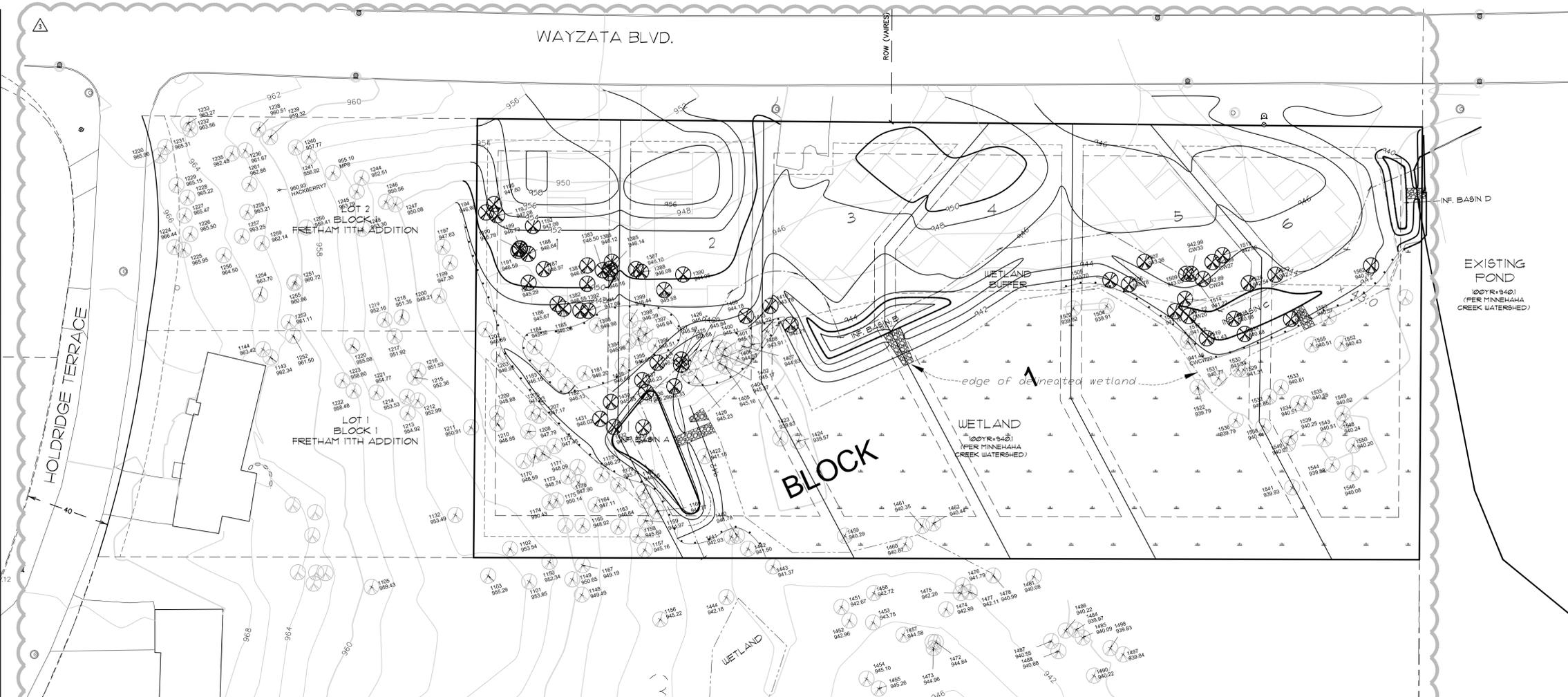
1 WATERMAIN WET TAP NO SCALE



4 WATER SERVICE CONNECTION NO SCALE



2 GATE VALVE AND BOX NO SCALE



811
Know what's Below.
Call before you dig.

NORTH

0 30 60

DEVELOPER

LAKE WEST DEVELOPMENT CO., LLC.
15400 HIGHWAY 7
MINNETONKA, MN 55345
TEL: (952)930-3000

MUNICIPALITY



PROJECT

HOLDRIDGE HOMES
WAYZATA, MN

SHEET INDEX

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C1.2	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN

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CONTACT ENGINEER FOR ANY PRIOR HISTORY

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BY RJS DATE 04/14/16

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NOT FOR
CONSTRUCTION**

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PRELIMINARY PLAT RESUBMITTAL

04-15-2016



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME: L1011WD15008.DWG

PROJECT NO. LWD15008

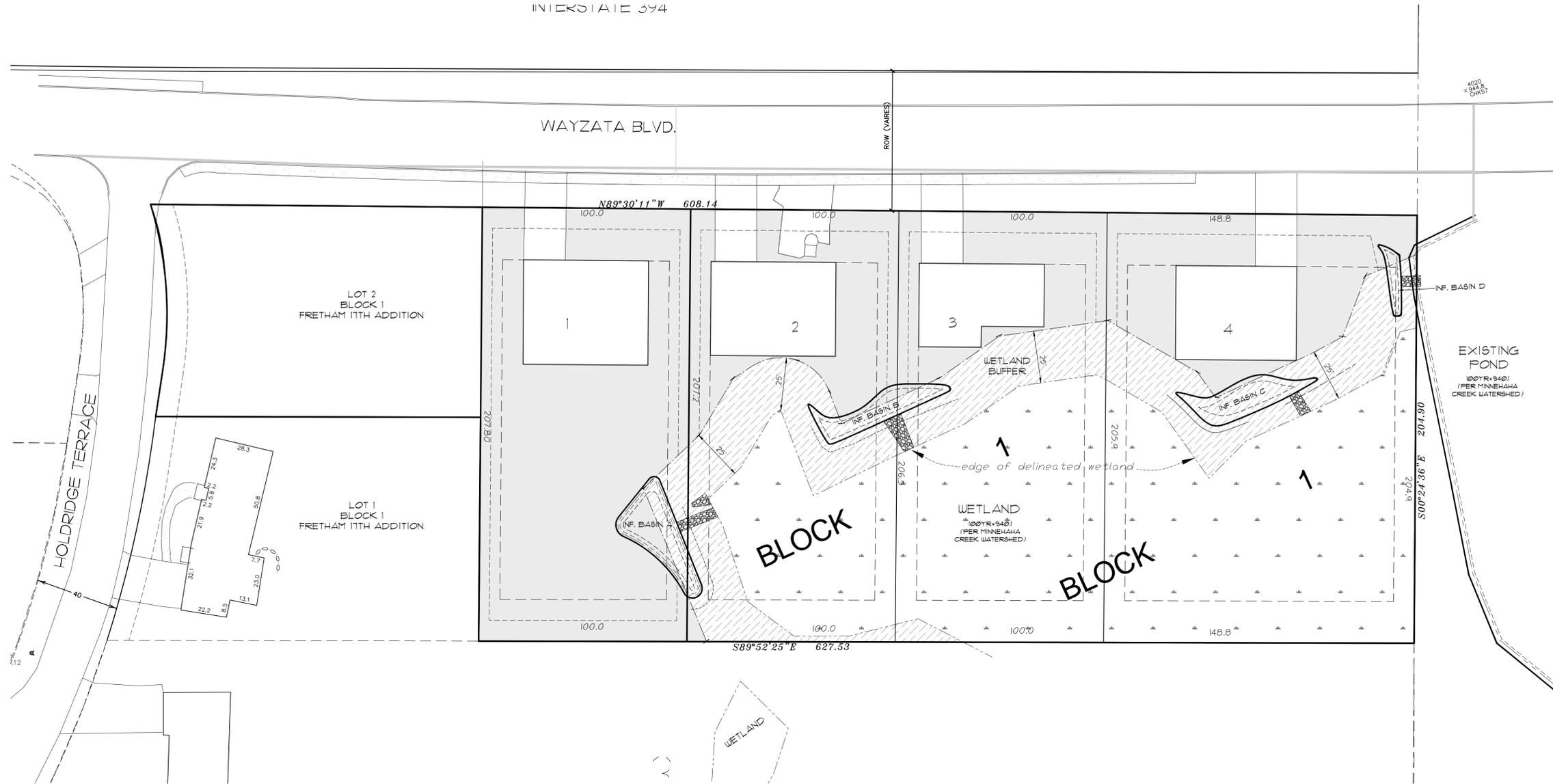
TREE PRESERVATION
L1.1

DATE: 04/20/11/12

Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed
1102	ASH	10	x		1189	ASH	8		x	1408	ASH	13	x		1524	BOXELDER	12		x
1106	Spruce	7		x	1190	ASH	10		x	1409	ASH	14		x	1525	ASH	10		x
1107	Spruce	10	x		1191	ASH	10		x	1410	ASH	20		x	1526	BOXELDER	13		x
1108	Spruce	10	x		1192	ASH	18		x	1412	BOXELDER	15		x	1527	ASH	11		x
1109	Spruce	7	x		1193	ASH	12		x	1413	BOXELDER	18	x		1528	ASH	10		x
1111	Spruce	18	x		1194	ASH	10		x	1426	ASH	15		x	1529	ASH	7	x	
1112	Spruce	12	x		1195	ASH	9		x	1427	ASH	8		x	1530	ASH	8	x	
1113	Spruce	18	x		1202	Black Walnut	6x2	x		1428	ASH	15		x	1531	ASH	8	x	
1150	ASH	12	x		1203	Black Walnut	10	x		1429	ASH	12	x		1532	BOXELDER	8	x	
1156	ASH	18x2	x		1205	BOXELDER	7	x		1430	ASH	15		x	1533	ASH	10	x	
1157	ASH	9	x		1206	Black Walnut	12	x		1431	ASH	18		x	1534	ASH	12	x	
1159	BOXELDER	7	x		1207	OAK	8	x		1432	ASH	9		x	1535	ASH	12	x	
1160	ASH	10x2	x		1208	OAK	1	x		1433	ASH	17		x	1536	BOXELDER	8	x	
1161	Cherry	15	x		1209	Black Walnut	27	x		1436	ASH	9		x	1538	ASH	10	x	
1162	Black Walnut	12	x		1210	OAK	24	x		1437	BOXELDER	8		x	1539	ASH	8	x	
1163	ASH	7	x		1211	OAK	17	x		1438	ASH	15		x	1540	ASH	8	x	
1164	Black Walnut	14	x		1381	BOXELDER	10		x	1439	ASH	8	x		1541	ASH	10	x	
1165	ELM	8	x		1382	ASH	15		x	1440	BOXELDER	24	x		1543	ASH	12	x	
1166	Cherry	18	x		1383	ASH	20		x	1441	ASH	10	x		1544	ASH	6	x	
1167	ASH10	dead	x		1384	ASH	7		x	1442	BOXELDER	9	x		1546	ASH	8	x	
1169	Cherry	12	x		1385	ASH	8		x	1443	BOXELDER	6	x		1548	BOXELDER	8	x	
1170	Black Walnut	10	x		1386	BOXELDER	15		x	1444	BOXELDER	10	x		1549	ELM	7	x	
1171	Black Walnut	8	x		1387	ASH	8		x	1459	BOXELDER	24	x		1550	ASH	10	x	
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1175	ASH	9	x		1391	ASH	21		x	1471	Cherry	9	x		1562	BOXELDER	9		x
1176	ASH	dead	x		1392	ASH	10		x	1502	BOXELDER	9	x		Total		98		55
1177	Cherry	9	x		1393	ASH	12	x		1504	BOXELDER	14	x		Percentage Removed				36%
1178	ASH	13	x		1394	ASH	12	x		1505	BOXELDER	11		x					
1179	Black Walnut	14	x		1395	ASH	9	x		1506	ASH	14		x					
1181	ASH	15	x		1396	ASH	15	x		1507	ASH	17		x					
1182	ASH	12	x		1397	ASH	7	x		1509	ASH	12		x					
1183	ASH	18	x		1398	ASH	13	x		1510	Cottonwood	33		x					
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1186	ASH	8	x		1401	BOXELDER	6	x		1513	BOXELDER	15		x					
1187	ELM	10	x		1402	ASH	8	x		1514	ELM	8		x					
1188	ASH	18		x	1403	ASH	13	x		1515	BOXELDER	12		x					
					1404	ASH	12	x		1516	Cottonwood	20		x					
					1405	ASH	12	x		1517	ASH	6		x					
					1406	ASH	12	x		1518	Cottonwood	22	x						
					1407	ASH	15	x		1519	ASH	7		x					
										1522	BOXELDER	14	x						

LEGEND

- PUD TREE REMOVAL
- TREE SAVED
- TREE OFF-SITE
- TREE PROTECTION FENCE



SITE PLAN NOTES

- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING FOUNDATION UNLESS NOTED OTHERWISE.

- GREEN SPACE (LANDSCAPE AREA)
- WETLAND BUFFER

AREA SUMMARY

TOTAL GROSS AREA = 2.13 AC
 • WETLAND AREA = .78 ACRE
 NET AREA = 1.35

TOTAL SINGLE FAMILY LOTS = 4 UNITS
 GROSS DENSITY = 1.87 UNITS/AC
 NET DENSITY = 2.96 UNITS/AC

LOT SUMMARY

PARCEL ID:	PARCEL SIZE:	IMPERVIOUSNESS	PROPOSED ZONING:
LOT 1	20,748 S.F.	4,027 S.F.	R2
LOT 2	20,683 S.F.	2,389 S.F.	R2
LOT 3	20,619 S.F.	2,455 S.F.	R2
LOT 4	30,593 S.F.	2,827 S.F.	R2

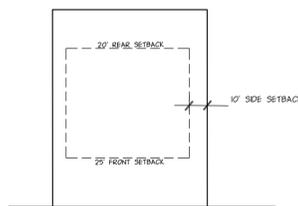
ZONING SUMMARY

THE PROPERTY IS CURRENTLY ZONED (R-2) MEDIUM DENSITY SINGLE FAMILY.

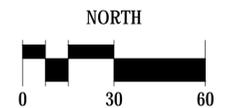
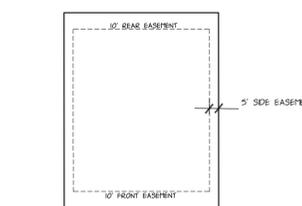
BUILDING SETBACK INFORMATION IS AS FOLLOWS (R-2)
 FRONT YARD = 25 FT.
 REAR = 20 FT.
 SIDE = 10 FT.

LOT COVERAGE INFORMATION IS AS FOLLOWS
 LOT AREA MINIMUM = 15,000 S.F. = .33 ACRE
 LOT WIDTH MINIMUM = 100 FT
 LOT DEPTH MINIMUM = 100 FT
 MAX. IMPERVIOUS COVERAGE = 30%

TYPICAL LOT LAYOUT (R-2)

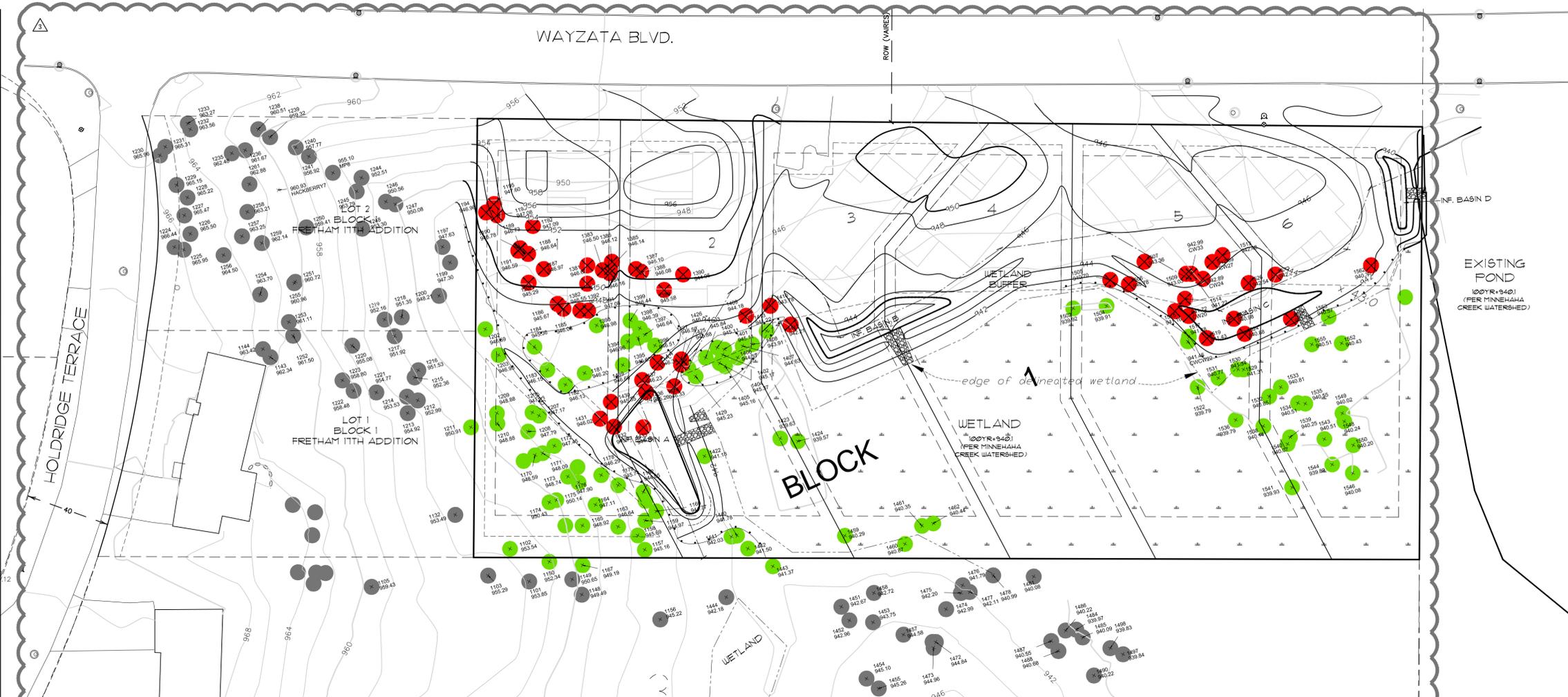


TYPICAL EASEMENTS



LANDFORM
 From Site to Finish

SINGLE FAMILY SITE PLAN EXHIBIT



811
Know what's Below.
Call before you dig.

NORTH

0 30 60

EXISTING FOND
100' R+940'1
(PER MINNEHAHA CREEK WATERSHED)

edge of delineated wetland

BLOCK

LEGEND

- PUD TREE REMOVAL
- TREE SAVED
- TREE OFFSITE
- TREE PROTECTION FENCE

Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed
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1107	Spruce	10	x		1191	ASH	10		x	1410	ASH	20		x	1526	BOXELDER	13		x
1108	Spruce	10	x		1192	ASH	18		x	1412	BOXELDER	15		x	1527	ASH	11		x
1109	Spruce	7	x		1193	ASH	12		x	1413	BOXELDER	18	x		1528	ASH	10		x
1111	Spruce	18	x		1194	ASH	10		x	1426	ASH	15		x	1529	ASH	7	x	
1112	Spruce	12	x		1195	ASH	9		x	1427	ASH	8		x	1530	ASH	8	x	
1113	Spruce	18	x		1202	Black Walnut	6x2	x		1428	ASH	15		x	1531	ASH	8	x	
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1165	ELM	8	x		1382	ASH	15		x	1440	BOXELDER	24	x		1543	ASH	12	x	
1166	Cherry	18	x		1383	ASH	20		x	1441	ASH	10	x		1544	ASH	6	x	
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1183	ASH	18	x		1398	ASH	13	x		1510	Cottonwood	33		x					
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1186	ASH	8		x	1401	BOXELDER	6	x		1513	BOXELDER	15		x					
1187	ELM	10		x	1402	ASH	8	x		1514	ELM	8		x					
1188	ASH	18		x	1403	ASH	13	x		1515	BOXELDER	12		x					
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					1405	ASH	12	x		1517	ASH	6		x					
					1406	ASH	12	x		1518	Cottonwood	22	x						
					1407	ASH	15	x		1519	ASH	7		x					
										1522	BOXELDER	14	x						

DEVELOPER

LAKE WEST DEVELOPMENT CO., LLC.
15400 HIGHWAY 7
MINNETONKA, MN 55345
TEL: (952)930-3000

MUNICIPALITY



PROJECT

HOLDRIDGE HOMES
WAYZATA, MN

SHEET INDEX

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PROJECT MANAGER REVIEW

BY RJS DATE 04/14/16

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY PLAT RESUBMITTAL

04-15-2016

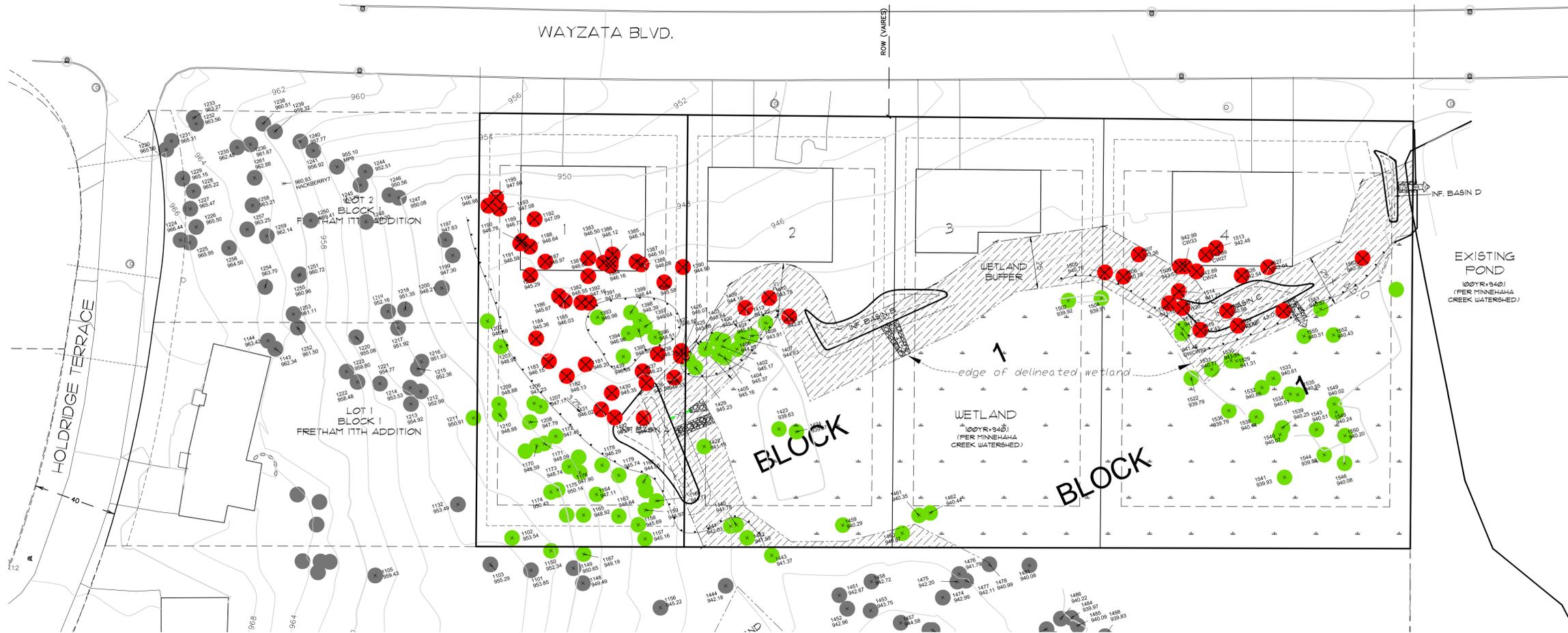


105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME: L1011WD15008.DWG

PROJECT NO. LWD15008

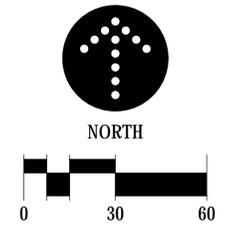
TREE PRESERVATION
L1.1



Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed	Point	Species	Size (in)	Saved	Removed
1102	ASH	10	x		1189	ASH	8		x	1408	ASH	13	x		1524	BOXELDER	12		x
1106	Spruce	7	x		1190	ASH	10		x	1409	ASH	14		x	1525	ASH	10		x
1107	Spruce	10	x		1191	ASH	10		x	1410	ASH	20		x	1526	BOXELDER	13		x
1108	Spruce	10	x		1192	ASH	18		x	1412	BOXELDER	15		x	1527	ASH	11		x
1109	Spruce	7	x		1193	ASH	12		x	1413	BOXELDER	18	x		1528	ASH	10		x
1111	Spruce	18	x		1194	ASH	10		x	1426	ASH	15		x	1529	ASH	7	x	
1112	Spruce	12	x		1195	ASH	9		x	1427	ASH	8		x	1530	ASH	8	x	
1113	Spruce	18	x		1202	Black Walnut	6x2	x		1428	ASH	15		x	1531	ASH	8	x	
1150	ASH	12	x		1203	Black Walnut	10	x		1429	ASH	12	x		1532	BOXELDER	8	x	
1156	ASH	18x2	x		1205	BOXELDER	7	x		1430	ASH	15		x	1533	ASH	10	x	
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1159	BOXELDER	7	x		1207	OAK	8	x		1432	ASH	9		x	1535	ASH	12	x	
1160	ASH	10x2	x		1208	OAK	1	x		1433	ASH	17		x	1536	BOXELDE	8	x	
1161	Cherry	15	x		1209	Black Walnut	27	x		1436	ASH	9		x	1538	ASH	10	x	
1162	Black Walnut	12	x		1210	OAK	24	x		1437	BOXELDER	8		x	1539	ASH	8	x	
1163	ASH	7	x		1211	OAK	17	x		1438	ASH	15		x	1540	ASH	8	x	
1164	Black Walnut	14	x		1381	BOXELDER	10		x	1439	ASH	8	x		1541	ASH	10	x	
1165	ELM	8	x		1382	ASH	15		x	1440	BOXELDER	24	x		1543	ASH	12	x	
1166	Cherry	18	x		1383	ASH	20		x	1441	ASH	10	x		1544	ASH	6	x	
1167	ASH10	dead	x		1384	ASH	7		x	1442	BOXELDER	9	x		1546	ASH	8	x	
1169	Cherry	12	x		1385	ASH	8		x	1443	BOXELDER	6	x		1548	BOXELDER	8	x	
1170	Black Walnut	10	x		1386	BOXELDER	15		x	1444	BOXELDER	10	x		1549	ELM	7	x	
1171	Black Walnut	8	x		1387	ASH	8		x	1459	BOXELDER	24	x		1550	ASH	10	x	
1172	Black Walnut	13	x		1388	ASH	15		x	1460	BOXELDER	9	x		1552	BOXELDER	12	x	
1173	Black Walnut	14	x		1389	BOXELDER	12		x	1461	ASH	14	x		1553	ASH	12	x	
1174	ASH	12	x		1390	BOXELDER	10		x	1462	BOXELDER	10	x		1555	ASH	7	x	
1175	ASH	9	x		1391	ASH	21		x	1471	Cherry	9	x		1562	BOXELDER	9		x
1176	ASH	dead	x		1392	ASH	10		x	1502	BOXELDER	9	x		Total		94		59
1177	Cherry	9	x		1393	ASH	12	x		1504	BOXELDER	14	x		Percentage				38%
1178	ASH	13	x		1394	ASH	12	x		1505	BOXELDER	11		x					
1179	Black Walnut	14	x		1395	ASH	9	x		1506	ASH	14		x					
1181	ASH	15		x	1396	ASH	15	x		1507	ASH	17		x					
1182	ASH	12	x		1397	ASH	7	x		1509	ASH	12		x					
1183	ASH	18		x	1398	ASH	13	x		1510	Cottonwood	33		x					
1184	ASH	7		x	1399	ASH	10	x		1511	Cottonwood	24		x					
1185	ASH	10	x		1400	ASH	12	x		1512	Cottonwood	27		x					
1186	ASH	8		x	1401	BOXELDER	6	x		1513	BOXELDER	15		x					
1187	ELM	10		x	1402	ASH	8	x		1514	ELM	8		x					
1188	ASH	18		x	1403	ASH	13	x		1515	BOXELDER	12		x					
					1404	ASH	12	x		1516	Cottonwood	20		x					
					1405	ASH	12	x		1517	ASH	6		x					
					1406	ASH	12	x		1518	Cottonwood	22	x						
					1407	ASH	15	x		1519	ASH	7		x					
										1522	BOXELDER	14	x						

LEGEND

- TREE REMOVAL
- TREE SAVED
- TREE OFF-SITE
- TREE PROTECTION FENCE



LANDFORM
From Site to Finish

SINGLE FAMILY TREE REMOVAL EXHIBIT

PRELIMINARY PLAT ~ OF ~ FRETHERAM 17TH ADDITION

Property Address: 1409 Holdridge Terrace, Wayzata, MN 55391
P.I.D.#04-117-22-32-0024

~for~ Lakewest Development

Tree Inventory

1101 ASH15	1339-BlackWalnut39	1426 ASH15
1102 ASH10	1346-BlackWalnut2	1427 ASH8
1103 OAK21	1356-ASH15	1428 ASH15
1105 ASH24	1429-BlackWalnut1	1429 ASH12X2
1106 Spruce7	1440-OAK27	1430-ASH15
1107 Spruce10	1446-BlackWalnut1	1431 ASH18
1108 Spruce10	1443 Maple 9	1432 ASH9
1109 Spruce7	1444 ELM14-DEAD	1433 ASH17
1111 Spruce18	1445 OAK32	1436-ASH9
1112 Spruce12	1446 ELM10	1437 BOXELDER8
1113 Spruce18	1447 OAK22	1438 ASH15
1122 ASH21	1448 OAK31	1439-ASH8
1143 ELM8	1450 OAK30	1440 BOXELDER24
1144 ASH6	1451-ASH9	1441 ASH10
1148 ASH8	1452 ELM30-DEAD	1442 BOXELDER9
1149 ASH15	1453-ASH8	1443 BOXELDER6
1150 ASH12	1454-ELM8	1444 BOXELDER10
1156 ASH18X2	1455-ASH10	1451 BlackWalnut2
1157 ASH9	1456-ELM8	1519 ASH7
1158 ASH15	1457 OAK29	1522 BOXELDER14
1159 BOXELDER7	1458 BOXELDER8	1523 OAK20
1160 ASH10X2	1459-BlackWalnut8	1454 ASH22
1161 Cherry15	1460-BlackWalnut7	1455 OAK22
1162 BlackWalnut12	1461-BlackWalnut1	1457 ASH24
1163 BOXELDER10	1462-BlackWalnut1	1458 BOXELDER19
1164 BlackWalnut14	1382-ASH15	1459 BOXELDER24
1165 ELM8	1389-ASH20	1460 BOXELDER9
1166 Cherry18	1394-ASH7	1461 ASH14
1167 ASH10-DEAD	1395-ASH9	1462 BOXELDER10
1168 Cherry12	1396 BOXELDER15	1471 Cherry9
1170 BlackWalnut10	1397-ASH8	1472 ELM6
1171 BlackWalnut8	1398-ASH15	1473 BOXELDER10
1172 BlackWalnut13	1399 BOXELDER12	1474 BlackWalnut7
1173 BlackWalnut14	1399 BOXELDER10X2	1475 BlackWalnut10
1174 ASH12	1391 ASH21	1476 BOXELDER8
1175 ASH9	1392 ASH10	1477 ASH15
1176 ASH10-DEAD	1393 ASH12	1478 BOXELDER6
1177 Cherry9	1394 ASH12	1481 BOXELDER15
1178 ASH13	1395 ASH9	1484 ASH13
1179 BlackWalnut14	1396 ASH15	1485 ELM9
1181-ASH15	1397 ASH7	1486 ASH15
1182-ASH12	1398 ASH13	1487 ASH8
1183-ASH18	1399 ASH10	1488 ASH15
1184-ASH18	1400 ASH20X2	1489 ASH10
1185-ASH18	1401 BOXELDER6	1497 ASH12
1186 ASH8	1402 ASH8	1498 ASH12
1187-ELM10	1403 ASH13	1502 BOXELDER9
1188-ASH15	1404 ASH12	1504 BOXELDER14
1189-ASH18	1405 ASH12	1505 BOXELDER11
1190-ASH10	1406 ASH12	1506 ASH14
1191-ASH10	1407 ASH15	1507 ASH17
1192-ASH18	1408 ASH13	1509 ASH12
1193-ASH12	1409 ASH14	1510 Cottonwood33
1194-ASH18	1410 ASH20	1511 Cottonwood24
1195-ASH18	1412 BOXELDER15	1512 Cottonwood27
1197 BlackWalnut13	1413 BOXELDER18	1513 BOXELDER15
1198 BlackWalnut10	1422 ASH18	1514 ELM8
1200 BlackWalnut8	1423 ASH9	1515 BOXELDER12
1202 BlackWalnut6X2	1424 ASH14	1516 Cottonwood20
1203 BlackWalnut10	1425 ASH7	1517 ASH8
1208-BOXELDER2		1518 Cottonwood22
1209-BlackWalnut12		
1207 OAK8		
1208 OAK1		
1209 BlackWalnut27		
1210 OAK24		
1211 OAK17		
1212 ASH9		
1213 ELM8		
1214 ASH9		
1215 ELM7		
1216 BlackWalnut28		
1217 OAK38		
1218 OAK24		
1219 ASH7		
1220 OAK22		
1221 OAK30-DEAD		
1222 OAK30-DEAD		
1223 OAK22		
1224-OAK22		
1225-ELM9		
1226-ELM12		
1227-BlackWalnut10		
1229-BlackWalnut8		
1230-ELM9		
1231-BlackWalnut		
1233-ASH14		
1234-BA55WOOD1		

TREE REMOVAL NOTES:
- 133 SIGNIFICANT TREES WITHIN LOTS 1, 2 AND 3.
- 50 TREES ARE PROPOSED TO BE REMOVED AS PART OF CONSTRUCTION OF HOMES AND GRADING OF LOTS. (37.6% OF TREES)

LEGAL DESCRIPTION

Lot 1, Block 3, Holdridge Second Addition Rearrangement, Hennepin County, Minnesota.
Torrens Certificate No. 542759.
Lot 2, Block 3, Holdridge Second Addition Rearrangement, Hennepin County, Minnesota.
Torrens Certificate No. 1087573.

Note: Boundary lines shown herein excepts out property as described in doc. no. 2622913. Said document takes priority in fee simple and also takes permanent easement in property.

SCHEDULE B-2 ITEMS:

- 1) Terms and conditions of easements contained in Declaration of covenants, restrictions and easements filed Feb. 14th, 1950, as doc. no. 303999.
**NOTE: REVIEW THIS DOCUMENT CAREFULLY AS IT MAY AFFECT WHAT CAN OR CAN NOT BE BUILT ON LOTS!!! There is a lot of restrictions placed in said document and they may or may not be valid at this time!
- 2) Terms and conditions of utility easement in favor of the City of Wayzata per doc. no. 708501. Easement does not affect survey area of Lot 1.
- 3) Terms and conditions of Final Certificate for Highway purposes per doc. no. 2622913. Note: Does affect a portion of Lot 1 however DOES NOT affect surveyed portion shown herein.

ZONING AND SETBACK INFORMATION

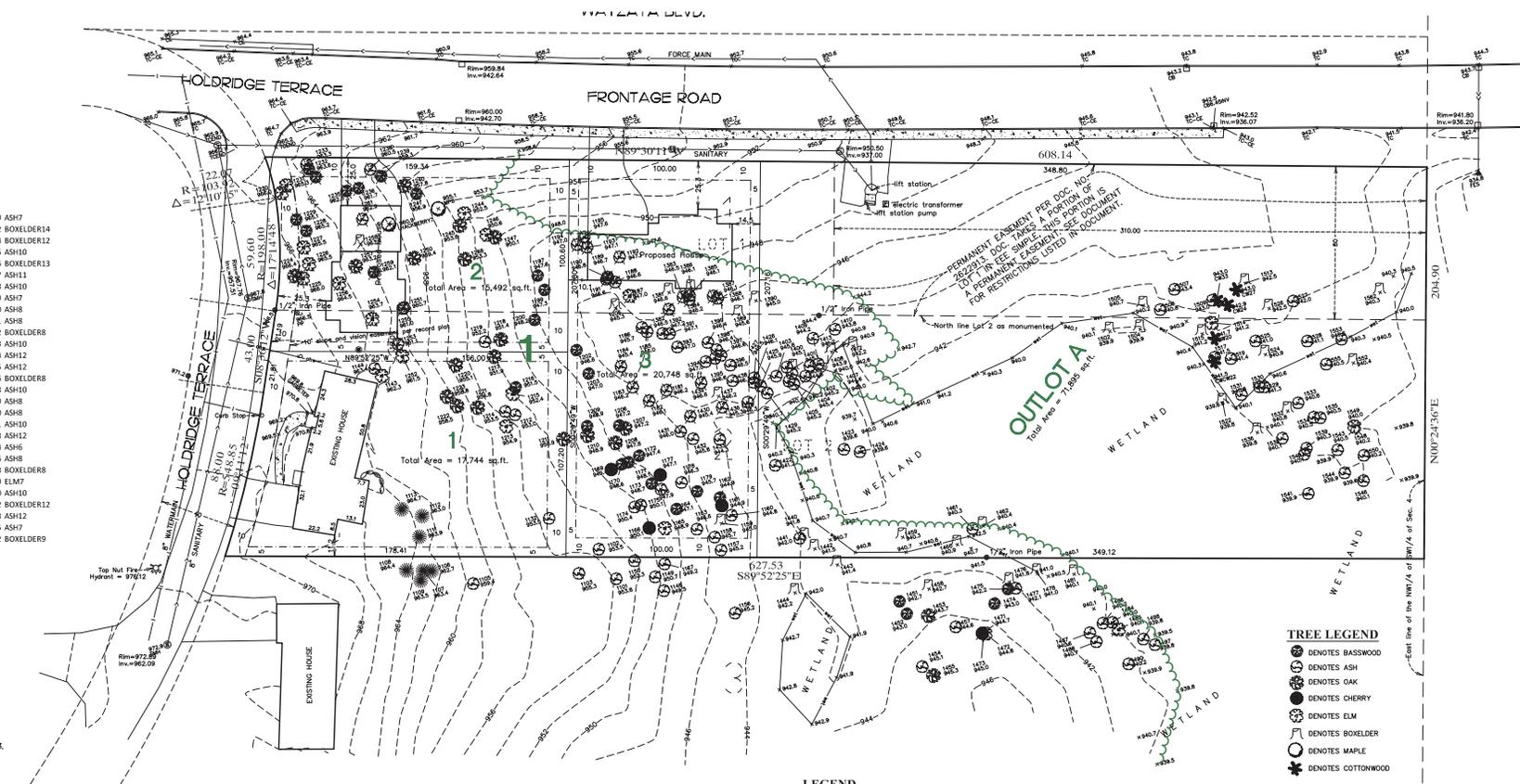
Current & Proposed zoning = R2 Medium Density Single Family Residential District
- Minimum Lot Area = 15,000 sq.ft.
- Minimum Lot Width = 100 feet
- Minimum Lot Depth = 100 feet
Principal Building Setbacks:
Front Yard = 25 feet
Side Yard = 10 feet
Rear Yard = 20 feet
-Lot coverage shall not exceed 20% of lot area. Impervious surface shall not exceed 30% of lot area.
-All single family structures shall be limited to a maximum height of 2.5 stories or 30 feet, whichever is lesser.



JOSHUA P. SCHNEIDER

Date: 10-30-13 Reg. No. 44655

Revised: 01-06-14 (tree notes/removals)
Revised: 12-11-13 (add trees/removal/house)
Revised: 11-6-13 (add trees/removal/house)



TREE LEGEND

- DENOTES BASSWOOD
- DENOTES ASH
- DENOTES OAK
- DENOTES CHERRY
- DENOTES ELM
- DENOTES BOXELDER
- DENOTES MAPLE
- DENOTES COTTONWOOD

LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- DENOTES GAS METER/BOX
- DENOTES UTILITY BOX
- DENOTES SANITARY SEWER MANHOLE
- DENOTES CATCH BASIN
- DENOTES FIRE HYDRANT
- DENOTES EXISTING CONTOUR
- DENOTES OVERHEAD WIRE
- DENOTES SANITARY SEWER
- DENOTES STORM SEWER
- DENOTES EXISTING ELEVATION.
- DENOTES TREE LINE
- DENOTES CONCRETE
- DENOTES BITUMINOUS
- DENOTES UTILITY BOX
- DENOTES WETLAND
- DENOTES RETAINING WALL
- DENOTES TREE TO BE REMOVED
- DENOTES EXISTING TREE
- DENOTES PROPOSED TREE

AREA CALCULATIONS:

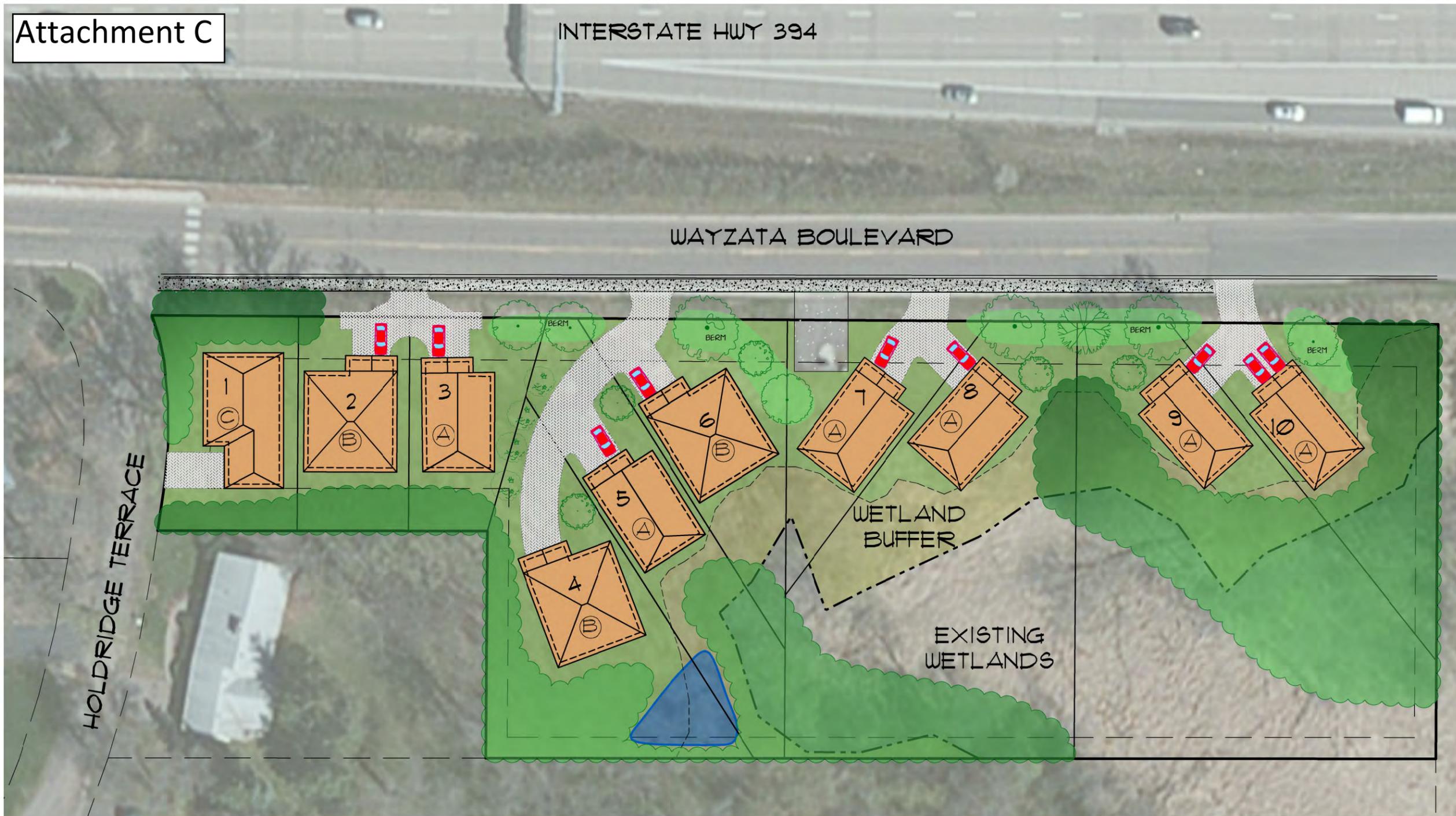
LOT 1, BLOCK 1
TOTAL LOT = 317,744 sq. ft.
Existing House = 42,447 Sq. Ft.
Existing Porch = 167 Sq. Ft.
Existing Sidewalk = 2,205 Sq. Ft.
Existing Driveway = 4,621 Sq. Ft.
Impervious = 51,835

LOT 2, BLOCK 1
TOTAL LOT = 315,492 sq. ft.
Proposed House = 82,248 Sq. Ft.
Proposed Driveway = 2,691 Sq. Ft.
Impervious = 81,000

LOT 3, BLOCK 1
TOTAL LOT = 420,748 sq. ft.
Proposed House = 82,297 Sq. Ft.
Proposed Driveway = 41,025 Sq. Ft.
Impervious = 81,600

NOTES
- 2 foot Contour Interval
- Elevations shown an assumed datum.
- Boundaries shown are preliminary only. This sketch is subject to revision.





SITE ANALYSIS

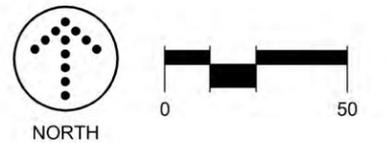
OF LOTS = 10
 MODEL A = 6 LOTS
 MODEL B = 3 LOTS
 MODEL C (CUSTOM) = 1 LOT
 FRONT SETBACK = 20 FT
 SIDE SETBACK = 10 FT
 SIDE SETBACK (CORNER) = 20 FT
 REAR SETBACK = 20 FT

WETLAND MANAGEMENT

WETLAND TYPE = MANAGE 2
 MINIMUM BUFFER = 24 FT
 BUFFER PROVIDED = 24 FT
 AVERAGE BUFFER = 30 FT
 BUFFER PROVIDED = 30.5 FT

LEGEND

- = GREEN SPACE (LANDSCAPE AREA)
- = TREE PRESERVATION
- = BERM



MODEL A



MODEL B



DIMENSIONS

MODEL A = 30'W X 50'D
 MODEL B = 40'W X 50'D
 MODEL C = 34'W X 60'D



LANDFORM
 From Site to Finish

CONCEPT B
 MEDIUM FAMILY RESIDENTIAL

05.13.2015



HOLDRIDGE HOMES WAYZATA, MN

SHEET	TITLE
C0.1	CIVIL TITLE SHEET
C0.2	PRELIMINARY PLAT
C1.1	EXISTING CONDITIONS
C2.1	SITE PLAN
C2.2	WETLAND BUFFER PLAN
C3.1	GRADING, DRAINAGE, & EROSION CONTROL
C4.1	UTILITIES
C7.1	CIVIL CONSTRUCTION DETAILS
C7.2	CIVIL CONSTRUCTION DETAILS
L1.1	TREE PRESERVATION PLAN

DATE	ISSUE / REVISION	REVIEW
4 SEPT. 2015	PRELIMINARY PLAT	RH-C
11 DEC. 2015	CITY COMMENTS	RH-C

BY R/S	DATE
	09/04/15

**PRELIMINARY
NOT FOR
CONSTRUCTION**

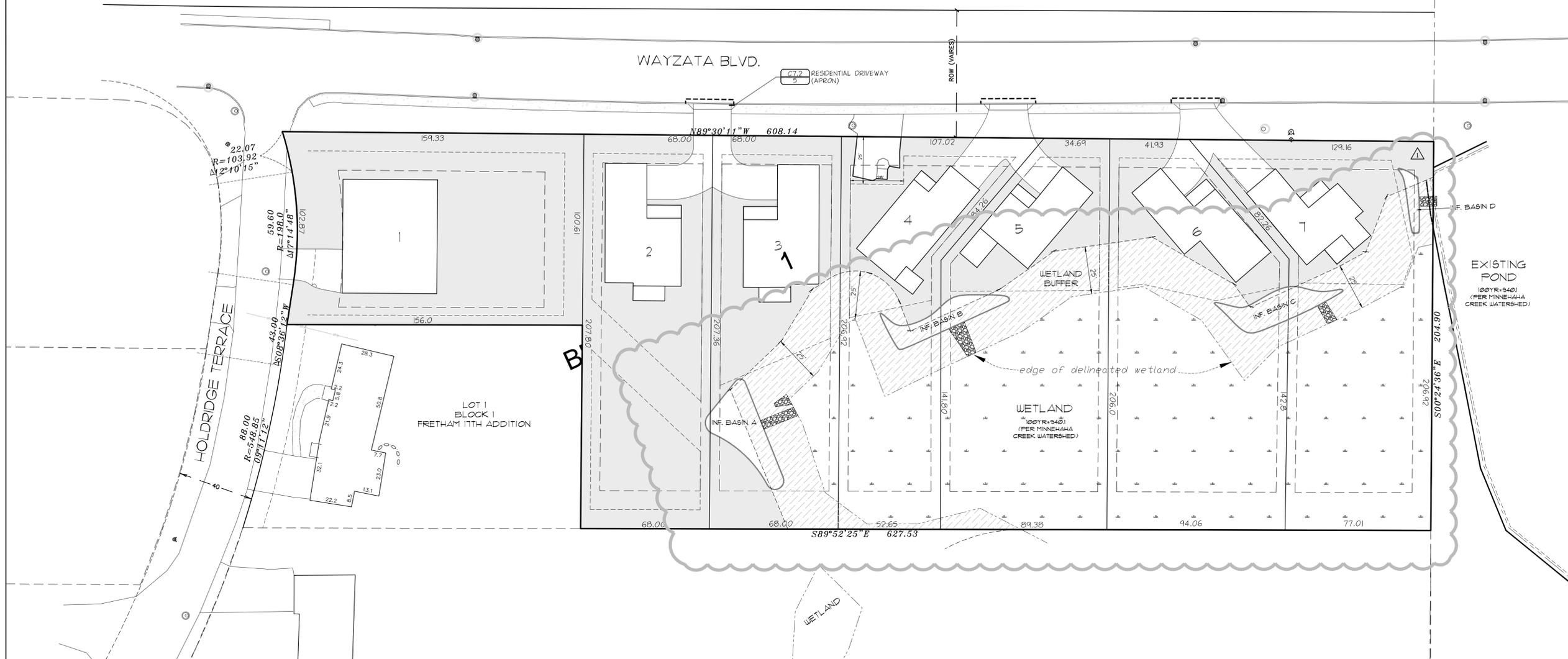
IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND EXTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

12-11-2015



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C002LWD15008.DWG
PROJECT NO. LWD15008



SITE PLAN NOTES

- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING FOUNDATION UNLESS NOTED OTHERWISE.

WETLAND BUFFER SIGN PER CITY SPECIFICATION
GREEN SPACE (LANDSCAPE AREA)

AREA SUMMARY

TOTAL GROSS AREA = 2.48 AC
• WETLAND AREA = .78 ACRE
NET AREA = 1.7
TOTAL SINGLE FAMILY LOTS = 7 UNITS
GROSS DENSITY = 2.82 UNITS/AC
NET DENSITY = 4.1 UNITS/AC

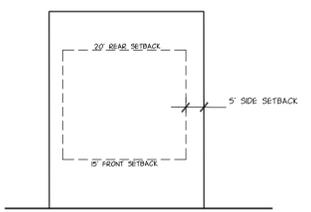
LOT SUMMARY

PARCEL ID:	PARCEL SIZE:	IMPERVIOUSNESS	PROPOSED ZONING:
LOT 1	15,472 S.F.	3,485 S.F.	R2
LOT 2	14,115 S.F.	3,058 S.F.	PUD
LOT 3	14,115 S.F.	3,058 S.F.	PUD
LOT 4	12,794 S.F.	2,628 S.F.	PUD
LOT 5	16,497 S.F.	2,081 S.F.	PUD
LOT 6	17,835 S.F.	2,334 S.F.	PUD
LOT 7	17,314 S.F.	2,390 S.F.	PUD

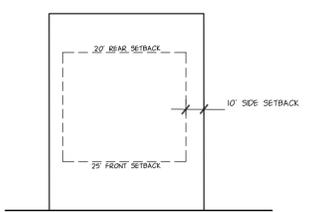
ZONING SUMMARY

THE PROPERTY IS CURRENTLY ZONED (R-2) MEDIUM DENSITY SINGLE FAMILY. THE PROPERTY IS BEING REZONED TO BOTH (R-2) MEDIUM DENSITY RESIDENTIAL AND PUD.
BUILDING SETBACK INFORMATION IS AS FOLLOWS (R-2)
FRONT YARD = 25 FT.
REAR = 20 FT
SIDE = 10 FT.
LOT COVERAGE INFORMATION IS AS FOLLOWS
LOT AREA MINIMUM = 15,000 S.F. = .33 ACRE
LOT WIDTH MINIMUM = 100 FT
LOT DEPTH MINIMUM = 100 FT
MAX. IMPERVIOUS COVERAGE = 30%
BUILDING SETBACK INFORMATION IS AS FOLLOWS (PUD)
FRONT YARD = 15 FT.
REAR = 20 FT
PERIPHERAL SIDE = 10 FT.
COMMON LOT LINE SIDE = 5 FT.

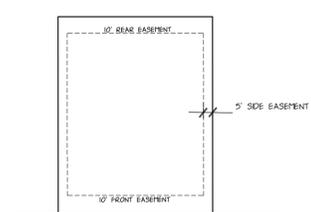
TYPICAL LOT LAYOUT (PUD)



TYPICAL LOT LAYOUT (R-2)



TYPICAL EASEMENTS

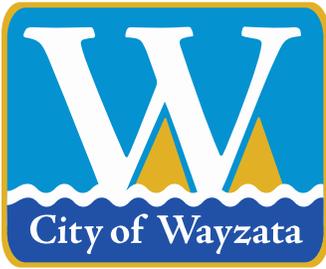


Know what's Below.
Call before you dig.



NORTH





City of Wayzata
600 Rice Street
Wayzata, MN 55391-1734

Mayor:
Ken Willcox

City Council:
Bridget Anderson
Johanna McCarthy
Andrew Mullin
Steven Tyacke

City Manager:
Jeffrey Dahl

Date: June 17, 2016
To: Planning Commission
From: Jeff Thomson, Director of Planning and Building
Subject: Meyer Place on Ferndale

Application Information

The applicant, Homestead Partners, and the property owner, Meyer Properties have submitted a development application to redevelop the Meyer Brothers Dairy site at 105 Lake Street E. The development application includes demolition of the existing vacant commercial building and construction of a three story building with a rooftop penthouse for a roof top terrace. The building would include 23 residential condominium units and 59 enclosed parking spaces.

Planning Commission Review

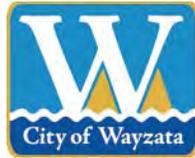
The Planning Commission reviewed the development application and held a public hearing at its meeting on May 2, 2016. The Planning Commission reviewed revised plans at its meeting on June 6, 2016. After discussing the application, the Planning Commission directed staff to prepare a Planning Commission Report and Recommendation recommending denial of the development application.

Planning Commission Action

City staff has drafted the attached Planning Commission Report and Recommendation. Staff recommends that the Planning Commission adopt the draft Planning Commission Report and Recommendation.

Attachments

- Draft Planning Commission Report and Recommendation
- June 6, 2016 Planning Report and Attachments



WAYZATA PLANNING COMMISSION

June 20, 2016

REPORT AND RECOMMENDATION OF DENIAL OF PUD REZONING, PLANNED UNIT DEVELOPMENT PLAN, DESIGN REVIEW, BUILDING HEIGHT VARIANCE, SHORELAND IMPACT PLAN/CONDITIONAL USE PERMIT, AND CONDITIONAL USE PERMIT FOR PENTHOUSE AT 105 LAKE STREET EAST

DRAFT

SUMMARY OF RECOMMENDATIONS

1. **Denial** of Concurrent PUD Concept Plan and General Plan of Development
 2. **Denial** of Rezoning from C-4A/Limited Central Business District to PUD/Planned Unit Development District
 3. **Denial** of Design Review
 4. **Denial** of Height Variance from 35 feet to 35.4 feet
 5. **Denial** of Shoreland Impact Plan/Conditional Use Permit to exceed to maximum height of 35 feet in the Shoreland Overlay District
 6. **Denial** of the Conditional Use Permit for a penthouse structure that is greater than five feet above the maximum building height.
-

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 Project. Homestead Partners (the "Applicant") has submitted a development application (the "Application") for redevelopment of the Meyer Brothers Dairy site located at 105 Lake Street East (the "Property"). The development application includes demolition of the existing vacant commercial building and construction of a three story building with a rooftop penthouse for a roof top terrace. The building would include 23 residential condominium units and 59 enclosed parking spaces (collectively, the "Project").
- 1.2 Application Requests. As part of the Application, the Applicant is requesting approval of the following:
 - A. Concurrent PUD Concept and General Plan of Development Review: A rezoning to PUD requires both concept and general plan of development

review. The applicant is requesting concurrent review of both the concept plan and general plan (the “PUD”).

- B. Rezoning from C-4A to PUD/Planned Unit Development: The property is currently zoned C-4A, and the applicant is requesting a rezoning to PUD (the “Rezoning” or “Zoning Amendment”).
- C. Design Review: Construction of a new building requires design review by City Code Section 801.09.1.5 (the “Design Review”).
- D. Variance from the maximum building height requirement: The maximum building height in the PUD zoning district is 35 feet and 3 stories, whichever is less. The proposed building would be 3 stories in height, but would be 35.4 feet in height, which requires a variance (the “Height Variance”).
- E. Shoreland Impact Plan/Conditional Use Permit for the building height: In addition to the PUD zoning district, the shoreland overlay district also includes a maximum height requirement of 35 feet. The shoreland ordinance states that building heights of over 35 feet may be allowed through approval of a shoreland impact plan/conditional use permit (the “Shoreland Impact Plan/Conditional Use Permit”).
- F. Conditional Use Permit for the penthouse structure: The zoning ordinance establishes a maximum height of 40 feet for mechanical spaces and elevator penthouses. The proposed building includes a penthouse structure to serve a rooftop terrace which would be 16 feet above the roof the building with a total height of 51.4 feet (the “Conditional Use Permit”).

1.3 Property. The addresses, property identification numbers and owner of the parcels comprising the subject property (the “Property”) are:

105 Lake Street E	06-117-22-23-0034	Meyer Properties
-------------------	-------------------	------------------

1.4 Zoning and Land Use Designations. The Property falls within the following districts:

Current zoning:	C-4A/Limited Central Business District
Comp plan designation:	Central Business District

1.5 Notice and Public Hearing. Notice of a public hearing on the Application was published in the *Sun Sailor* on April 21, 2016. A copy of the notice was mailed to all property owners located with 350 feet of the Property on April 21, 2016. The required public hearing was held at the May 2, 2016 Planning Commission meeting.

Section 2. STANDARDS

2.1 Planned Unit Developments (PUDs).

- A. Intent and Purpose of PUDs. The PUD process, outlined in Section 801.33 of the Zoning Ordinance, allows deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., for the purpose of encouraging:
1. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
 2. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
 3. More convenience in location and design of development and service facilities.
 4. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
 5. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
 6. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
 7. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
 8. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.
- B. General Standards. Section 801.33.2.A of the Zoning Ordinance sets forth the general standards for review of any PUD application. These are:
1. Health Safety and Welfare; Intent and Purpose of PUDs; Discretion of Council. In reviewing the PUD application, the Council shall consider comments on the application of those persons appearing before the

Council, the report and recommendations of the Planning Commission, the recommendations on design and any staff report on the application. The Council also shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area and shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the PUD Ordinance. If the Council determines that the proposed project will not be detrimental to the health, safety and welfare of residents of the community and the surrounding area and that the project does conform with the overall intent and purpose of this Section, it may approve a PUD permit, although it shall not be required to do so.

2. Ownership. Applicant/s must own all of the property to be included in the PUD.
3. Comprehensive Plan Consistency. The PUD project must be consistent with the City's Comprehensive Plan.
4. Sanitary Sewer Plan Consistency. The PUD project must be consistent with the City's Sanitary Sewer Plan.
5. Common Open Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
6. Operating and Maintenance Requirements. Whenever common private or public open space or service facilities are provided within a PUD, the PUD plan must contain provisions to assure the continued operation and maintenance of such open space and service facilities to a predetermined reasonable standard. Common private or public open space and service facilities within a PUD must be placed under the ownership of one of the following, as approved by the City Council: (i) dedicated to the public, where a community-wide use is anticipated, (ii) Landlord control, where only tenant use is anticipated, or (iii) Property Owners Association, provided the conditions of 801.33.2.A.6.c are met.
7. Staging of Public and Common Open Space. When a PUD provides for common private or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to

be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.

8. Density. The maximum allowable density in a PUD District shall be determined by standards negotiated and agreed upon between the applicant and the City. In all cases, the negotiated standards shall be consistent with the development policies as contained in the Wayzata Comprehensive Plan.
9. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
10. Utility Connections. All utilities associated with proposed PUD must meet the utility connection requirements of Section 801.33.2.A.10.
11. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
12. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
13. Setbacks. The front, rear and side yard restrictions on the periphery of the Planned Unit Development site at a minimum shall be the same as imposed in the underlying districts, if a PUD conditional use permit, or the previous zoning district, if a PUD District. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern. No building within the PUD project shall be nearer to another building than one-half (1/2) the sum of the building heights of the two (2) buildings. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the allowable setbacks shall be as negotiated and agreed upon between the applicant and the City.
14. Height. The maximum building height to be considered within a PUD District shall be thirty five (35) feet and three (3) stories, whichever is lesser. There shall be no deviation from the height standards applied within the applicable zoning districts for PUD conditional use permits. In PUD Districts for parcels that were zoned commercial prior to PUD and which exceed 13 acres, the maximum allowable height and number of floors shall be as negotiated and agreed upon between the applicant and the City.

- C. Residential Area PUD Standards. Section 801.33.3 sets forth area standards for PUDs which have a residential component. For multiple family residential PUD District projects, the normal standards of either the R-4 or R-5 Zoning Districts shall apply to each project, excepting usage standards, as determined by the City Council and as provided above in Section 801.33.2. In addition to the other standards for PUDs, City Council may impose such other standards for a PUD project as are reasonable and as the Council deems are necessary to protect and promote the general health, safety and welfare of the community and the surrounding area.
- D. Simultaneous Concept and General Plans. In cases of single stage PUDs or for projects of limited size and scope, the applicant may, at the discretion of the Zoning Administrator, submit the General Plan of Development for the proposed PUD simultaneously with the submission of a Concept Plan. The Planning Commission and City Council shall consider such plans simultaneously and shall grant or deny a General Plan of Development in accordance with the provisions of the PUD Ordinance.

2.2 Zoning Ordinance Amendments (Text and Map) / Rezoning.

City Council has the discretion and authority under state law and City Code to amend the City's Zoning Ordinance and Official Zoning Map. Minn. Stat. Sec. 462.357; Wayzata City Code Sec. 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Sec. 462.357, Subd. 4. The existing provisions of the Zoning Ordinance are presumed to be constitutional and otherwise valid. The City has broad discretion in whether to grant or deny a request to rezone. An applicant is only legally entitled to a change in the Zoning Ordinance if they can demonstrate that the existing zoning is unsupported by any rational basis related to the public health, safety and welfare. Under the City's Zoning Ordinance, the City Council acts on any proposed amendment upon receiving the report and recommendation of the Planning Commission. Section 801.03.2. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained in the Zoning Ordinance (i.e., parking, loading, noise, etc.).

- D. The proposed use's effect on the area in which it is proposed.
 - E. The proposed use's impact upon property value in the area in which it is proposed.
 - F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
 - G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.
- 2.3 Design Standards City Code §801.09: The design standards set forth in Section 9 of the Wayzata City Zoning Ordinance are referred to collectively as the "Design Standards" or the "Standards". The purpose of the Design Standards is to shape the City's physical form and to promote the quality, character and compatibility of new development in the City. The Standards function to:
- A. To guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;
 - B. To assist the City in reviewing development proposals;
 - C. To improve the City's public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.
- 2.4 Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:
- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
 - B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
 - C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.

- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
 - E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
 - F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
 - G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
 - H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.
- 2.5 Shoreland Impact Plan/Conditional Use Permit: Section 801.91.19 states that landowners or developers desiring to develop land or construct any dwelling or any other artificial obstruction on land located within any Shoreland District within the City of Wayzata shall first submit a conditional use permit application as regulated by Section 801.04 of this Ordinance and a plan of development, hereinafter referred to as "Shoreland Impact Plan", which shall set forth proposed provisions for sediment control, water management, maintenance of landscaped features, and any additional matters intended to set forth proposed changes requested by the applicant and affirmatively disclose what, if any, change will be made in the natural condition of the earth, including loss of change of earth ground cover, destruction of trees, grade courses and marshes. The plan shall minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible, and shall affirmatively provide for the relocation or replanting of as many trees as possible which are proposed to be removed. The purpose of the shoreland impact plan shall be to eliminate and minimize as much as possible potential pollution, erosion and siltation.
- 2.6 Conditional Use Permits: City Code Section 801.04.2.F. states that the Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:
- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.

- B. The proposed use's compatibility with present and future uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property values in the area in which it is developed.
- F. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Section 3. FINDINGS

Based on the Application materials, additional materials submitted by the Applicant, staff reports, public comment and information presented at the hearing, and the standards of the Wayzata Zoning and Subdivision Ordinances, the Planning Commission of the City of Wayzata makes the following findings of fact:

3.1 PUD.

- A. Intent and Purpose of PUDs. The PUD represented in the Application does not conform with all of the factors outlined in Section 33 of the Zoning Ordinance that represent the overall intent and purpose of a PUD in that Proposed PUD:
 - 1. Does not represent a greater variety in type, design, and placement of structures, or the conservation of land on the Property.
 - 2. Does not appear to represent higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
 - 3. Does not preserve or enhance desirable site characteristics, including the natural topography and geologic features, and wetlands, mature trees and vegetation, but instead have negative impact on such features.
 - 4. Does not show a development pattern in harmony with the objectives of the Wayzata Comprehensive Plan but rather appears to be a means to vary applicable planning and zoning principles of the applicable current zoning district.

5. Would not result in a more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.
- B. General Standards. The PUD does not satisfy all of the general standards listed in Section 801.33.2.A of the Zoning Ordinance and in Section 2.1 of this Report.
1. Greater Flexibility of PUD Not Justified. The Project deviates from the requirements of the current zoning district. The Property is currently zoned C-4A/Limited Central Business District. The C-4A district establishes a maximum building height of two (2) stories and thirty (30) feet, and the proposed building would be three (3) stories and 35.4 feet in height. It is not the intent of the PUD ordinance to waive the standards for a development project. Rather, a PUD allows modifications of the strict standards for projects that meet a specific purpose, as outlined in Section 3 of this Report. As outlined above, the Project does not meet the Purpose of the PUD Ordinance, and therefore the flexibility on building height is not justified.
 2. Building Height: The Project exceeds the maximum building height of the PUD district of 35 feet.
- 3.2 Zoning Ordinance Amendment / Rezoning.
- A. Rezoning to PUD is contingent on approval of the requested PUD, which the Planning Commission recommends denying for reasons stated in the preceding sections of this Report.
 - B. The uses associated with the requested Rezoning will have adverse effects, including on the residential area in which it is proposed, as noted elsewhere in this Report.
- 6.3 Design Review: The Project does not meet all of the Design Standards outlined in City Code Section 801.09, and the Applicant has not demonstrated that the negative impact of granting a deviation is outweighed by the factors outlined in City Code Section 801.09.21.1.A:
- A. Building recession: The third level of the proposed building is partially recessed from the second level. The third level along Lake Street is stepped back 10 feet for most, but not the entire length of the Lake Street elevation. The third level along Ferndale is not stepped back from the second level at all. The design standards require the entire third floor to be recessed from the lower floors. In addition, the second story must be recessed for 25

percent of the façade length, and the proposed second story is not recessed from the first level.

- B. Ground level expression: The proposed building does not include the required elements to distinguish the ground floor from the upper floors.
- C. Ferndale sidewalk: The proposed site plan includes a 12-foot wide sidewalk along Lake Street that would meet the design standards and the City's Lake Street sidewalk specifications. However, the Ferndale Road streetscape includes a 6-foot wide concrete sidewalk. The design standards require a sidewalk of at least 12 feet in width of exposes aggregate surface along all street frontages. There is not currently a sidewalk along either side of Ferndale Road that the proposed sidewalk could connect to. However, the Ferndale Road sidewalk would still require a deviation from the design standard.
- D. Mechanical equipment on the roof: The proposed plans include mechanical equipment that would be located on the roof of the building that would be screened by the penthouse structure and a parapet screening wall. The design standards for the Lake Street District state that there may be no mechanical equipment on the roof deck and all such equipment must be located within the interior of the structure.
- E. Roof color: The proposed building would have a flat roof which would be comprised of a tan colored membrane. The tan color would not meet the design standards which require a dark colored flat roof.
- F. Boulevard trees along Lake Street: The boulevard trees along Lake Street are placed 38 feet apart, which is greater than the 26 feet specified in the design standards.

3.4 Height Variance.

- A. The Height Variance is contingent on approval of the requested PUD, which the Planning Commission recommends denying for reasons stated in the preceding sections of this Report.
- B. The Applicant has not set forth the reasons that the Height Variance is justified under the criteria of City Code Section 801.05.1.C in order to make reasonable use of the land, structure or building.

3.5 Shoreland Impact Plan/Conditional Use Permit:

- A. Although the Shoreland Overlay district allows for a maximum building height of thirty five (35) feet, the underlying C-4A zoning only allows for a maximum building height of two (2) stories or thirty (30) feet, which the proposed

building would exceed. The Planning Commission recommends denying the requested PUD for reasons stated in the preceding sections of this Report.

3.6 Conditional Use Permit.

- A. The Conditional Use Permit is contingent on approval of the requested PUD, which the Planning Commission recommends denying for reasons stated in the preceding sections of this Report.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in section 3 of this Report, the Planning Commission recommends **DENIAL** of the (1) PUD; (2) Rezoning; (3) Design Review; (4) Height Variance; (5) Shoreland Impact Plan/Conditional Use Permit; and (6) Conditional Use Permit requested in the Application.

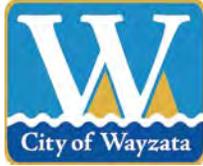
Adopted by the Wayzata Planning Commission this 20th day of June 2016.

Voting In Favor:

Voting Against:

Abstaining:

Chair, Planning Commission



**Planning Report
Wayzata Planning Commission
June 6, 2016**

Project Name: Meyer Place on Ferndale
Applicant Homestead Partners, LLC
Addresses of Request: 105 Lake Street E
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: June 6, 2016
City Council Review: July 5, 2016
“60 Day” Deadline: July 26, 2016

Development Application

Introduction

The applicant, Homestead Partners, and the property owner, Meyer Properties have submitted a development application to redevelop the Meyer Brothers Dairy site at 105 Lake Street E. The development application includes demolition of the existing vacant commercial building and construction of a three story building with a rooftop penthouse for a roof top terrace. The building would include 23 residential condominium units and 59 enclosed parking spaces. The applicant has submitted revised plans for the project, which are included on Attachment A.

Revised Building Plans

The Planning Commission reviewed the development application at its meeting on May 2, 2016. The applicant has revised the plans for the project based on the discussion at the Planning Commission meeting. The following summarizes the changes:

- The building setback from the north property line has been increased from 15 feet to 20 feet to meet the minimum requirement. The proposal no longer requires a setback variance.
- The building has been reduced in height from 4 stories to 3 stories.
- The number of condominium units has remained the same.
- The number of underground parking stalls has been increased from 48 stalls to 59 stalls.
- The building continues to include a roof top terrace that would be served by a penthouse structure containing elevator, staircases, and restroom facilities.

- The surface parking stalls have been relocated from underneath the upper levels of the building to the back of the building.
- The landscape plans have been updated to provide enhanced streetscaping along Lake Street, including a wider sidewalk consisting of the City's sidewalk specifications, additional trees planted with tree grates, and enhanced landscaping along the ground level of the building and at the building entrance.

Additional Information

In addition to the revised building and civil engineering plans, the applicant has submitted cross sections of the proposed building and a shadow study outlining wintertime shading conditions onto surrounding properties.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
105 Lake Street E	06-117-22-23-0034	Meyer Properties

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	C-4A/Limited Central Business District
Comp plan designation:	Central Business District
Total site area:	42,943 square feet (0.99 acres)

Project Location

The property is located on the northeast corner of the Lake St E/Ferndale Rd S intersection.

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Rezoning from C-4A to PUD/Planned Unit Development: The property is currently zoned C-4A, and the applicant is requesting a rezoning to PUD.
- B. Concurrent PUD Concept and General Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The applicant is requesting concurrent review of both the concept plan and general plan.
- C. Design Review: Construction of a new building requires design review by City Code Section 801.09.1.5.
- D. Variance from the maximum building height requirement: The maximum building height in the PUD zoning district is 35 feet and 3 stories, whichever is less. The proposed building would be 3 stories in height, but would be 35.4 feet in height, which requires a variance.
- E. Shoreland Impact Plan/Conditional Use Permit for the building height: In addition to the PUD zoning district, the shoreland overlay district also includes a maximum height requirement of 35 feet. The shoreland ordinance states that building heights of over 35 feet may be allowed through approval of a shoreland impact plan/conditional use permit.

F. Conditional Use Permit for the penthouse structure: The zoning ordinance establishes a maximum height of 40 feet for mechanical spaces and elevator penthouses. The proposed building includes a penthouse structure to serve a rooftop terrace which would be 16 feet above the roof the building with a total height of 51.4 feet. This requires a conditional use permit.

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Ferndale Ridge townhomes	PUD/Planned Unit Development	Medium Density Multiple Family
East	Wayzata Bay Car Wash	C-4A/Limited Central Business District	Central Business District
South	TCF office building	PUD/Planned Unit Development	Central Business District
West	Office building	PUD/Planned Unit Development	Central Business District

Analysis of Application

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Central Business District. The objective of the Central Business District land use category is to promote a diversity of retail, office, service, and residential land uses at a high level of development quality to enhance it as a regional destination. The Comprehensive Plan includes the follow “1st Tier” priorities for the Central Business District:

- Allow a mix of commercial, office, and residential uses that strengthen the CBD as the shopping, employment, and entertainment destination of Wayzata.
- Update development standards continually to assure the highest development quality possible for the Central Business District.
- Complement the CBD and its strong sense of place through land use choices, urban design principles, traffic, parking, and architectural style.
- Investigate strategies to increase retail vitality throughout the CBD. 2.5 Define and evaluate on-street/off-street parking needs consistent with land use, and requirements within the CBD so as to emphasize circulation ease and access control.

- Continue to provide a safe, comfortable, and attractive pedestrian scale environment through the enhancement of the pedestrian circulation system by improving sidewalks, walkways and street furniture; mitigating conflicts with traffic and street intersections, and by providing proper demarcation and sign control.
- Enhance the image and identity of the CBD by emphasizing street trees and landscaping elements.
- Plan for an orderly transition between the CBD development and adjacent residential neighborhoods.
- Accommodate traffic without negatively compromising the integrity of the downtown and its adjacent neighborhoods.
- Consider complementing abutting edges, both residential and retail/commercial.
- Consider public financial support that is fiscally responsible and provides value to the City's infrastructure and community systems.
- Consider ways to assist with redevelopment when properties become a liability to the community.
- Commercial buildings on Lake Street, west of Barry Avenue, should not be required to have a first floor retail use, although it is allowed and encouraged. Transparency requirements under the Lake Street District of the Design Standards remain in effect.
- Identify ecological and water quality impacts on the lake and other water bodies caused by proposed land use developments, for example stormwater runoff, and work to mitigate these impacts.

In addition, the Comprehensive Plan includes the following “2nd Tier” priorities:

- Plan development of parking so that it is not a focal point but rather placed behind buildings with appropriate buffers and landscaping.
- Adjust City's Zoning Ordinance to address concerns of sun-orientation on southern side of Lake Street by requiring upper story setbacks for all new construction to avoid shading the north side of Lake Street.
- Continue to evaluate ways to encourage a variety of housing options for upper-story housing.

- Consider 3rd story' uses with appropriate considerations for design and scale. Commercial and residential uses are allowed as a third story, but the third story must be set back significantly more from the front facade of the floor below.

Zoning

The Property is currently zoned C-4A/Limited Central Business District. The proposed project deviates from the requirements of the C-4A zoning district. Specifically, the C-4A district has a maximum building height requirement of 30 feet or 2 stories, whichever is less. In addition, the C-4A district requires that at least 50 percent of the building frontage on the Lake Street ground level must be used for retail or service commercial uses, and new buildings on Lake Street must be developed with more than one of the following uses: retail, service, residential, and office. The applicant has requested a rezoning to PUD for two reasons. The first reason is to allow for a taller building than is permitted in the C-4A zoning district. The second reason is that the proposed building would be 100 percent residential use, and would not meet the retail, service, and mixed use requirements of the C-4A zoning district.

The PUD zoning district is an ordinance that can be used to allow for greater flexibility in development by incorporating design modifications from the strict application of the standard zoning district requirements. It is not the intent of the PUD ordinance to not apply any standards to a development project. Rather, it allows modifications of the strict standards for projects that meet a specific purpose, as outlined in "Applicable Code Provisions" section of this report. In addition, the PUD zoning district establishes general standards for a PUD, which are also outlined below.

Building Height

The proposed building would be three stories and 35.4 feet in height. In addition to the three stories of condominiums, the proposed building also includes a rooftop terrace that would be served by a penthouse structure. The penthouse structure includes an elevator, two staircases for access, a corridor to access the staircase, and bathrooms. The elevator, staircases, and corridor are required by the building code if there is an occupy-able space on the roof. The state building code does not consider a penthouse structure as a story of the building. The height of the building, as defined in the City's zoning ordinance, is measured to the top of a flat roof of the highest story, which would be 35.4 feet. The proposed building requires a variance from the maximum height requirement from 35 feet to 35.4 feet.

The proposed penthouse structure extends 11 feet above the roof elevation with an additional 5 feet in height for the elevator overrun. The zoning ordinance establishes a maximum building height for mechanical spaces and elevator penthouses of 40 feet or five feet greater than the maximum building height, whichever is greater. The maximum height for the penthouse structure is therefore 40 feet, which the proposed structure would exceed by 6 feet to the penthouse roof and 11 feet to the elevator overrun. The proposed building requires a conditional use permit for the penthouse structure.

Design Review

The project is subject to the design standards for the Lake Street design district. A updated design review critique of the revised plans is included as Attachment B. The proposed project does not meet several of the design standards. The following summarizes the items that do not meet the design standards. The detailed information is included in the design review critique:

- Building recession: The third level of the proposed building is partially recessed from the second level. The third level along Lake Street is stepped back 10 feet for most, but not the entire length of the Lake Street elevation. The third level along Ferndale is not stepped back from the second level at all. The design standards require the entire third floor to be recessed from the lower floors. In addition, the second story must be recessed for 25 percent of the façade length, and the proposed second story is not recessed from the first level.
- Ground level expression: The proposed building does not include the required elements to distinguish the ground floor from the upper floors.
- Ferndale sidewalk: The proposed site plan includes a 12-foot wide sidewalk along Lake Street that would meet the design standards and the City's Lake Street sidewalk specifications. However, the Ferndale Road streetscape includes a 6-foot wide concrete sidewalk. The design standards require a sidewalk of at least 12 feet in width of exposes aggregate surface along all street frontages. There is not currently a sidewalk along either side of Ferndale Road that the proposed sidewalk could connect to. However, the Ferndale Road sidewalk would still require a deviation from the design standard.
- Mechanical equipment on the roof: The proposed plans include mechanical equipment that would be located on the roof of the building that would be screened by the penthouse structure and a parapet screening wall. The design standards for the Lake Street District state that there may be no mechanical equipment on the roof deck and all such equipment must be located within the interior of the structure.
- Roof color: The proposed building would have a flat roof which would be comprised of a tan colored membrane. The tan color would not meet the design standards which require a dark colored flat roof.
- Boulevard trees along Lake Street: The boulevard trees along Lake Street are placed 38 feet apart, which is greater than the 26 feet specified in the design standards.

Parking

The City's parking ordinance establishes the minimum number of parking stalls that must be provided in a development. For a multiple family development, the parking ordinance requires a minimum of two fee-free spaces for each dwelling unit, of which one must be enclosed. The proposed building consists of 23 dwelling units and 59

enclosed parking spaces within an underground parking garage. In addition, there would be 6 guest parking stalls in a surface parking stall located behind the building. The surface parking lot would be screened from the property to the north by a hedge of 8-foot tall arborvitae that would be planted along the north property line. The proposed project provides 2.5 stalls per dwelling unit, plus 6 additional guest parking stalls, which meets the requirements of the City's parking ordinance.

Site Access and Circulation

The proposed site plan includes one driveway access on the east side of the site from Lake Street. The driveway would provide access to the guest surface parking stalls and to the underground parking garage entrance, which would be located along the back side of the building.

Applicable Code Provisions for Review

Amendments to Zoning Ordinance (Section 801.03.2.F): City Council has the discretion and authority under state law and City Code to amend the City's Zoning Ordinance. Minn. Stat. Section 462.357; Wayzata City Code Section 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Section 462.357, Subd. 4. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission and City Council shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design

modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.

- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
- H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
- I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
- J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
- K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.

Concurrent PUD Plan – 801.33.5. In cases of single stage PUDs or for projects of limited size and scope, the applicant may, at the discretion of the Zoning Administrator, submit the General Plan of Development for the proposed PUD simultaneously with the submission of a Concept Plan. The applicant shall comply with all provisions of this section applicable to submission of General Plan of Development. The Planning Commission and City Council shall consider such plans simultaneously and shall grant or deny a General Plan of Development in accordance with the provisions of Section 801.33.6 hereof.

Design Standards City Code §801.09: The design standards set forth in Section 9 of the Wayzata City Zoning Ordinance are referred to collectively as the “Design Standards” or the “Standards”. The purpose of the Design Standards is to shape the City’s physical form and to promote the quality, character and compatibility of new development in the City. The Standards function to:

- A. To guide the expansion and renovation of existing structures and the construction of new buildings and parking, within the commercial districts of the City;
- B. To assist the City in reviewing development proposals;
- C. To improve the City's public spaces including its streets, sidewalks, walkways, streetscape, and landscape treatments.

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.

- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

Shoreland Impact Plan/Conditional Use Permit: Section 801.91.19 states that landowners or developers desiring to develop land or construct any dwelling or any other artificial obstruction on land located within any Shoreland District within the City of Wayzata shall first submit a conditional use permit application as regulated by Section 801.04 of this Ordinance and a plan of development, hereinafter referred to as "Shoreland Impact Plan", which shall set forth proposed provisions for sediment control, water management, maintenance of landscaped features, and any additional matters intended to set forth proposed changes requested by the applicant and affirmatively disclose what, if any, change will be made in the natural condition of the earth, including loss of change of earth ground cover, destruction of trees, grade courses and marshes. The plan shall minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible, and shall affirmatively provide for the relocation or replanting of as many trees as possible which are proposed to be removed. The purpose of the shoreland impact plan shall be to eliminate and minimize as much as possible potential pollution, erosion and siltation.

Conditional Use Permits: City Code Section 801.04.2.F. states that the Planning Commission and City Council shall consider possible adverse effects of the proposed conditional use. Their judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's compatibility with present and future uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property values in the area in which it is developed.
- F. Traffic generated by the proposed use is in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets and utilities, and the City's service capacity.

Action Steps

After considering the items outlined in this report, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

- Attachment A: Revised Plans
- Attachment B: Updated Design Review Critique



VIEW AT MAIN ENTRANCE

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



VIEW FROM LAKE ST AND FERNDALE

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



VIEW FROM SOUTHEAST CORNER

5/26/16



VIEW FROM NORTHEAST CORNER

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



VIEW FROM NORTHWEST CORNER

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



AERIAL VIEW FROM THE SOUTH

5/26/16

JMS CUSTOM HOMES

MEYER PLACE ON FERNDALE

WHITTEN ASSOCIATES, INC.



SITE PLAN RENDERING

5/26/16



MAIN LEVEL PLAN
 1/32"=1'-0"

5/26/16



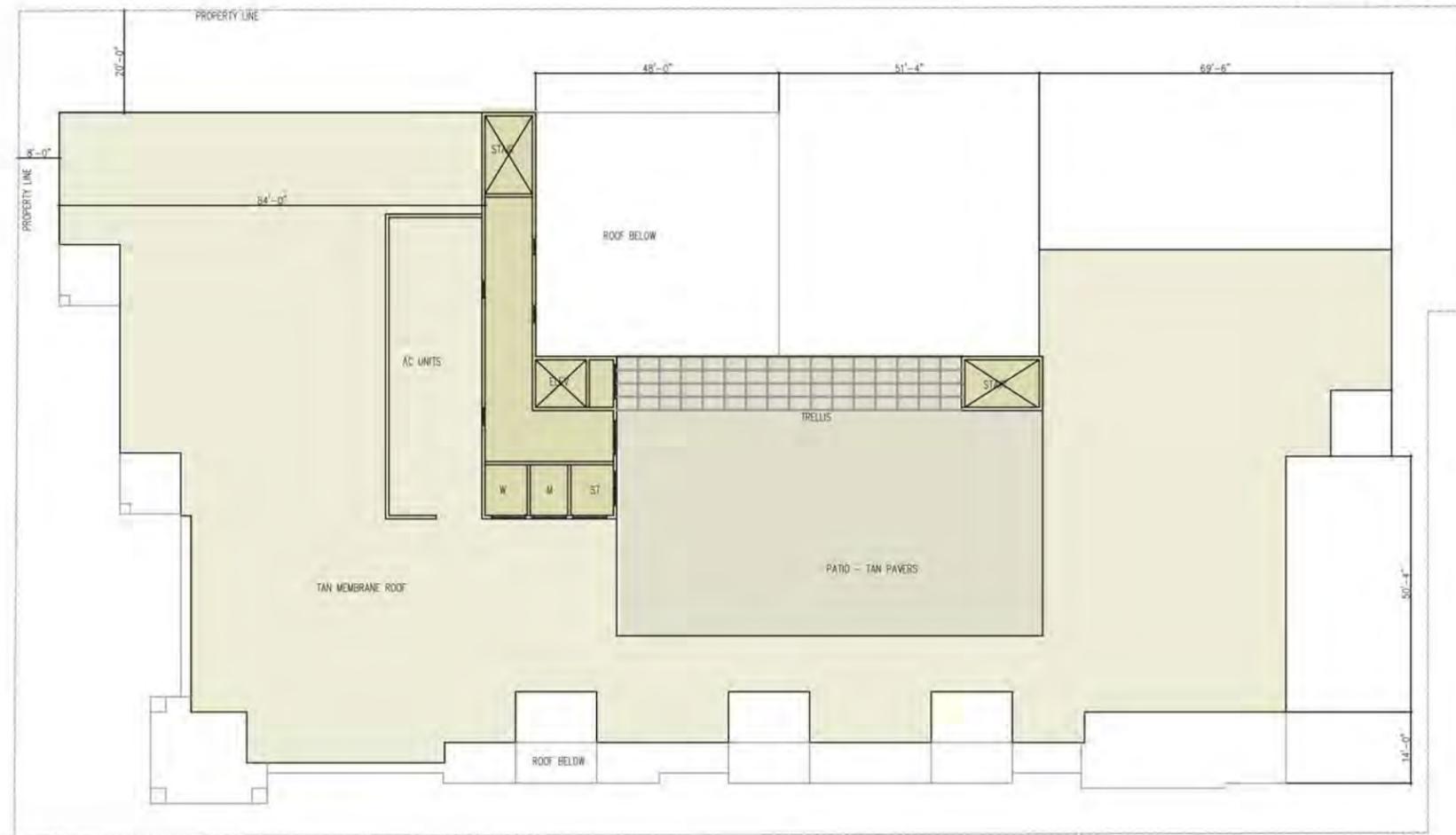
SECOND LEVEL PLAN
 1/32"=1'-0"

5/26/16



THIRD LEVEL PLAN
 1/32"=1'-0"

5/26/16



ROOF PLAN
 1/32"=1'-0"

5/26/16



SOUTH ELEVATION

MAIN LEVEL INCLUDES A MINIMUM OF 50% TRANSPARENT GLASS. THE GLASS WILL NOT BE MIRRORED, REFLECTIVE OR DARKENED BUT WILL HAVE A SLIGHT GREY TINT.

A MINIMUM OF 90% OF ALL EXTERIOR ELEVATIONS WILL BRICK, STONE OR STUCCO.

THE BRICK IS TO BE DARK BROWN WITH CHARCOAL CONCAVE MORTAR NO LARGER THAN 1/4".

CORNICES AND DECK COLUMNS ARE TO BE FIBER CEMENT BOARD BUT NO GREATER THAN 10% OF THE NON-GLASS SURFACES.

LINTELS AND SILLS ARE TO BE PRECAST STONE.

FLASHING AT PARAPETS AND ROOF EDGES ARE TO BE .032" PAINTED ALUMINUM WITH A MAXIMUM EXPOSED EDGE OF 5".

TRELLISES ARE TO BE DARK METAL.

DECK AND ROOF PATIO RAILINGS ARE TO BE DARK METAL WITH GLASS PANELS.

EXTERIOR LIGHT EXAMPLE:



BRICK SAMPLE:



STONE SAMPLE:



STUCCO COLOR #1; SW 9101



STUCCO COLOR #2; SW 6142



5/26/16



EAST ELEVATION

5/26/16



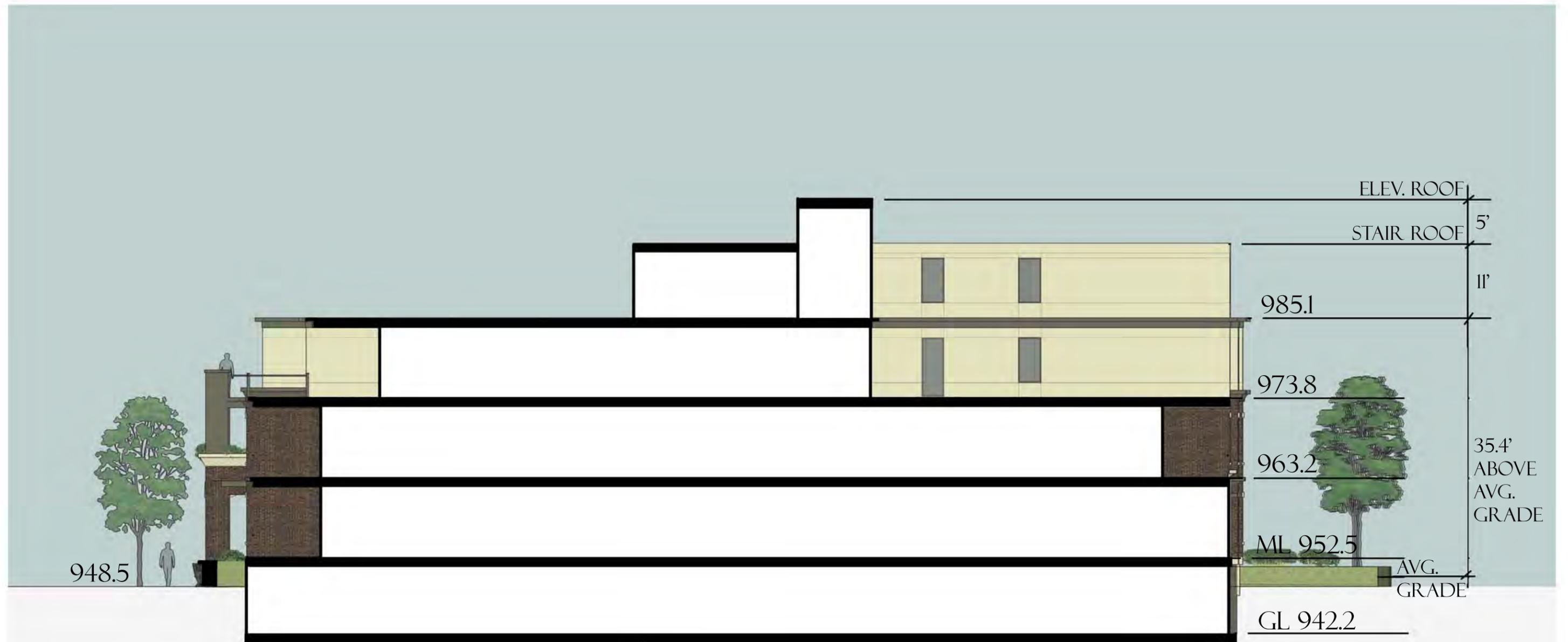
NORTH ELEVATION

5/26/16



WEST ELEVATION

5/26/16



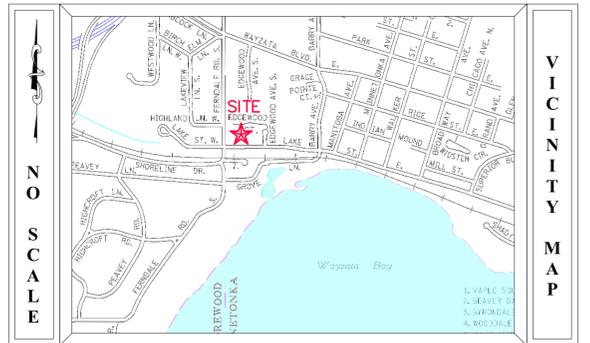
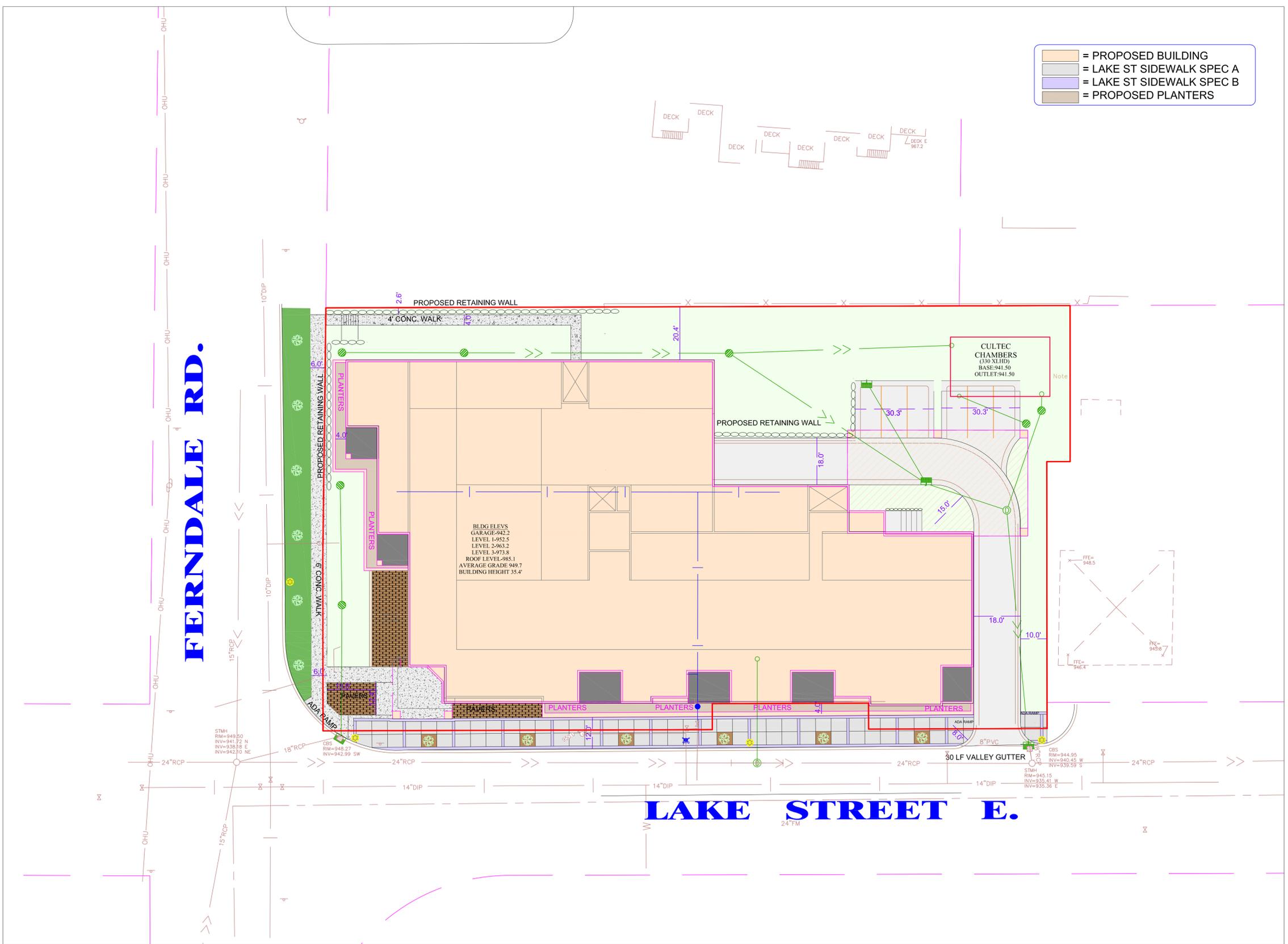
BUILDING CROSS SECTION

5/27/16



PERSPECTIVE CROSS SECTION

5/27/16



SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERBARI		
BUILDING SETBACK BOUNDARY		
PRICED BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAINABLE ISLANDS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/INLET		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/BACKFLOW ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TRC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		

PROFESSIONAL CONSULTANTS			
	Company	NAME	ADDRESS
Developer	Homestead Partners	Jason Biederwolf	525 15th Ave S, Hopkins, MN 55343
Architect	Whitten Associates	Tim Whitten	4159 Heatherton Pl, Minnetonka, MN 55345
Attorney	Fabynsks, Westra, Hart & Thomson, P.A.	Gary Eidson	333 S 7th St, Suite 2600, Minneapolis, MN 55402
Land Planner	Whitten Associates	Whitten Associates	4159 Heatherton Pl, Minnetonka, MN 55345
Engineer	Sathre-Bergquist, Inc	Robert Molstad	150 South Broadway, Wayzata, MN 55391
Surveyor	Sathre-Bergquist, Inc	Dave Pemberton	150 South Broadway, Wayzata, MN 55391

SHEET INDEX TABLE	
SHEET	Description
SP	Site Plan
AA	ALTA
FP	Final Plat
DP	Demolition Plan
GP / EC	Grading & Erosion Control Plan
UP	Utility Plan

LANDSCAPE LEGEND	
	PROPOSED ROW TREE
	PROPOSED BOULEVARD SOD
	PROPOSED SITE POST CONSTRUCTION SOD

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM CONTACT: THOMAS WELSHINGER EMAIL: TWELSHINGER@SATHRE.COM	DEVELOPER HOMESTEAD PARTNERS, LLC 525 15th AVENUE SOUTH HOPKINS, MN 55343 CONTACT: JASON BIEDERWOLF PHONE: (612) 272-9701 EMAIL: JASONB@HOMESTEAD-PARTNERS.COM

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DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE-MEYERS	01	TCW	01/20/16	LETTER REVIEW
DRAWN BY	02	TCW	02/24/16	BUILDING DESIGN CHANGE
RSM	03	TCW	03/17/16	BUILDING DESIGN CHANGE
CHECKED BY	04	CAW	04/28/16	ELIMINATE INFILTRATION
RSM	05	TCW	05/19/16	BUILDING DESIGN CHANGE
DATE				
05/27/16				

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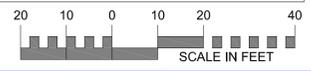
Robert S. Molstad
 ROBERT S. MOLSTAD, P.E.
 Date: 05/27/16 Lic. No. 26428

ENGINEERS SURVEYORS DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. ---

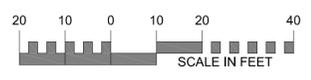
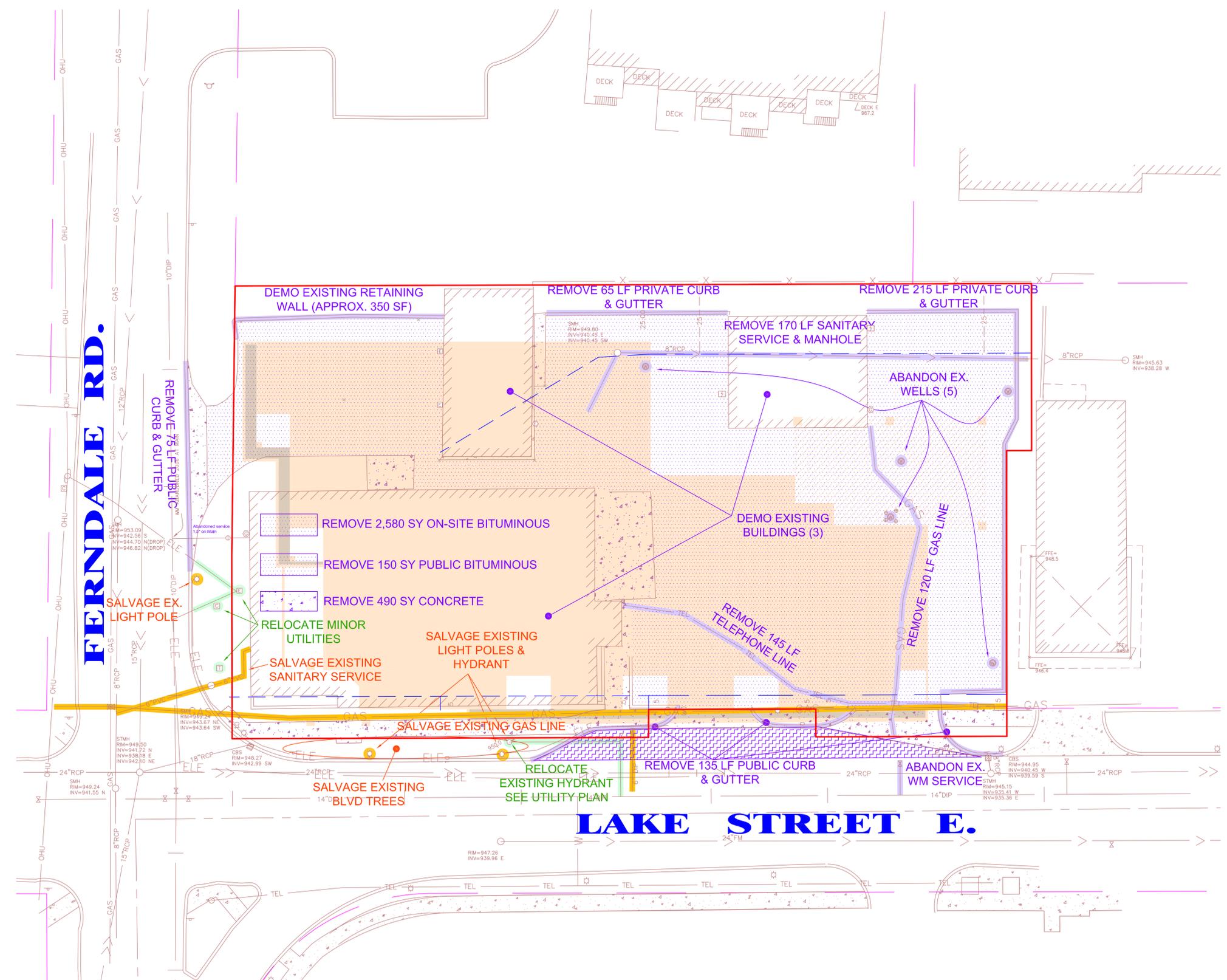
WAYZATA, MINNESOTA



SITE AND LANDSCAPE PLAN
 MEYER PLACE AT FERNDALE
 HOMESTEAD PARTNERS, LLC.

FILE NO. 37865-003

SP SP



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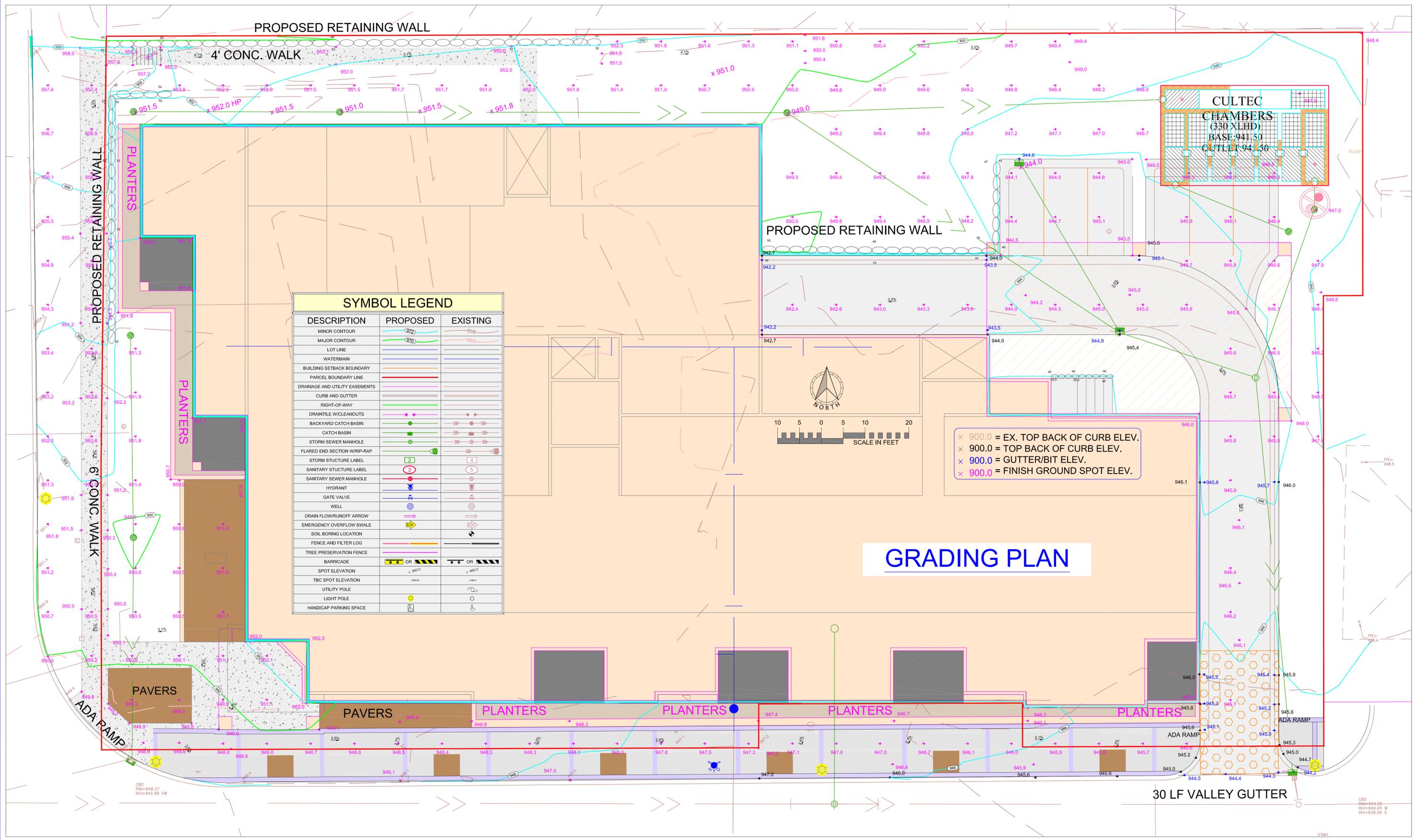
SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

WAYZATA, MINNESOTA

DEMOLITION PLAN
 MEYER PLACE AT FERNDALE
 HOMESTEAD PARTNERS, LLC.

FILE NO.
 37865-003
DP



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RSM	05	TCW	05/19/16	BUILDING DESIGN CHANGE				
DATE			05/27/16					
							WAYZATA, MINNESOTA	GP
							GRADING PLAN	GP
							MEYER PLACE AT FERNDALE	
							HOMESTEAD PARTNERS, LLC.	

PROJECT: MEYER PLACE AT FERNDALE

Location:Wayzata, MN

Prepared for: Homestead Partners, LLC.

Prepared by: Sathre-Bergquist, Inc.

Date: December 1, 2015

Revised: April 28, 2016

Subject: Volume Control (Abstraction)

Overall Existing Impervious Surface:	42332	
Overall Proposed Impervious Surface:	<u>35103</u>	
Difference:	7229	17.1% Reduction in Impervious Surface

Currently there are no stormwater BMP's to promote stormwater management. As seen above, we are proposing a reduction of 17.1% of impervious surface over the existing condition. This hardcover reduction would reduce the runoff rate, lower the nutrient loading and send a lower volume of runoff offsite. However to further aid in the Stormwater Management in Wayzata, we are proposing to do additional volume management.

For this project, our initial intention was to provide 0.5" of volume retention over the entire proposed impervious surface. However due to site grades and the proximity of the groundwater table (937.5), we are unable to drain the driveway runoff due to groundwater separation limitations.

We then proposed instead to provide 0.8" of volume retention over the proposed building. We will collect the roof water runoff, and direct it to the northeast corner of the site and into an underground stormwater chamber system. The system is sized for retaining and infiltrating 0.8" over the roof area. However soils in the area do not allow infiltration due to contamination. As a result we are proposing to store stormwater in a subsurface chamber for use in the irrigation system. Stormwater will be pumped from this chamber to the irrigation system and used to irrigate the open space on the property. This storage system was designed to store 0.8" of volume over the proposed building, the same volume that was proposed to be infiltrated.

Proposed Roof Area: 25,500 SF

Chamber System (Elevations):

Proposed Outlet Elevation:	943.6 ft
Proposed Infiltration Elevation:	<u>942.0 ft</u>
	1.6 ft

Chamber System (Volume):

0.8" Runoff:	0.039 af
Chamber System Volume:	0.039 af

CONSTRUCTION NOTES

- INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OR DIRECTED BY THE ENGINEER.
- THE INLET PROTECTION SHALL BE INSTALLED INTO EXISTING CATCH BASINS AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER TREATMENT DURING CONSTRUCTION. SAND AND SILT MUST BE REMOVED FROM THE INLET PROTECTION AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.
- BEGIN GRADING. INSTALL INLET PROTECTION. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. INSTALL SILT FENCE AROUND EXCAVATED BASINS.
- NATIVE TOPSOIL MUST BE RETAINED ON-SITE TO THE GREATEST EXTENT POSSIBLE.
- INSPECT BASINS, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.
- ALL SLOPES 3:1 MAX (UNLESS NOTED)
- RESTORATION - (X.X ACRES)
 - RESTORE ALL DISTURBED AREAS WITH A MINIMUM 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MATERIAL.
 - SEED ALL PVIOUSLY DISTURBED AREAS WITH MNDOT 250 AT A RATE OF 100 LBS./ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS./ACRE. (UNLESS OTHERWISE NOTED)
 - ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.
 - MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE EROSION BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.
 - PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED. REFER TO CITY DETAILS FOR APPROVED DEVICES. INLET PROTECTION MUST BE INSTALLED IN THE RECEIVING CATCHBASINS WEST OF THE SITE.
 - MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.
 - RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
- CHAIN LINK FENCE AND FILTER LOG - 550 LF
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION AND VEGETATION IS ESTABLISHED SUFFICIENTLY TO ENSURE STABILITY OF THE SITE, AS DETERMINED BY THE RILEY PURGATORY BLUFF CREEK WATERSHED DISTRICT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs MUST BE REMOVED UPON FINAL STABILIZATION.
- THE PERMITTEE MUST, AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES EVERY DAY WORK IS PERFORMED ON THE SITE AND AT LEAST WEEKLY UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, THE PERMITTEE MUST PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED.

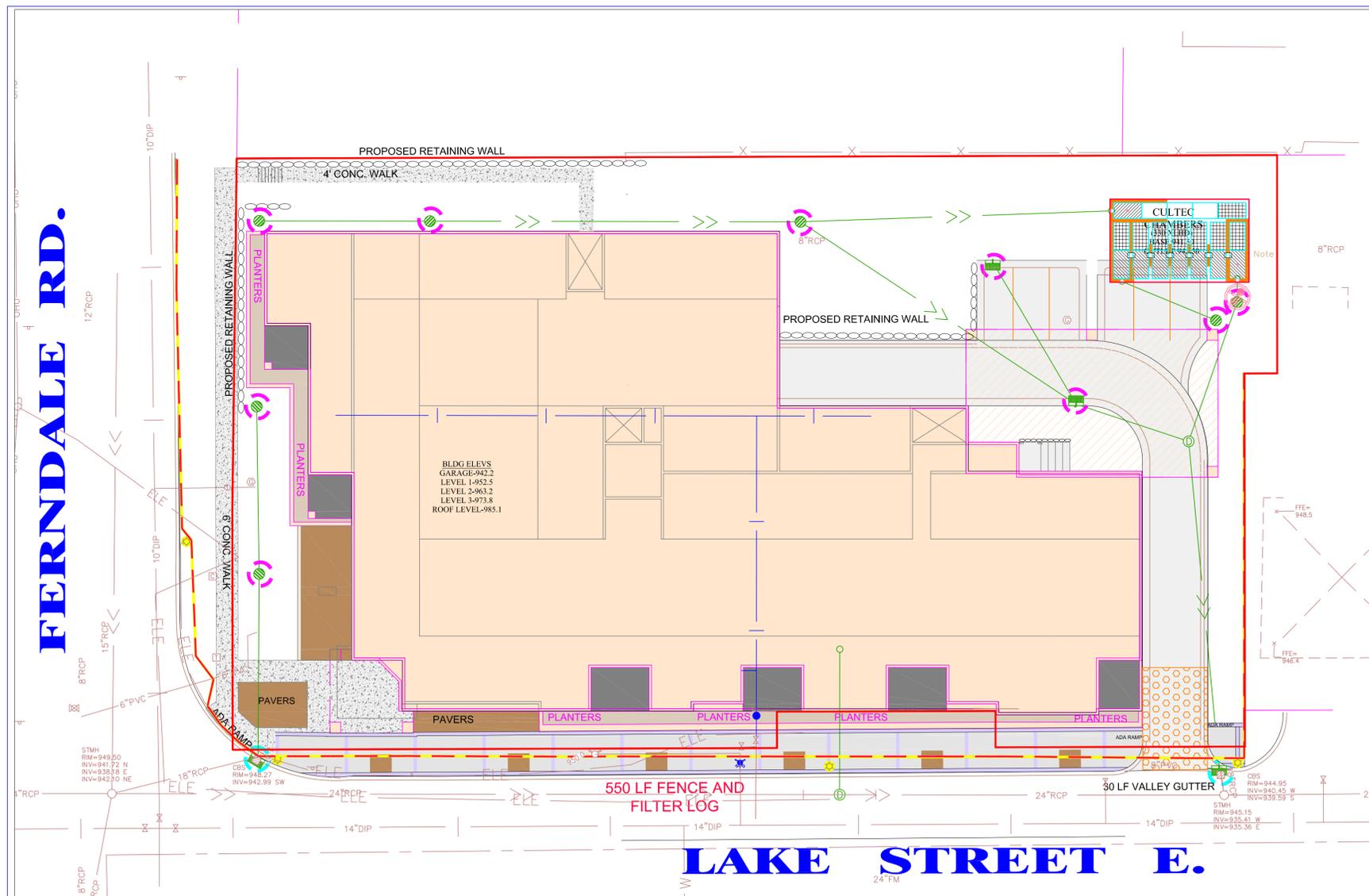
GENERAL NOTES:

- THE GRADING CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER AND DEVELOPER ON A WEEKLY BASIS.
- THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES IN ACCORDANCE WITH THE CITY FOR ALL STORM SEWER INLETS AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN RESTORATION HAS BEEN ESTABLISHED.
- ALL RETAINING WALLS OVER FOUR FEET HIGH MUST BE STRUCTURALLY DESIGNED BY A PROFESSIONAL ENGINEER AND A PERMIT MUST BE OBTAINED PRIOR TO CONSTRUCTION.
- A 1'-2" CRUSHED ROCK ENTRANCE BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REPLACE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERMS SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES. (SEE DETAIL)
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL.
- EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.
- PROPER MANAGEMENT OF ALL SITE WASTE, INCLUDING TO BUT NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE, MUST BE DISCARDED IN ACCORDANCE TO THE SWPPP.

EROSION CONTROL PLAN

	ROCK ENTRANCE BERM		CHAIN LINK FENCE AND FILTER LOG
	INLET PROTECTION		EXISTING INLET PROTECTION

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAINTILE W/CLEANOUTS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/RIP-RAP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		



NORTH

SCALE IN FEET

- x 900.0 = EX. TOP BACK OF CURB ELEV.
- x 900.0 = TOP BACK OF CURB ELEV.
- x 900.0 = GUTTER/BIT ELEV.
- x 900.0 = FINISH GROUND SPOT ELEV.

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CHECKED BY	04	CAW	04/28/16	ELIMINATE INFILTRATION
RSM	05	TCW	05/19/16	BUILDING DESIGN CHANGE
DATE				
05/27/16				

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Robert S. Molstad
ROBERT S. MOLSTAD, P.E.
Date: 05/27/16 Lic. No. 26428

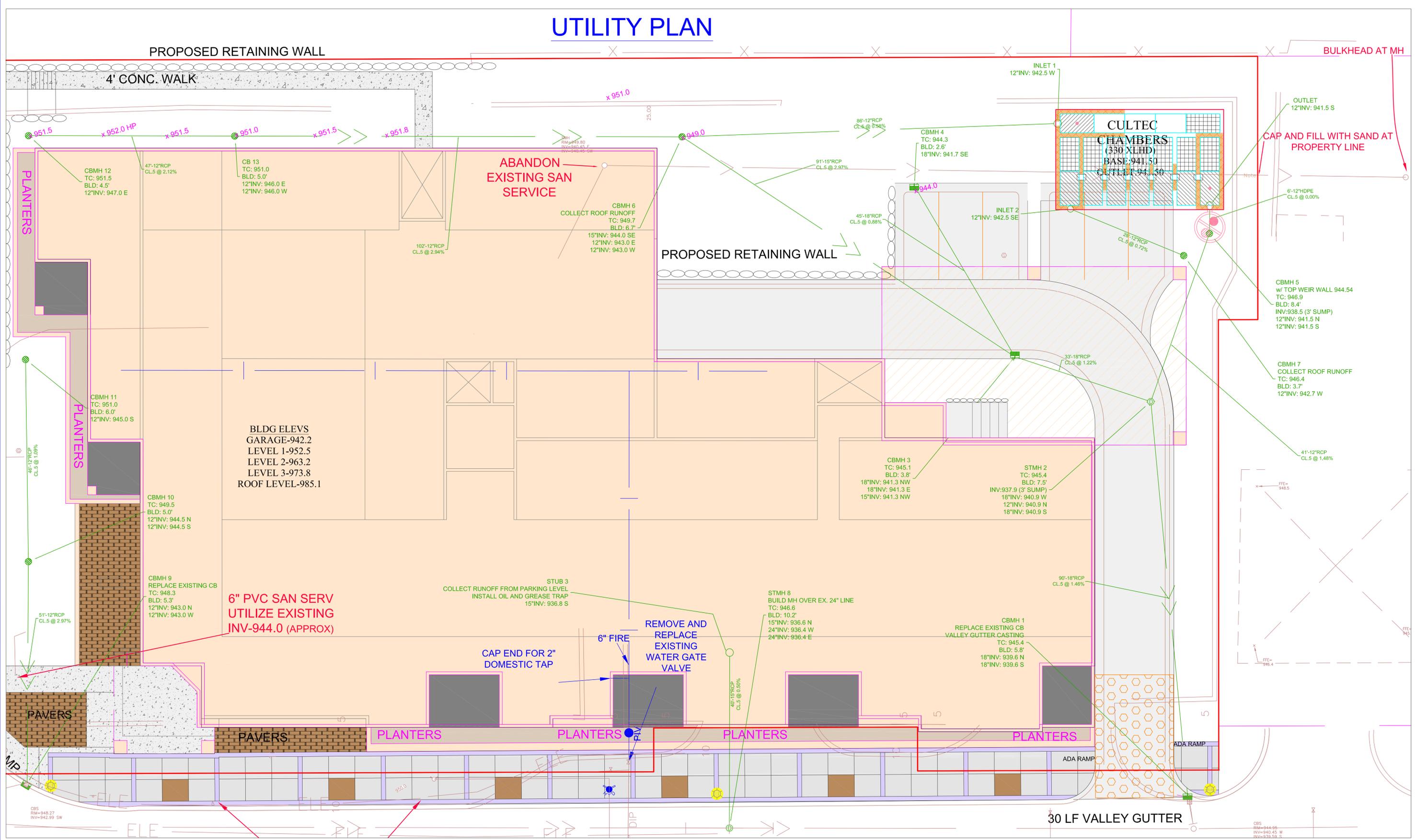
SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. ---
WAYZATA, MINNESOTA

EROSION CONTROL PLAN
MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERS, LLC.

FILE NO. 37865-003
EC
EC

UTILITY PLAN



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ENGINEERS SURVEYORS
 DESIGNERS PLANNERS

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. ---

WAYZATA, MINNESOTA

UTILITY PLAN

MEYER PLACE AT FERNDALE
HOMESTEAD PARTNERS, LLC.

FILE NO. 37865-003

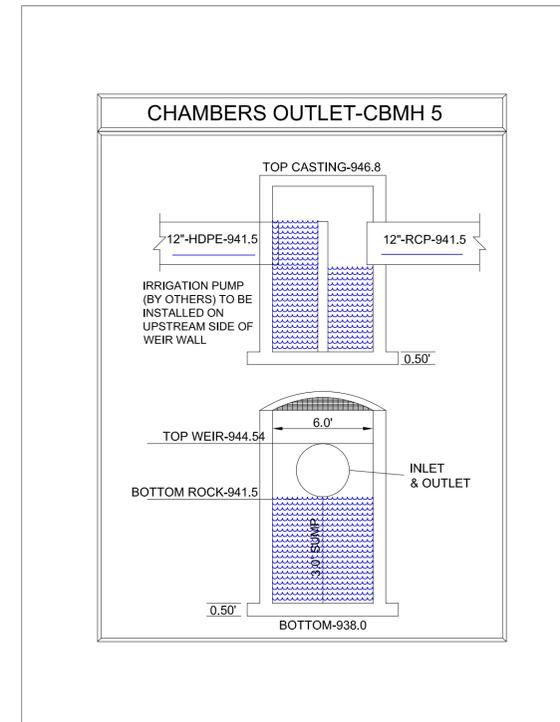
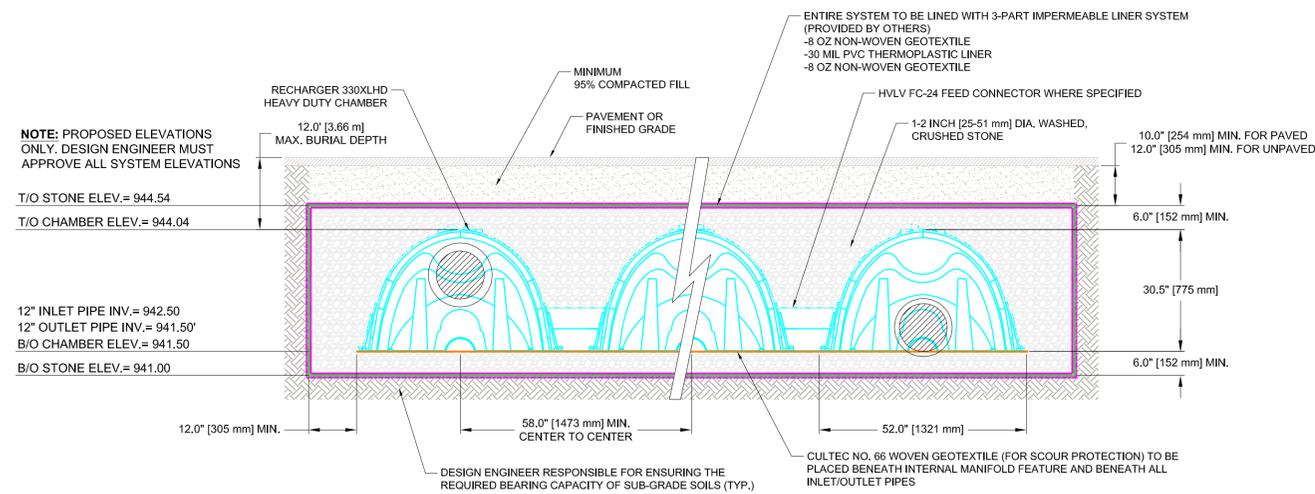
UP
UP

MEYER PLACE AT FERNDALE 37865-003

UTILITY NOTES:

1. UTILIZE 6" PVC SANITARY SEWER SERVICE
2. INSTALL NEW 6" DIP WATERMAIN SERVICE (6" DIP WET TAP INTO EXISTING 10" DIP)
4. ALL DIP FOR SERVICE LATERALS SHALL BE POLY-WRAPPED AND ALL BOLTS USED SHALL BE STAINLESS STEEL.
5. SEE CULTEC SPECIFICATIONS FOR THE UNDERGROUND STORMWATER SYSTEM.
6. CUTLEC SYSTEM SHALL PROVIDE STORAGE VOLUME FOR RAIN WATER TO BE USED IN THE IRRIGATION SYSTEM. STORMWATER SHALL NOT BE INFILTRATED.
7. OPEN SPACE SHALL BE IRRIGATED. OUTLET STRUCTURE CBMH-5 SHALL ALSO HOUSE A PUMP TO BE USED BY THE IRRIGATION SYSTEM.
8. EXISTING WATER SERVICES TO BE ABANDONED AT MAIN. ANY ABANDONED WATERMAIN TO BE FILLED WITH FLOWABLE FILL AND BULKHEAD.
9. PROVIDE CITY A COPY OF WELL SEALING DOCUMENTATION

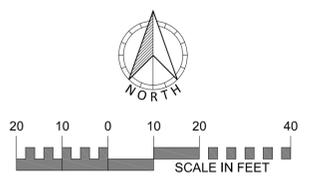
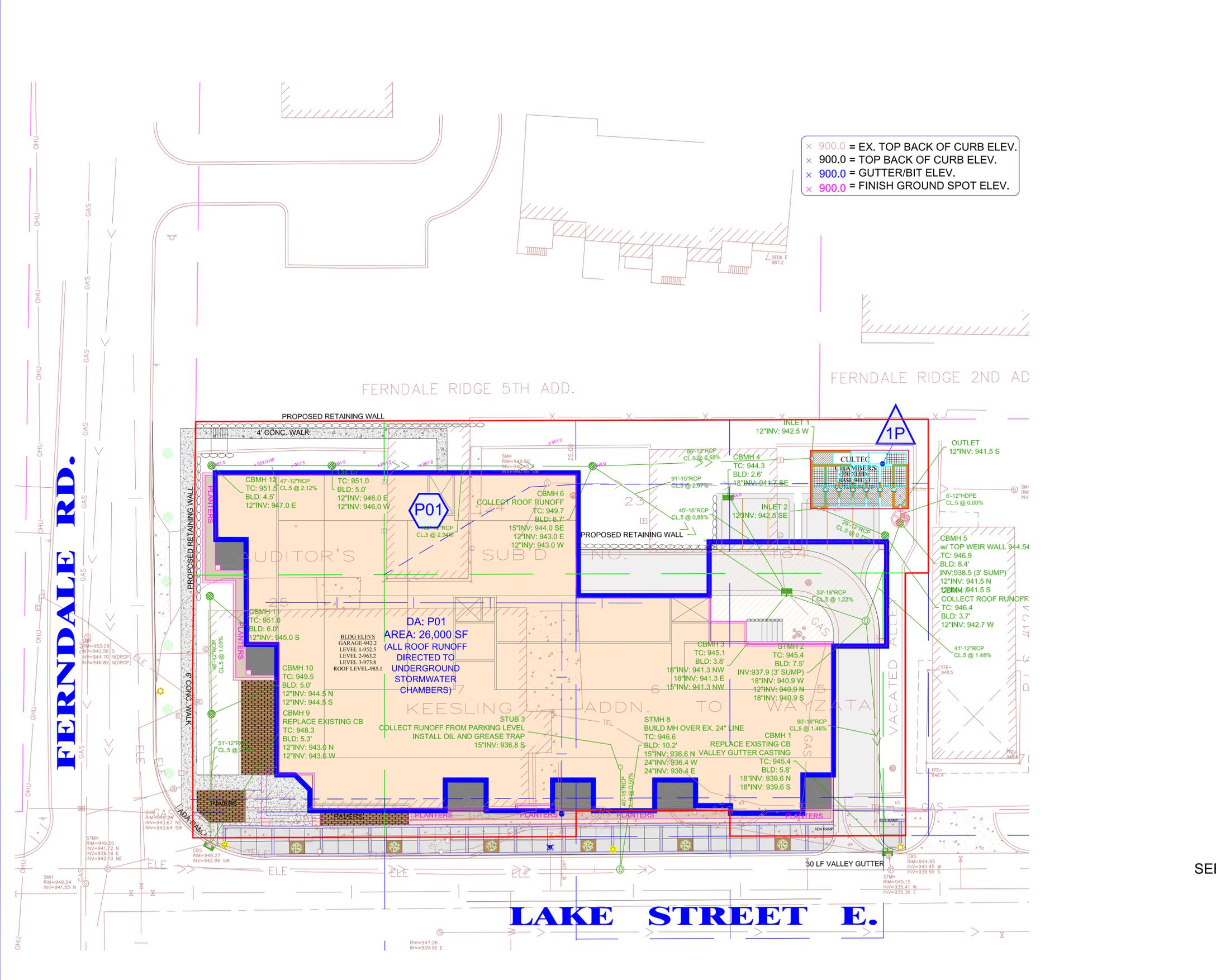
CULTEC CHAMBER



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05/27/16										
								WAYZATA, MINNESOTA	MEYER PLACE AT FERNDALE HOMESTEAD PARTNERS, LLC.	UP UP

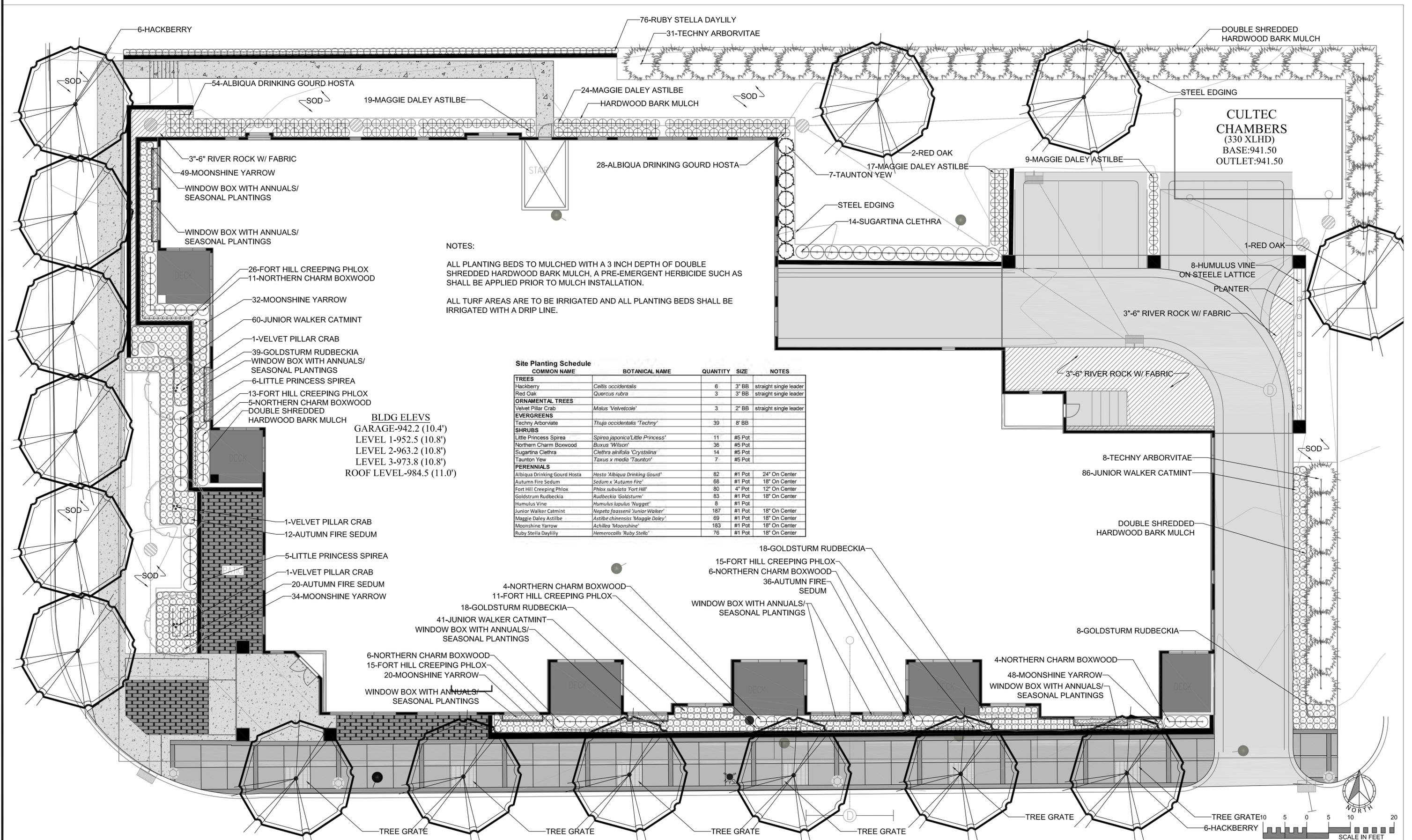
SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAINTILE W/CLEANOUTS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
FENCE AND FILTER LOG		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		

x 900.0 = EX. TOP BACK OF CURB ELEV.
 x 900.0 = TOP BACK OF CURB ELEV.
 x 900.0 = GUTTER/BIT ELEV.
 x 900.0 = FINISH GROUND SPOT ELEV.



SEE STORMWATER MANAGEMENT REPORT FOR DETAILED CALCULATIONS

<table border="1"> <thead> <tr> <th>DRAWING NAME</th> <th>NO.</th> <th>BY</th> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>BASE-MEYERS</td> <td>01</td> <td>TCW</td> <td>01/20/16</td> <td>LETTER REVIEW</td> </tr> <tr> <td>DRAWN BY</td> <td>02</td> <td>TCW</td> <td>02/24/16</td> <td>BUILDING DESIGN CHANGE</td> </tr> <tr> <td>RSM</td> <td>03</td> <td>TCW</td> <td>03/17/16</td> <td>BUILDING DESIGN CHANGE</td> </tr> <tr> <td>CHECKED BY</td> <td>04</td> <td>CAW</td> <td>04/28/16</td> <td>ELIMINATE INFILTRATION</td> </tr> <tr> <td>RSM</td> <td>05</td> <td>TCW</td> <td>05/19/16</td> <td>BUILDING DESIGN CHANGE</td> </tr> <tr> <td>DATE</td> <td colspan="4">05/27/16</td> </tr> </tbody> </table>	DRAWING NAME	NO.	BY	DATE	REVISIONS	BASE-MEYERS	01	TCW	01/20/16	LETTER REVIEW	DRAWN BY	02	TCW	02/24/16	BUILDING DESIGN CHANGE	RSM	03	TCW	03/17/16	BUILDING DESIGN CHANGE	CHECKED BY	04	CAW	04/28/16	ELIMINATE INFILTRATION	RSM	05	TCW	05/19/16	BUILDING DESIGN CHANGE	DATE	05/27/16				<p>USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.</p>	<p>I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.</p> <p><i>Robert S. Molstad</i> ROBERT S. MOLSTAD, P.E. Date: 05/27/16 Lic. No. 26428</p>	<p>SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MN. 55931 (952) 476-6000</p>	<p>CITY PROJECT NO. ---</p> <p>WAYZATA, MINNESOTA</p>	<p>DRAINAGE AREA MEYER PLACE AT FERNDALE HOMESTEAD PARTNERS, LLC.</p>	<p>FILE NO. 37865-003</p> <p>DA DA</p>
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NOTES:
 ALL PLANTING BEDS TO MULCHED WITH A 3 INCH DEPTH OF DOUBLE SHREDDED HARDWOOD BARK MULCH, A PRE-EMERGENT HERBICIDE SUCH AS SHALL BE APPLIED PRIOR TO MULCH INSTALLATION.
 ALL TURF AREAS ARE TO BE IRRIGATED AND ALL PLANTING BEDS SHALL BE IRRIGATED WITH A DRIP LINE.

BLDG ELEVS
 GARAGE-942.2 (10.4')
 LEVEL 1-952.5 (10.8')
 LEVEL 2-963.2 (10.8')
 LEVEL 3-973.8 (10.8')
 ROOF LEVEL-984.5 (11.0')

COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	NOTES
TREES				
Hackberry	<i>Celtis occidentalis</i>	6	3" BB	straight single leader
Red Oak	<i>Quercus rubra</i>	3	3" BB	straight single leader
ORNAMENTAL TREES				
Velvet Pillar Crab	<i>Malus 'Velvetcoke'</i>	3	2" BB	straight single leader
EVERGREENS				
Techny Arborviate	<i>Thuja occidentalis 'Techny'</i>	39	8" BB	
SHRUBS				
Little Princess Spirea	<i>Spirea japonica 'Little Princess'</i>	11	#5 Pot	
Northern Charm Boxwood	<i>Buxus 'Wilson'</i>	36	#5 Pot	
Sugarina Clethra	<i>Clethra alnifolia 'Crystalina'</i>	14	#5 Pot	
Taunton Yew	<i>Taxus x media 'Taunton'</i>	7	#5 Pot	
PERENNIALS				
Albiqua Drinking Gourd Hosta	<i>Hosta 'Albiqua Drinking Gourd'</i>	82	#1 Pot	24" On Center
Autumn Fire Sedum	<i>Sedum x 'Autumn Fire'</i>	68	#1 Pot	18" On Center
Fort Hill Creeping Phlox	<i>Phlox subulata 'Fort Hill'</i>	80	4" Pot	12" On Center
Goldstrum Rudbeckia	<i>Rudbeckia 'Goldstrum'</i>	83	#1 Pot	18" On Center
Humulus Vine	<i>Humulus lupulus 'Nugget'</i>	8	#1 Pot	
Junior Walker Catmint	<i>Hepta faassenii 'Junior Walker'</i>	187	#1 Pot	18" On Center
Maggie Daley Astilbe	<i>Astilbe chinensis 'Maggie Daley'</i>	69	#1 Pot	18" On Center
Moonshine Yarrow	<i>Achillea 'Moonshine'</i>	183	#1 Pot	18" On Center
Ruby Stella Daylily	<i>Hemerocallis 'Ruby Stella'</i>	76	#1 Pot	18" On Center

CULTEC CHAMBERS
 (330 XLHD)
 BASE:941.50
 OUTLET:941.50

DRAWING NAME	NO.	BY	DATE	REVISIONS
DRAWN BY	1	TW	5-27-16	Revise plan per new building layout
CHECKED BY				
DATE				

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Landscape Architect under the laws of the State of Minnesota.
 Signed: *[Signature]*
 Date: 12-16-15 Registration #: 20144

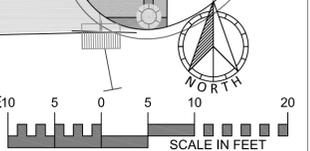
Norby & Associates
 Landscape Architects, Inc.
 100 Esst Second Street Chaska, MN 55318 (952) 361-0644

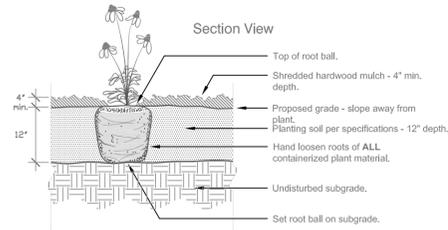
CITY PROJECT NO. ---

WAYZATA, MINNESOTA

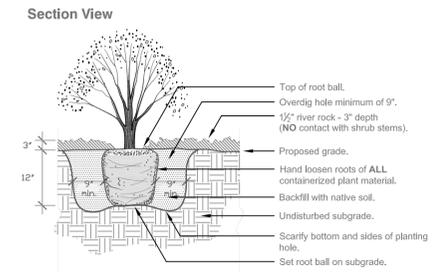
LANDSCAPE PLAN
 MEYER PLACE AT FERDALE
 HOMESTEAD PARTNERS, LLC.

FILE NO. 37865-003
 LP1
 LP2

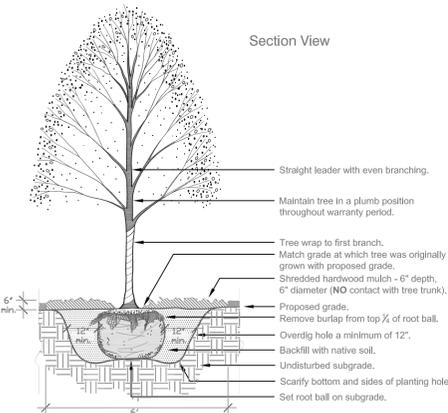




1 Typical Perennial Planting Detail
2 NOT TO SCALE

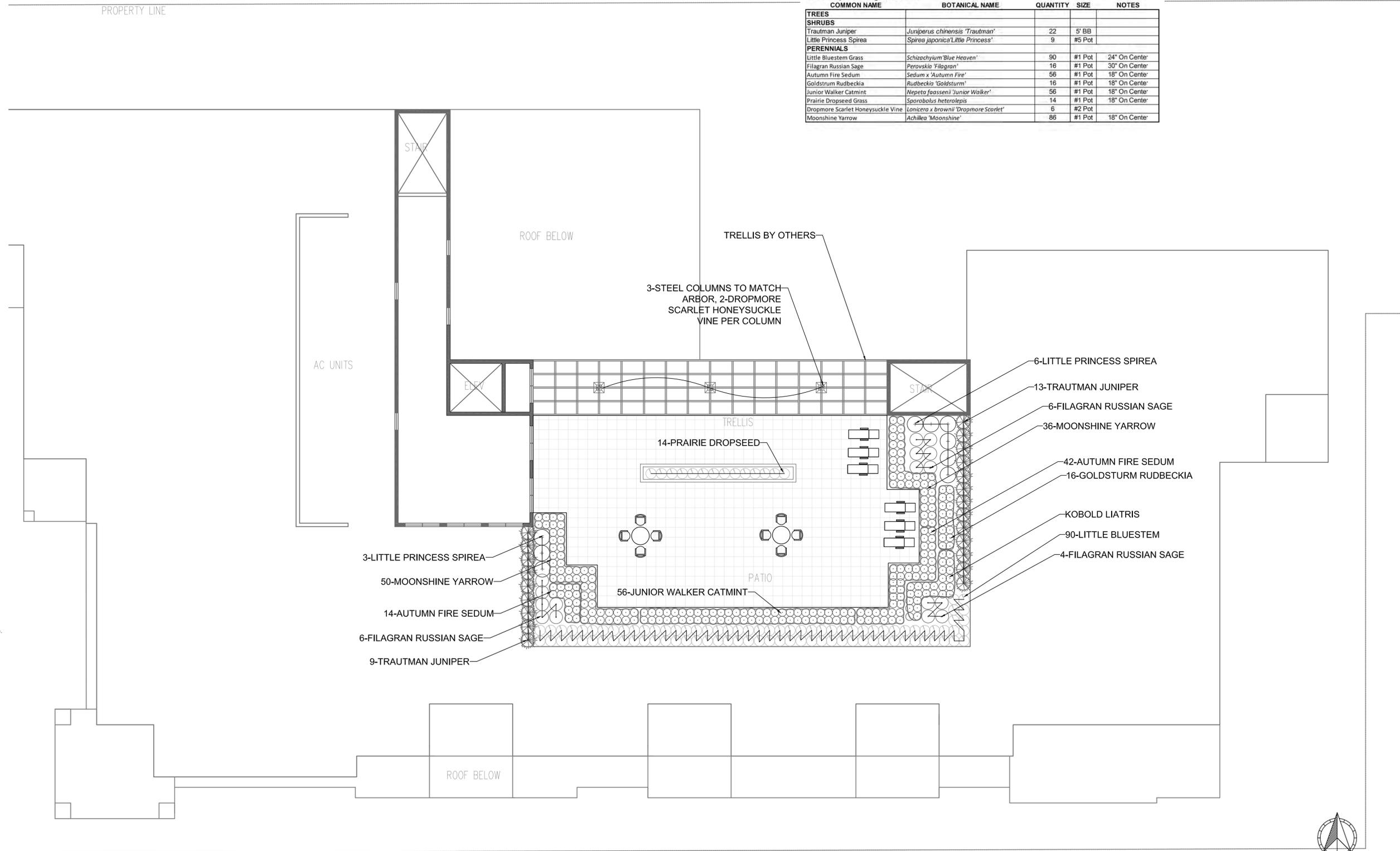


2 Typical Shrub Planting Detail
2 NOT TO SCALE



3 Typical Tree Planting Detail
2 NOT TO SCALE

Roof Top Planting Schedule				
COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	NOTES
TREES				
SHRUBS				
Trautman Juniper	<i>Juniperus chinensis 'Trautman'</i>	22	5' BB	
Little Princess Spirea	<i>Spiraea japonica 'Little Princess'</i>	9	#5 Pot	
PERENNIALS				
Little Bluestem Grass	<i>Schizachyium 'Blue Heaven'</i>	90	#1 Pot	24" On Center
Filagran Russian Sage	<i>Perovskia 'Filagran'</i>	16	#1 Pot	30" On Center
Autumn Fire Sedum	<i>Sedum x 'Autumn Fire'</i>	56	#1 Pot	18" On Center
Goldsturm Rudbeckia	<i>Rudbeckia 'Goldsturm'</i>	16	#1 Pot	18" On Center
Junior Walker Catmint	<i>Nepeta faassenii 'Junior Walker'</i>	56	#1 Pot	18" On Center
Prairie Dropseed Grass	<i>Sporobolus heterolepis</i>	14	#1 Pot	18" On Center
Dropmore Scarlet Honeysuckle Vine	<i>Lonicera x brownii 'Dropmore Scarlet'</i>	6	#2 Pot	
Moonshine Yarrow	<i>Achillea 'Moonshine'</i>	86	#1 Pot	18" On Center



DRAWING NAME	NO.	BY	DATE	REVISIONS
DRAWN BY	1	TW	5-27-16	Revise plan per new building layout
CHECKED BY				
DATE				

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100 Esst Second Street Chaska, MN 55318 (952) 361-0644

CITY PROJECT NO.
WAYZATA, MINNESOTA

ROOF TOP LANDSCAPE PLAN
MEYER PLACE AT FERNDAL
HOMESTEAD PARTNERS, LLC.

FILE NO.
37865-003
LP2
LP2

PROJECT NAME AND NUMBER

MAYER PLACE SHADOW STUDY

10:00AM, DECEMBER, 21ST



Meyer Place on Ferndale – 105 Lake St E
Design Critique (Revised Based on Architectural Plans dated 5/26/2016 and Civil Plans dated 5/27/2016)
June 2, 2016

	Comments	Compliance
Building Uses		
<u>801.09.2.1 – Lake Street District</u> All new buildings east of Barry Avenue on Lake Street shall have retail usage at least eighty percent (80%) of the ground floor facing Lake Street. The remaining twenty percent (20%) of the ground floor frontage may only be used for walkways, public access, or public facilities. Retail activities shall comprise a total of at least fifty percent (50%) of the usage of the total building footprint.	The site is located west of Barry Avenue.	Not Applicable
Building Recesses		
<u>801.09.3.1.A – All Districts</u> Building facades shall be articulated through the use of pilasters and/or recesses that create visible shadow lines and dimensions especially on the street level	The proposed building utilizes recesses and changes in materials to break up the façade.	Yes
<u>801.09.3.1.B</u> Street level landscaped courtyards, outdoor seating areas and gathering areas shall be incorporated into building and site plan design.	The project includes planters along the Lake Street and Ferndale road frontages and pavers at the intersection adjacent to the main entrance. There is an existing bench along Lake Street. If the proposed design review is approved, a condition of approval should be included that the existing sidewalk bench be salvage and reinstalled along Lake Street.	Evaluate

	Comments	Compliance
Building Width		
<p><u>801.09.4.1 All Districts – New Buildings</u> In order to reduce the scale of longer façades and to eliminate the long horizontal expressions of buildings, divisions or breaks in materials shall be included and at least three of the following design strategies shall be incorporated into the design:</p> <ol style="list-style-type: none"> 1. Window bays 2. Special treatment at entrances 3. Variations in roof lines or parapet detailing 4. Awnings 5. Building setbacks or articulation of the facade 6. Rhythm of elements 	<p>The proposed building includes special treatment at the building entrance and articulation of the façade as the building includes varying building lines and recessions. In addition, the proposed building includes a rhythm of elements along each building elevation.</p>	<p>Yes</p>

Upper Story Setbacks		
<p><u>801.09.5.1.A – All Districts – New Buildings</u></p> <p>Building height shall conform to the height of the applicable zoning district. Where three (3) story buildings are permitted, the third (3rd) story must be recessed from all façades fronting public right of ways at least a distance equal to the vertical distance of the 3rd story height from the second (2nd) floor footprint, or an average of ten (10) feet across the facade, but no portion of the 3rd story structure shall be closer than six (6) feet to the 2nd story façade. The 3rd story façade shall be designed with railings, pillars, dimensional windows, building recesses or other similar design techniques to break up the 3rd story façade.</p>	<p>The third level is partially, but not fully, recessed from the second level. The third story on Lake Street is stepped back from the second level, except for the west corner of the building has a minimal step back between the second and third level. The third level along Ferndale is not stepped back from the second level at all.</p>	<p>No</p>
<p><u>801.09.5.1.B – All Districts – New Buildings</u></p> <p>The façades fronting public right-of-ways of every two and three story building, longer than sixty (60) feet, must have a recessed second story of approximately twenty-five percent (25%) of the façade’s length, setting back a minimum of six (6) feet from the face of the first floor façade. The required third floor setback must follow the frontal plane of the second story setback.</p>	<p>The second story is not recessed from the first level of the building.</p>	<p>No</p>
<p><u>801.09.5.1.C – All Districts – New Buildings</u></p> <p>Wintertime sun orientation, solar access, and views of Lake Minnetonka are significant issues within the Design Districts. Building height should not negatively and significantly impact neighboring properties.</p>	<p>The applicant has applied for a height variance from the maximum height of 35 feet in the PUD district to 35.4 feet and a Conditional Use Permit for the penthouse structure with a height of 51.4 feet. The applicant has submitted a shadow study to know the wintertime shading on surrounding properties. The planning commission should evaluate the impacts of the height variance on sun orientation, solar access, views of Lake Minnetonka, and impacts on neighboring properties.</p>	<p>Evaluate</p>

Roof Design		
<p><u>801.09.6.1 – All Districts</u> “Green” roofs, roof garden terraces, arbors and other similar structures are encouraged on roofs of building.</p>	<p>The proposed building does not include any green roofs.</p>	<p>Not Applicable</p>
<p><u>801.09.6.2.A – All Districts – Roof Materials</u> The roof material for all sloped roofs in all districts shall be slate, untreated copper, pre-finished metal, cedar shake or asphalt shingle in dark colors.</p> <p><u>801.09.6.2.B – All Districts – Roof Materials</u> The roof material for all flat roofs in all districts shall be treated synthetic membrane or other similar material in dark colors.</p>	<p>The proposed building has a flat roof which would consist of a tan membrane material.</p>	<p>No</p>
Screening of Rooftop Equipment		
<p><u>801.09.7.1 – Lake Street and Bluff Districts</u> No mechanical equipment for a building may be located on the roof deck. All such mechanical equipment must be located within the interior of the structure.</p>	<p>The applicant is proposing to locate mechanical units on the roof of the building which would be centered on the roof and fully surrounded by the upper level of the building and a parapet screening wall.</p>	<p>No</p>

	Comments	Compliance
Facade Transparency		
<p><u>801.09.8.2 – Lake Street District</u> No less than fifty percent (50%) of the ground level façade of any building fronting Lake Street shall be transparent glass. No less than twenty-five percent (25%) of the ground level side and rear façade facing a public right of way, parking area or open space shall be transparent glass.</p>	<p>The proposed building contains at least 50% transparent glass on the ground level along Lake Street and Ferndale Road.</p>	<p>Yes</p>
Ground Level Expression		
<p><u>801.09.9.1 – All Districts</u> In multi-story buildings, the ground floor shall be distinguished from the floors above by the use of at least three of the following elements:</p> <ol style="list-style-type: none"> 1. An intermediate cornice line 2. A difference in building materials or detailing 3. An offset in the façade 4. An awning, trellis, or loggia 5. Arcade 6. Special window lintels 7. Brick/stone corbels 	<p>The proposed building only includes a canopy and balcony floors along a portion of the building which would distinguish between the found floor and the second floor.</p>	<p>No</p>
Entries		
<p><u>801.09.10.1 – All Districts</u> The front facade of all buildings shall be landscaped with window boxes or planters with seasonally appropriate plantings. The main entries shall face the primary street at sidewalk grade.</p>	<p>The proposed plans include planters and window boxes along both Lake Street and Ferndale Rd.</p>	<p>Yes</p>

Building Materials and Quality		
<p><u>801.09.11.1.A – Primary Opaque Surfaces – All Districts</u> Other than the accent materials listed in 801.09.11.G, ninety percent (90%) of the non-glass surfaces of each elevation of the exterior building façade shall be composed of one or more of the following materials:</p> <ol style="list-style-type: none"> 1. Brick 2. Stone 3. Cast stone 4. Factory finished and certified wood, including, but not limited to: <ol style="list-style-type: none"> a. Wood shingles (cedar shingles six (6) inch maximum exposure) b. Lap-siding (six (6) inch maximum width) 5. Stucco 	<p>The non-glass surfaces of the building are primarily comprised of brick, stone and stucco. The plans indicated that at least 90% of the building elevations would be comprised of these materials.</p>	<p>Yes</p>
<p><u>801.09.11.1.B – Façade Coverage – All Districts</u> The primary opaque surface materials of all free standing buildings must be the same on all facades of the building.</p>	<p>The proposed building includes the same materials, brick, stone and stucco, on all four sides of the building.</p>	<p>Yes</p>
<p><u>801.09.11.1.C – Type of Brick – All Districts</u> On all facades of a free-standing building where brick is used, full course modular, Roman, Norman or other standard size brick must be used.</p>	<p>The plans indicated that a standard size brick would be used.</p>	<p>Yes</p>

<p><u>801.09.11.1.D – Façade Detail – All Districts</u></p> <p>1. Brick and/or stone façades shall be well detailed and dimensionally designed in order to avoid fractional cuts and odd pieces. All outside brick corners must be full bricks (custom if necessary), with no mitering, forming continuous vertical joints.</p> <p>2. The narrow face of an exposed stone butt joint, at corners, must be a minimum dimension of two (2) inches. Mitered and quirked stone corners are also acceptable.</p>	<p>If the proposed design review is approved, this should be included as a condition of approval.</p>	<p>Yes</p>
<p><u>801.09.11.1.E – Brick Joints – All Districts</u></p> <p>1. The mortar for brick must be dark grey or in the color range of the brick. All joints must be concave or ‘v’ joint. No mortar may be used beyond the face of the brick.</p> <p>2. All brick walls must be built to avoid efflorescence</p>	<p>The brick will include a charcoal concave mortar no larger than ¼ inch.</p>	<p>Yes</p>
<p><u>801.09.11.1.F – Stone Joints – All Districts</u></p> <p>Stone joints shall be no larger than one-fourth (1/4) inch.</p>	<p>If the proposed design review is approved, this should be included as a condition of approval.</p>	<p>Yes</p>

<p><u>801.09.11.1.G – Accent Materials – All Districts</u> Only the following materials may be used for lintels, sills, cornices, bases, and decorative accent trims, and must be no more than 10 percent (10%) of the non-glass surfaces of each elevation of the exterior building façade:</p> <ol style="list-style-type: none"> 1. Stone 2. Cast stone 3. Copper (untreated) 4. Rock faced stone 5. Aluminum or painted steel structural shapes 6. Fiber cement board 7. Premium grade wood trim with mitered outside corners. Examples of premium grade wood are cedar, redwood, and fir. 8. EIFS 	<p>The accent materials consist of precast stone lintels and sills, aluminum parapet flashing, fiber cement board cornices and deck columns, and dark metal trellises.</p>	<p>Yes</p>
<p><u>801.09.11.1.H - Parapets, Flashing, Coping – All Districts</u></p> <ol style="list-style-type: none"> 1. Only the following materials may be used for parapets, flashing and coping: <ol style="list-style-type: none"> a. copper (untreated) b. brick c. stone d. cast stone e. premium grade wood. 2. Pre-finished, painted .032 aluminum may only be used as a standard parapet coping with a maximum exposed edge of five (5) inches. 	<p>The proposed coping and flashing would meet these requirements.</p>	<p>Yes</p>

<p><u>801.09.11.1.I – Awnings – All Districts</u> 1. Only the following types of awnings may be used:</p> <ul style="list-style-type: none"> a. Fabric awnings of a heavy canvas in dark solid colors or other colors that are approved as part of the design review process b. Highly detailed, ornate metal in dark colors c. Glass awnings <p>2. Backlit awnings are prohibited.</p> <p>3. Awnings with text or graphic material may be permitted but require approval via the sign permit process of the Zoning Ordinance.</p>	<p>The proposed building plans do not include any awnings.</p>	<p>Not Applicable</p>
<p><u>801.09.11.1.J – Balconies – All Districts</u> Balconies shall be accessible and useable by persons. Fake or unusable balconies are prohibited. All balconies shall remain within the property line. Metal railings with members painted dark, or glass panels are permitted.</p>	<p>The proposed building includes balconies that would be accessible and usable by persons living in the building.</p>	<p>Yes</p>
<p><u>801.09.11.1.K – Glass – All Districts</u> Glass shall not be mirrored, reflective or darkened. Slight green, bronze and grey tints are acceptable. Spandrel glass shall not be counted as transparent glass for the purposes of calculations under the transparency requirements of Section 801.09.8 of the Standards, but may be used for detailing purposes. Environmentally appropriate glass, such as Low-emissivity glass, shall be used in all projects</p>	<p>The proposed glass would not be mirrored, reflective, or darkened.</p>	<p>Yes</p>
<p><u>801.09.11.1.L – Door Systems – All Districts</u> Unless there are building security concerns, main entry doors shall be primarily glass. If, for security reasons, a main entry door is not possible or practical, a main entry door must be well detailed. Appropriately designed wood doors may be utilized for retail and office buildings.</p>	<p>The proposed entry doors would be glass.</p>	<p>Yes</p>

	Comments	Compliance
Franchise Architecture		
<p><u>801.09.12.1 – All Districts</u></p> <p>A. Typical or standardized franchise architecture (including building design that is the trade dress of, or identified with a particular chain, franchise or business and is repetitive in nature) is prohibited.</p> <p>B. Large, bold or bright signage, trade dress or logos must be altered and scaled down to meet the purpose of these standards as articulated herein, and must not be repeated on the facades of the principal structure more than once. All new, altered and/or proposed signage for buildings must be submitted for review under Section 801.09.18 by the Planning Commission at the time of Design Standards Review application</p>	<p>The proposed building would not be franchise architecture.</p>	<p>Not Applicable.</p>

	Comments	Compliance
<p>Walkways</p> <p>801.09.13.1 – Lake Street District</p> <p>A. Continuous sidewalks at least twelve (12) feet in width shall be provided along all public street frontages.</p> <p>B. Lighted sidewalks shall extend between rear and side parking areas and building entrances. All sidewalk lighting must project downward.</p> <p>C. Buildings with street frontage exceeding fifty (50) feet shall have at least one (1) bench.</p> <p>D. All sidewalk surfaces must match the exposed aggregate/brick accent sidewalks on Lake Street.</p>	<p>The proposed site plan includes a 12-foot Sidewalk along Lake Street that would meet the City’s Lake Street sidewalk specifications of exposed aggregate surface with concrete accents. There would be three street lights along Lake Street spaced more than 100 feet apart. If the proposed design review is approved, a condition of approval should be included that the existing sidewalk bench be salvage and reinstalled along Lake Street.</p> <p>The Ferndale Road street frontage includes adding a 6-foot wide concrete sidewalk with a landscaped boulevard with street trees between the road and the sidewalk.</p>	<p>No. The streetscaping along Lake Street meets the requirements, but the sidewalk on Ferndale does not.</p>

	Comments	Compliance
Landscaping		
<p><u>801.09.14.1 – All Districts</u></p> <p>A. Seasonal landscaping shall be used in all Design Districts, including use of window boxes, hanging flowers baskets, vines and/or other similar seasonal landscaping. If feasible, garden areas and ornamental trees shall be used at the street level.</p> <p>B. Window boxes, hanging baskets and planters with seasonally appropriate plantings shall be used around entries to buildings.</p> <p>C. Vines shall be used to cover walls with more than one hundred (100) square feet of uninterrupted surface area.</p> <p>D. Streetscaping shall include all of the following:</p> <ol style="list-style-type: none"> 1. Boulevard species trees, with at least three (3) caliper inches. 2. Exposed aggregate sidewalks with brick accents 3. Street lights 4. Benches (if building length is 50 feet or greater), which utilize existing city bench designs. 5. Flowers 	<p>The proposed landscape plan includes window boxes with seasonal plantings at the building entrance and along Lake Street and Ferndale Road. The proposed streetscaping along Lake Street includes six hackberry trees that would be located in tree grates within the sidewalk. The streetscaping along Ferndale Road includes six hackberry trees that would be located in the landscaped boulevard between the sidewalk and the street. All of the street trees would be 3 caliper inches in size. If the proposed design review is approved, a condition of approval should be included that the existing bench be salvaged and reinstalled along the Lake Street sidewalk.</p>	<p>No</p>

<p><u>801.09.14.2 – Lake Street District</u></p> <p>A. Established Lake Street landscape treatments shall be followed in accordance with the specifications of the Wayzata Engineering Guidelines set forth in Wayzata City Code. Exposed aggregate with brick accent sidewalks shall be used.</p> <p>B. Approved boulevard trees, planted in sidewalk areas, shall be planted no more than twenty six (26) feet on center from each other.</p>	<p>The proposed sidewalk along Lake Street meets the City’s guidelines and specifications for width and materials.</p> <p>The proposed boulevard trees along Lake Street would be planted 38 feet on center from each other.</p>	<p>No</p>
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	Comments	Compliance
Parking Lot Landscaping		
<u>801.09.15.1 – All Districts</u> A landscaped buffer strip at least five (5) feet wide shall be provided between all parking areas and the sidewalk or street. The buffer strip shall consist of shade trees appropriately spaced for the particular Design District, and a decorative metal fence, masonry wall or hedge. A solid wall or dense hedge shall be no less than three (3) feet and no more than four (4) feet in height.	There would be six surface parking stalls located in the back of the building and not along the street.	Not Applicable
Surface Parking		
<u>801.09.16.1 – All Districts</u> A. Off-street parking shall be located to the rear of buildings. When parking must be located in a side yard adjacent to the street, a landscaped buffer shall be provided in accordance with the Design Standards. The street frontage occupied by parking shall not exceed sixty (60) feet per property. B. Side-by-side parking lots creating a parking area frontage longer than sixty (60) feet are prohibited, except where a heavily landscaped buffer of at least twenty (20) feet wide completely separates both lots. C. Side yard parking shall not extend beyond the front yard setback of the primary building on the property. D. Front yard parking is prohibited. E. There shall be no corner parking.	There would be six surface parking stalls located in the back of the building and not along the street.	Yes

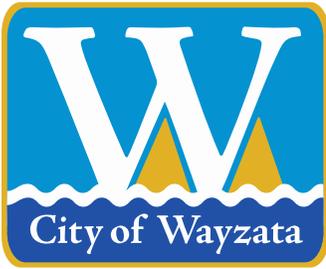
	Comments	Compliance
<p><u>801.09.16.2 – All Districts – Bicycle Parking</u> Commercial developments requiring more than twenty (20) parking spaces shall provide at least four (4) bicycle parking spaces in a convenient, visible, preferably sheltered location.</p>	<p>This section is not applicable to the residential building.</p>	<p>Not Applicable</p>
<p>Parking Structures</p>		
<p><u>801.09.17.1 – All Districts</u> Parking structures shall meet the following standards, along with all other applicable building code standards:</p> <ul style="list-style-type: none"> A. The ground floor façade abutting any public street or walkway shall be architecturally compatible with surrounding commercial or office buildings. B. The parking structure shall be designed in such a way that sloped floors do not dominate the appearance of the façade. C. Windows or openings shall be similar to those of surrounding buildings. D. Vines and other significant landscaping shall be used to minimize the visual impact of the parking structure. 	<p>This section is not applicable, as there is no parking ramp associated with the project.</p>	<p>Not Applicable</p>

<p><u>801.09.17.2 – Lake Street District</u></p> <p>A. If any part of a parking structure abuts Lake Street, that entire portion of the ground floor façade shall be occupied by at least eighty percent (80%) retail usage, extending to a depth of at least thirty (30) feet.</p> <p>B. The ground floor level of a parking structure shall not come within forty (40) feet of Lake Street.</p> <p>C. The top decks of parking structures visible from adjacent properties shall be designed with trellises and landscaping sufficient to screen at least fifty percent (50%) of the visible area.</p>	<p>This section is not applicable, as there is no parking ramp associated with the project.</p>	<p>Not Applicable</p>
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	Comments	Compliance
Signs		
<p><u>801.09.18.1 – All Districts</u></p> <p>A. Compatibility</p> <ol style="list-style-type: none"> 1. Signs shall be architecturally compatible with the style, composition, materials, colors and details of the building, and with other signs on nearby buildings. Signs shall be an integral part of the building and site design. 2. A sign plan shall be developed for buildings which house more than one (1) business. Signs need not match, but shall be compatible with one another. Franchise or national chains must comply with these Sign Standards to create signs compatible with their context. 3. When illuminated signs are proposed, only the text and/or logo portion of the sign may be illuminated. Illuminated signs must be compatible with the location. Illumination of the sign to highlight architectural details is permitted. Fixtures shall be small, shielded, and directed towards the sign rather than toward the street, so as to minimize glare for pedestrians and adjacent properties. 4. Sign plans must be submitted for review as part of an Applicant for Design Approval. Proposed signs must also conform to the requirements of Section 801.27 of the Wayzata Zoning Ordinance. 	<p>The building includes two wall signs on the ground floor elevation of the building, which would be located at the main entrance to the building at Lake Street and Ferndale Road.</p>	<p>Yes</p>

<p><u>801.09.18.2 – Permitted Signs – Lake Street District</u> A. Only the following types of signs are permitted in the Lake Street District:</p> <ol style="list-style-type: none">1. Awning, canopy or marquee signs2. Wall signs3. Monument or ground signs4. Projecting signs5. Window signs (small accent signs)6. Roof signs if located on pitched-roof buildings, below the peak of the roof	<p>The proposed signs are both wall signs.</p>	<p>Yes</p>
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	Comments	Compliance
<p>Parking Lot and Building Lighting</p>		
<p><u>801.09.19.1 – All Districts</u></p> <p>A. Parking lot lighting shall be designed in such a way as to be in scale with its surroundings, and reduce glare.</p> <p>B. Cutoff fixtures shall be located below the mature height of trees located in parking lot islands so as to minimize ambient glow and light pollution.</p> <p>C. Pedestrian-scale lighting, not exceeding thirteen (13) feet in height, shall be located on walkways and adjacent to store entrances. All sidewalk lighting must be projected downwards. City light standard shall be followed for all public streets.</p> <p>D. Light posts shall be of a dark color.</p> <p>E. Lighting fixtures shall be compatible with the architecture of the building.</p> <p>F. Lights attached to buildings shall be screened by the building’s architectural features to eliminate glare to adjacent properties. All façade lighting must be projected downwards.</p> <p>G. All lighting fixtures shall comply with City Code Section 801.16.6 as it relates to glare.</p>	<p>The lighting for the surface parking lot is not included in the plans. The building elevations include an exterior light example, which would be a down-cast wall sconce attached to the building. The site plan includes three street lines along Lake Street, spaced more than 100 feet apart. The one existing street light along Ferndale Road would be salvaged and reinstalled in its current location. If the proposed design review is approved, a condition of approval should be included that the street lights must meet the City’s light standards, as they are located in the City’s right of way.</p>	<p>Evaluate</p>



City of Wayzata
600 Rice Street
Wayzata, MN 55391-1734

Mayor:
Ken Willcox

City Council:
Bridget Anderson
Johanna McCarthy
Andrew Mullin
Steven Tyacke

City Manager:
Jeffrey Dahl

Date: June 17, 2016
To: Planning Commission
From: Jeff Thomson, Director of Planning and Building
Subject: Beacon Five

Application Information

The applicant, Ron Clark Construction, has submitted a development application to develop the property located at 529 Indian Mound E. The project includes the construction of a three story mixed use building consisting of five residential condominiums, 600 square feet of office space, and 11 underground parking.

Planning Commission Review

The Planning Commission reviewed the development application and held a public hearing at its meeting on June 6, 2016. After discussing the application, the Planning Commission directed staff to prepare a Planning Commission Report and Recommendation recommending approval of the development application.

Planning Commission Action

City staff has drafted the attached Planning Commission Report and Recommendation. Staff recommends that the Planning Commission adopt the draft Planning Commission Report and Recommendation.

Attachments

- Draft Planning Commission Report and Recommendation
- June 6, 2016 Planning Report and Attachments



WAYZATA PLANNING COMMISSION

June 20, 2016

DRAFT REPORT AND RECOMMENDATION ON APPLICATION FOR REZONING, PUD CONCEPT PLAN OF DEVELOPMENT, BUILDING HEIGHT VARIANCE AND SHORELAND IMPACT PLAN/CONDITIONAL USE PERMIT AT 529 INDIAN MOUND E

REPORT AND RECOMMENDATION

Section 1. BACKGROUND

- 1.1 Project. Ron Clark Construction (the “Applicant”) and R.E.C, Inc. (the “Owner”) have submitted a development application requesting rezoning, PUD concept plan of development review, variance from the maximum building height requirement, and shoreland impact plan/conditional use permit for the building height (the “Application”) at 529 Indian Mound East (the “Property”).
- 1.2 Application Request. As part of the Application, the Applicant and Owner are requesting approval of the following items:
 - A. Rezoning from C-1 to PUD/Planned Unit Development: The property is currently zoned C-1, and the applicant is requesting a rezoning to PUD.
 - B. PUD Concept Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The applicant is requesting concept plan review prior to submitting the full development application for general plan of development and design review.
 - C. Variance from the maximum building height requirement: The maximum building height in the PUD zoning district is 35 feet and 3 stories, whichever is less. The proposed building would be 3 stories in height, but would be 38.9 feet in height, which requires a variance.
 - D. Shoreland Impact Plan/Conditional Use Permit for the building height: In addition to the PUD zoning district, the shoreland overlay district also includes a maximum height requirement of 35 feet. The shoreland ordinance states that building heights of over 35 feet may be allowed through approval of a shoreland impact plan/conditional use permit.
- 1.3 Property. The property identification number and owner of the affected property (the “Property”) are:

529 Indian Mound E	06-117-22-24-0067	R.E.C, Inc.
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- 1.4 Land Use. The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Keller Williams office building	C-1/Office and Limited Commercial Building	Mixed Use Commercial
East	Keller Williams office building	C-1/Office and Limited Commercial Building	Mixed Use Commercial
South	Wayzata Place Condominiums	C-4/Central Business District	Central Business District
West	Garrison Landing (under construction)	PUD/Planned Unit Development	Mixed Use Commercial

- 1.5 Notice and Public Hearing. The notice of public hearing on the Application was published in the *Wayzata Sun Sailor* on May 26, 2016, and notices were mailed to all properties within 350 feet of the Property on May 26, 2016. The required public hearing was held at the June 6, 2016 Planning Commission meeting.
- 1.6 Planning Commission Action. The Planning Commission reviewed the Application and held a public hearing on June 6, 2016. The Planning Commission voted four (4) in favor and zero (0) opposed to direct staff to prepare a draft Planning Commission Report and Recommendation recommending approval of the Subdivision with conditions.

Section 2. STANDARDS

- 2.1 Amendments to Zoning Ordinance (Section 801.03.2.F): City Council has the discretion and authority under state law and City Code to amend the City's Zoning Ordinance. Minn. Stat. Section 462.357; Wayzata City Code Section 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Section 462.357, Subd. 4. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission and City Council shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:
- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
 - B. The proposed use's conformity with present and future land uses of the

area.

- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

2.2 Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.
- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.

- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.
Section 805.37 of the Subdivision Ordinance requires a parkland dedication of land or fee in lieu for new single family lots at the time of recording of the Final Plat. As the proposed Subdivision creates one (1) new lot, the Applicant would be required to dedicate land or pay a fee in lieu for the one (1) new lot.

2.3 PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.
- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
- H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.

- I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.
 - J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
 - K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.
- 2.4 Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:
- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
 - B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
 - C. “Practical difficulties,” as used in connection with the granting of a variance, means that:
 - (i) the property owner’s proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
 - D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
 - E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
 - F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person’s land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.

- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
 - H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.
- 2.5 Shoreland Impact Plan/Conditional Use Permit: Section 801.91.19 states that landowners or developers desiring to develop land or construct any dwelling or any other artificial obstruction on land located within any Shoreland District within the City of Wayzata shall first submit a conditional use permit application as regulated by Section 801.04 of this Ordinance and a plan of development, hereinafter referred to as "Shoreland Impact Plan", which shall set forth proposed provisions for sediment control, water management, maintenance of landscaped features, and any additional matters intended to set forth proposed changes requested by the applicant and affirmatively disclose what, if any, change will be made in the natural condition of the earth, including loss of change of earth ground cover, destruction of trees, grade courses and marshes. The plan shall minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible, and shall affirmatively provide for the relocation or replanting of as many trees as possible which are proposed to be removed. The purpose of the shoreland impact plan shall be to eliminate and minimize as much as possible potential pollution, erosion and siltation.

Section 3. FINDINGS

Based on the Application materials, staff reports, public comment presented at the hearing, and Wayzata's Zoning a Ordinance, the Planning Commission of the City of Wayzata makes the following findings of fact with respect to the Application:

- 3.1 Amendments to Zoning Ordinance: The rezoning would not have an adverse effect on surrounding properties or the community, and meets the standards for a zoning ordinance amendment:
 - A. The Application is consistent with the Comprehensive Plan land use designation of the property, and meets the policies of the Comp Plan.
 - B. The Application is consistent with current and future land uses in the area.
 - C. The Application would meet the performance standards outlined in the Zoning Ordinance.
 - D. The Application would not adversely impacts surrounding properties.
 - E. The Application would not impact property values in the area.

- F. The existing transportation facilities can meet the traffic demand of the Application.
 - G. The Applicant would not exceed service capacity of public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.
- 3.2 Purpose of PUDs: The Application meets the purpose and intent of the PUD zoning district.
- A. The Application results in higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
 - B. The Application would include a mixed use building consisting of residential condominiums and office use. The mixed use building meets the land use designation for the Property, and is consistent with the goals and objectives of the comprehensive plan.
 - C. The Application creates a more desirable and creative environment than would be possible under the existing C-1/Office and Limited Commercial District, which does not allow for residential uses on the ground floor. The ground floor residential unit creates a more desirable and creative environment.
- 3.3 PUD General Standards. The Application meets all of the PUD general standards listed in Section 801.33.2.A and in Section 2.3 of this Report and Recommendation, except for the Landscaping requirements. The Application includes review of the concept plan of development. The Applicant has not submitted a development application for general plan of development. If the City Council approves the concept plan, the Applicant would need to submit a general plan including a landscape plan for review by the Planning Commission and City Council. The general plan of development and landscaping requirement outlined in City Code Section 801.33.2.A.12 are included as conditions of approval in Section 4.1 of this Report and Recommendation.
- 3.4 Variance Standards: The Application meets the variance standards:
- A. The variance is in harmony with the purpose and intent of the zoning ordinance, and is consistent with the comprehensive plan.
 - B. The Applicant has demonstrated that there are practical difficulties in complying with the building height requirement, as outlined in Section 3.4.C below.

- C. There are practical difficulties in complying with the maximum building height requirement. The increased building height is a result of providing vehicular access to the underground parking garage. The underground parking garage could be lowered so that the building would meet the maximum height requirement. However, given the topography of the site and the elevation of the public street adjacent to the Property, the driveway would be too steep to provide safe vehicle access. The topography of the site and the elevation of the public street are circumstances unique to the property. In addition, the variance would not adversely impact the character of the neighborhood. The building height of the proposed building is the same as the height of the Garrison Landing building that is under construction on the property adjacent to the west.
 - D. The variance is requested based on the topography and elevation of the public street, not based on economic factors.
 - E. The Applicant is not proposing earth sheltered construction.
 - F. The variance is from the building height requirement, not from the use requirements of the zoning district.
- 3.5 Shoreland Impact Plan/Conditional Use Permit: The Application includes review of the concept plan of development. The Applicant has not submitted a development application for general plan of development. If the City Council, approves the concept plan, the Applicant would need to submit a general plan of development for review by the Planning Commission and City Council. The general plan of development would include provisions for sediment control, water management, and maintenance of landscaped features. The general plan of development and items required under City Code Section 801.91.19 are included as conditions of approval in Section 4.1 of this Report and Recommendation.

Section 4. RECOMMENDATION

- 4.1 Planning Commission Recommendation. Based on the findings in Section 3 of this Report, the Planning Commission recommends approval of the Application as set forth in Attachment A, subject to all of the following conditions:
- A. The Applicant or Owner must submit a development application for general plan of development within six (6) months of City Council approval of the concept plan of development, unless the City Council approves a time extension. The general plan of development application must include the following:
 - 1. Landscape plan that complies with City Code Section 801.33.2.A.12 and City Code Section 801.91.19

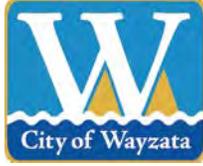
2. Grading, drainage and erosion control plan, SWPP, and stormwater management plan that complies with City Code Section 801.91.19
- B. All expenses of the City of Wayzata, including consultant, expert, legal, and planning incurred must be fully reimbursed by the Applicant.

Adopted by the Wayzata Planning Commission this__ day of _____, 2016.

Chair, Planning Commission

Attachment A

Application



**Planning Report
Wayzata Planning Commission
June 6, 2016**

Project Name: Beacon Five
Applicant Ron Clark Construction
Addresses of Request: 529 Indian Mound E
Prepared by: Jeff Thomson, Director of Planning and Building
Planning Commission Review: June 6, 2016
City Council Review: TBD
“60 Day” Deadline: June 14, 2016

Development Application

Introduction

The applicant, Ron Clark Construction, has submitted a development application to develop the property located at 529 Indian Mound E. The project includes the construction of a three story mixed use building consisting of five residential condominiums, 600 square feet of office space, and 11 underground parking.

Property Information

The property identification number and owner of the property are as follows:

Address	PID	Owner
529 Indian Mound E	06-117-22-24-0067	R.E.C, Inc.

The current zoning and comprehensive plan land use designation for the property are as follows:

Current zoning:	C-1/Office and Limited Commercial District
Comp plan designation:	Mixed Use Commercial
Total site area:	10,897 square feet (0.25 acres)

Project Location

The property is located on Indian Mound E between Walker Avenue and Minnetonka Avenue.

Map 1: Project Location



Application Requests

As part of the submitted development application, the applicant is requesting approval of the following items:

- A. Rezoning from C-1 to PUD/Planned Unit Development: The property is currently zoned C-1, and the applicant is requesting a rezoning to PUD.
- B. PUD Concept Plan of Development Review: A rezoning to PUD requires both concept and general plan of development review. The applicant is requesting concept plan review prior to submitting the full development application for general plan of development and design review.
- C. Variance from the maximum building height requirement: The maximum building height in the PUD zoning district is 35 feet and 3 stories, whichever is less. The proposed building would be 3 stories in height, but would be 38.9 feet in height, which requires a variance.
- D. Shoreland Impact Plan/Conditional Use Permit for the building height: In addition to the PUD zoning district, the shoreland overlay district also includes a maximum height requirement of 35 feet. The shoreland ordinance states that building heights of over 35 feet may be allowed through approval of a shoreland impact plan/conditional use permit.

Adjacent Land Uses.

The following table outlines the uses, zoning, and Comprehensive Plan land use designations for adjacent properties:

Direction	Adjacent Use	Zoning	Comp Plan Land Use Designation
North	Keller Williams office building	C-1/Office and Limited Commercial Building	Mixed Use Commercial
East	Keller Williams office building	C-1/Office and Limited Commercial Building	Mixed Use Commercial
South	Wayzata Place Condominiums	C-4/Central Business District	Central Business District
West	Garrison Landing (under construction)	PUD/Planned Unit Development	Mixed Use Commercial

Public Hearing Notice

The public hearing notice was published in the *Wayzata Sun Sailor* on May 26, 2016. The public hearing notice was also mailed to all property owners located within 350 feet of the subject property on May 26, 2016.

Analysis of Application

Planned Unit Development Process

The Planned Unit Development zoning district is unique compared to a standard zoning district in that the development plans that are submitted with an application and approved by the City Council, are the regulating documents for the zoning of the property. Any future changes to the development must be consistent with the approved plans, or the property must apply to amend the PUD.

In Wayzata, there is a two phase review of a PUD request. The first phase of PUD review is the concept plan, which provides a general schematic design of the project, but does not need to provide all of the detailed engineering and architectural design of the buildings. The intent of the concept plan is to review the larger project characteristics such as consistency with the Comprehensive Plan, consistency with the purpose and intent of the PUD district, and compliance with the general standards outlined in the PUD zoning district. The second phase of a PUD review is the general plan, which is a more detailed review of the site and building design.

On recent project, the City has received applications for concurrent review of both the concept and general plans of development, which is allowed by the PUD ordinance. In this case, City staff, the Planning Commission, and the City Council review both the general framework of the PUD and the details of the project at the same time. The applicant is requesting review of only the concept plans for the current application. If the City Council approves the PUD rezoning and concept plans (including the other land

use applications), the applicant would submit the general plan and design review for future review by City staff, the Planning Commission, and the City Council.

City staff has reviewed the pertinent information and City Code requirements for the PUD concept plan, and provides the following analysis and information:

Comprehensive Plan

The Comprehensive Plan land use designation for the subject property is Mixed Use Commercial. The Mixed Use Commercial land use category was created to reflect the reality that many traditional service commercial uses along the Wayzata Blvd. and Central Avenue corridors, in addition to smaller commercial parcels within the Bluff neighborhood, may wish to evolve over time to include a mixture of commercial, limited office, and residential uses. This Mixed Use Commercial category provides flexibility to property owners who wish to incorporate a residential component with retail or other commercial uses on their site.

Zoning

The property is currently zoned C-1/Office and Limited Commercial District. The following table outlines the requirements of the C-1, PUD, and Shoreland District:

	C-1 Zoning	PUD Zoning	Shoreland Overlay District	Proposed PUD
Permitted Uses	Mixed use with upper story residential and ground floor office or service commercial	Shall be consistent with the Comp Plan	N/A	Mixed use building with office and residential
Density	N/A	Shall be consistent with the Comp Plan	N/A	20 units/acre
Height	3 stories and 35 feet, whichever is less	3 stories and 35 feet, whichever is less	35 feet	38.9 ft.
Floor Area Ratio	2.0	No maximum	N/A	1.4 approx)
Impervious Surface	No maximum	No maximum	25% 75% with stormwater management 100% with shoreland impact plan/CUP	60%
Lot	50%	No maximum	N/A	50%

Coverage				
Setbacks	10 ft. all property lines	Same as imposed by zoning district	N/A	Front: 20 ft. Sides: 10 ft. Rear: 25 ft

The proposed project would meet all of the C-1 zoning district requirements except for permitted uses and building height. The C-1 zoning district requires office and service commercial uses on the main level, and only allows residential uses on the upper floors. The proposed building one have 600 square feet of office and one residential unit on the main level, and four residential units on the upper two stories. The proposed building height of 38.9 feet would require a variance from both the C-1 and PUD requirements. Therefore, the applicant is requesting the PUD rezoning to allow flexibility to the main level uses in the building. If the building included office or service commercial uses on the main level, the PUD zoning would not be required.

The PUD zoning district is an ordinance that can be used to allow for greater flexibility in development by incorporating design modifications from the strict application of the standard zoning district requirements. It is not the intent of the PUD ordinance to not apply any standards to a development project. Rather, it allows modifications of the strict standards for projects that meet a specific purpose, as outlined in “Applicable Code Provisions” section of this report. In addition, the PUD zoning district establishes general standards for a PUD, which are also outlined below.

Building Height

In addition to the PUD requests, the applicant is also requesting approval of a height variance and shoreland impact plan/conditional use permit to exceed the maximum building height of the PUD zoning and Shoreland Overlay districts. Both the PUD zoning district and Shoreland Overlay district establish a maximum building height of 35 feet. By ordinance, the building height is measured from the average grade around the building to the top of the coping of a flat roof. The proposed building would be 36.9 feet from average grade to the top of the flat roof. But the proposed building would also have a two foot tall parapet wall along the perimeter of the building. By definition, the building height is measured to the coping on the parapet. Therefore, the code defined building height is 38.9 feet. The proposal requires a variance from the C-1 building height requirement and a shoreland impact plan/conditional use permit for the Shoreland Overlay district requirement.

Applicable Code Provisions for Review

Amendments to Zoning Ordinance (Section 801.03.2.F): City Council has the discretion and authority under state law and City Code to amend the City’s Zoning Ordinance. Minn. Stat. Section 462.357; Wayzata City Code Section 801.03. A zoning ordinance amendment may be initiated by the governing body, the planning agency or by petition of affected property owners. Minn. Stat. Section 462.357, Subd. 4. In considering a proposed amendment to the Zoning Ordinance, the Planning Commission and City

Council shall consider the possible adverse effects of the proposed amendment. Its judgment shall be based upon (but not limited to) the following factors:

- A. The proposed action in relation to the specific policies and provisions of the official City Comprehensive Plan.
- B. The proposed use's conformity with present and future land uses of the area.
- C. The proposed use's conformity with all performance standards contained herein (i.e., parking, loading, noise, etc.).
- D. The proposed use's effect on the area in which it is proposed.
- E. The proposed use's impact upon property value in the area in which it is proposed.
- F. Traffic generation by the proposed use in relation to capabilities of streets serving the property.
- G. The proposed use's impact upon existing public services and facilities including parks, schools, streets, and utilities, and the City's service capacity.

Purpose of PUDs: Section 801.33 of the Zoning Ordinance provides for the establishment of Planned Unit Developments to allow greater flexibility in the development of neighborhoods and/or non-residential areas by incorporating design modifications as part of a PUD conditional use permit or a mixture of uses when applied to a PUD District. The PUD process, by allowing deviation from the strict provisions of the Zoning Ordinance related to setbacks, lot area, width and depth, yards, etc., is intended to encourage:

- A. Innovations in development to the end that the growing demands for all styles of economic expansion may be met by greater variety in type, design, and placement of structures and by the conservation and more efficient use of land in such developments.
- B. Higher standards of site and building design through the use of trained and experienced land planners, architects, landscape architects, and engineers.
- C. More convenience in location and design of development and service facilities.
- D. The preservation and enhancement of desirable site characteristics such as natural topography and geologic features and the prevention of soil erosion.
- E. A creative use of land and related physical development which allows a phased and orderly development and use pattern.

- F. An efficient use of land resulting in smaller networks of utilities and streets thereby lower development costs and public investments.
- G. A development pattern in harmony with the objectives of the Wayzata Comprehensive Plan. (PUD is not intended as a means to vary applicable planning and zoning principles.)
- H. A more desirable and creative environment than might be possible through the strict application on zoning and subdivision regulations of the City.

PUD General Standards. Section 801.33.2.A sets forth the general standards for review of a PUD application. These are:

- A. Health Safety and Welfare. In reviewing the PUD application, the Council shall evaluate the effects of the proposed project upon the health, safety and welfare of residents of the community and the surrounding area.
- B. Intent and Purpose of PUDs. In reviewing the PUD application, the Council shall evaluate the project's conformance with the overall intent and purpose of Section 33 of the Zoning Ordinance.
- C. Ownership. Applicant/s must own all of the property to be included in the PUD.
- D. Comprehensive Plan. The PUD project must be consistent with the City's Comprehensive Plan.
- E. Sanitary Sewer Plan. The PUD project must be consistent with the City's Sanitary Sewer Plan.
- F. Common Space. The PUD project must provide common private or public open space and facilities at least sufficient enough to meet the minimum requirements established in the Comprehensive Plan, and contain provisions to assure the continued operation and maintenance of such.
- G. Density. The PUD project must meet the density standards agreed upon by the applicant and City, which must be consistent with the Comprehensive Plan.
- H. Utilities. All utilities associated with the PUD must be installed underground and meet the utility connection requirements of Section 801.33.2.A.10.
- I. Roadways. All roadways associated with the PUD must conform to the Design Standards and Wayzata Subdivision Regulations, unless otherwise approved by City Council.

- J. Landscaping. All landscaping associated with the PUD must be according to a detailed plan approved by the City Council. In assessing the plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structure and the overall scheme of the PUD plan.
- K. Setbacks. The front, rear and side yard restrictions on the periphery of the PUD shall be the same as imposed in the respective districts.

Variance Standards: Section 801.05.1.C provides the criteria for reviewing variances from the Zoning Ordinance. The Variance requested in the Application is a Setback Variance. The variance review criteria are as follows:

- A. Variances shall only be permitted when they are:
 - (i) in harmony with the general purposes and intent of this Ordinance; and
 - (ii) consistent with the Comprehensive Plan.
- B. Variances may be granted when the Applicant for the variance establishes that there are practical difficulties in complying with this Ordinance.
- C. "Practical difficulties," as used in connection with the granting of a variance, means that:
 - (i) the property owner's proposal for the property is reasonable but not permitted by this Ordinance;
 - (ii) the plight of the landowner is due to circumstances unique to the property, and not created by the landowner; and
 - (iii) the variance, if granted, will not alter the essential character of the locality.
- D. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.
- E. Variances shall be granted for earth sheltered construction as defined in Minnesota Statutes, section 216C.06, subdivision 14, when in harmony with this Ordinance.
- F. The City Council shall not permit as a variance any use that is not allowed under this Ordinance for property in the zoning district where the affected person's land is located, except the City Council may permit as a variance the temporary use of a one family dwelling as a two family dwelling.
- G. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.

- H. An application for a variance shall set forth reasons that the variance is justified under the criteria of this section in order to make reasonable use of the land, structure or building.

Shoreland Impact Plan/Conditional Use Permit: Section 801.91.19 states that landowners or developers desiring to develop land or construct any dwelling or any other artificial obstruction on land located within any Shoreland District within the City of Wayzata shall first submit a conditional use permit application as regulated by Section 801.04 of this Ordinance and a plan of development, hereinafter referred to as "Shoreland Impact Plan", which shall set forth proposed provisions for sediment control, water management, maintenance of landscaped features, and any additional matters intended to set forth proposed changes requested by the applicant and affirmatively disclose what, if any, change will be made in the natural condition of the earth, including loss of change of earth ground cover, destruction of trees, grade courses and marshes. The plan shall minimize tree removal, ground cover change, loss of natural vegetation, and grade changes as much as possible, and shall affirmatively provide for the relocation or replanting of as many trees as possible which are proposed to be removed. The purpose of the shoreland impact plan shall be to eliminate and minimize as much as possible potential pollution, erosion and siltation.

Action Steps

After considering the items outlined in this report and the public hearing held at the meeting, the Planning Commission should direct staff to prepare a *Planning Commission Report and Recommendation*, with appropriate findings, reflecting a recommendation on the application for review and adoption at the next Planning Commission meeting.

Attachments

- Attachment A: Applicant's Narrative
- Attachment B: PUD Plans

Thursday, April 14, 2016

Jeff Thomson
City of Wayzata
600 Rice Street East
Wayzata, MN 55391

RE: Beacon Five

Subject: City Application Submittal

Dear Jeff,

Attached is our application for the proposed Beacon Five Condo/Office Building. Tim Whitten from Whitten Associates is the project Architect and designer and will be handling the application and City Meeting Process.

The site is 10,897.43 square feet located at 529 Indian Mound Street East and owned by Ron Clark Construction.

The existing zoning is C-1A, NEIGHBORHOOD OFFICE AND LIMITED COMMERCIAL DISTRICT. This application requests a rezoning to Planned Unit Development Concept Plan.

A previous concept was presented to the Planning Commission and City Council that included 5 residential condominiums as three story building over structured parking. This proposal did not include an office component.

After reviewing the comments from the Planning Commission, City Council and Neighbors this Concept plan was redesigned in response.

The revised proposal now includes 5 Condominiums, Office, and Common Area with 11 enclosed parking spaces.

This revised concept has several notable differences and additions including:

- An approximately 600 square foot Office space has been added with a separate entrance from Indian Mound Street East. This is a similar size Office as our WayPoint project with 8 Condominiums.
- The building size has been reduced to 50% of the site area.
- The roof top patio of the previous proposal has been removed eliminating a request for a Conditional Use Permit for stairs and elevator penthouse taller than five feet.
- The building massing now steps back at the third level opposed to cantilevering forward.

The requests for approval to the City are as noted below:

- 1) A Rezoning of the property to a Planned Unit Development District.
- 2) A Shoreland Conditional Use Permit for impervious surface coverage above 25%, this proposal shows approx. 60% impervious surface coverage.
- 3) A Variance for building height above 35 feet, we are requesting a roof height of 37' with parapets up to 39'.
 - a. Our hardship is that existing grade of the site rises 12 feet from the southwest corner to the northeast corner.
 - b. We have limited access to the site, the only location for the access to the Lower Level parking garage is from Indian Mound St. E. The City Ordinance states a maximum driveway slope of 10%, this limits the depth of the garage slab as does the existing water table.
 - c. As a reference the adjacent Garrison Landings project received a height variance up to 40 feet.

In compliance with the City procedures for "Concept Plan of Development submitted for a PUD" we have included the below listed information for your review and approval:

- 1) General Information
 - a. Landowner:
 - i. R.E.C. Inc./dba Ron Clark Construction
 - ii. 7500 West 78th Street Edina, MN 55439
 - b. Applicant Name
 - i. Beacon Five LLC
 - ii. 7500 West 78th Street Edina, MN 55439
 - c. Land Planner/Project Architect:
 - i. Whitten Associates, Inc.
 - ii. 4159 Heatherton Place Minnetonka, MN 55435
 - d. Engineer & Surveyor:
 - i. Alliant Engineering, Inc.
 - ii. 233 Park Avenue South Minneapolis, MN 55415
 - e. Evidence of property ownership
 - i. See attached copy of Title Insurance for Property
- 2) Present Status
 - a. Address & Legal Description of Property:
 - i. 529 Indian Mound Street East
 - b. Existing Zoning Classification:
 - i. The existing zoning is C-1A, NEIGHBORHOOD OFFICE AND LIMITED COMMERCIAL DISTRICT. This application requests a rezoning to Planned Unit Development Concept Plan.
 - c. Map of Adjacent Properties:
 - i. See attached documents from Whitten Associates

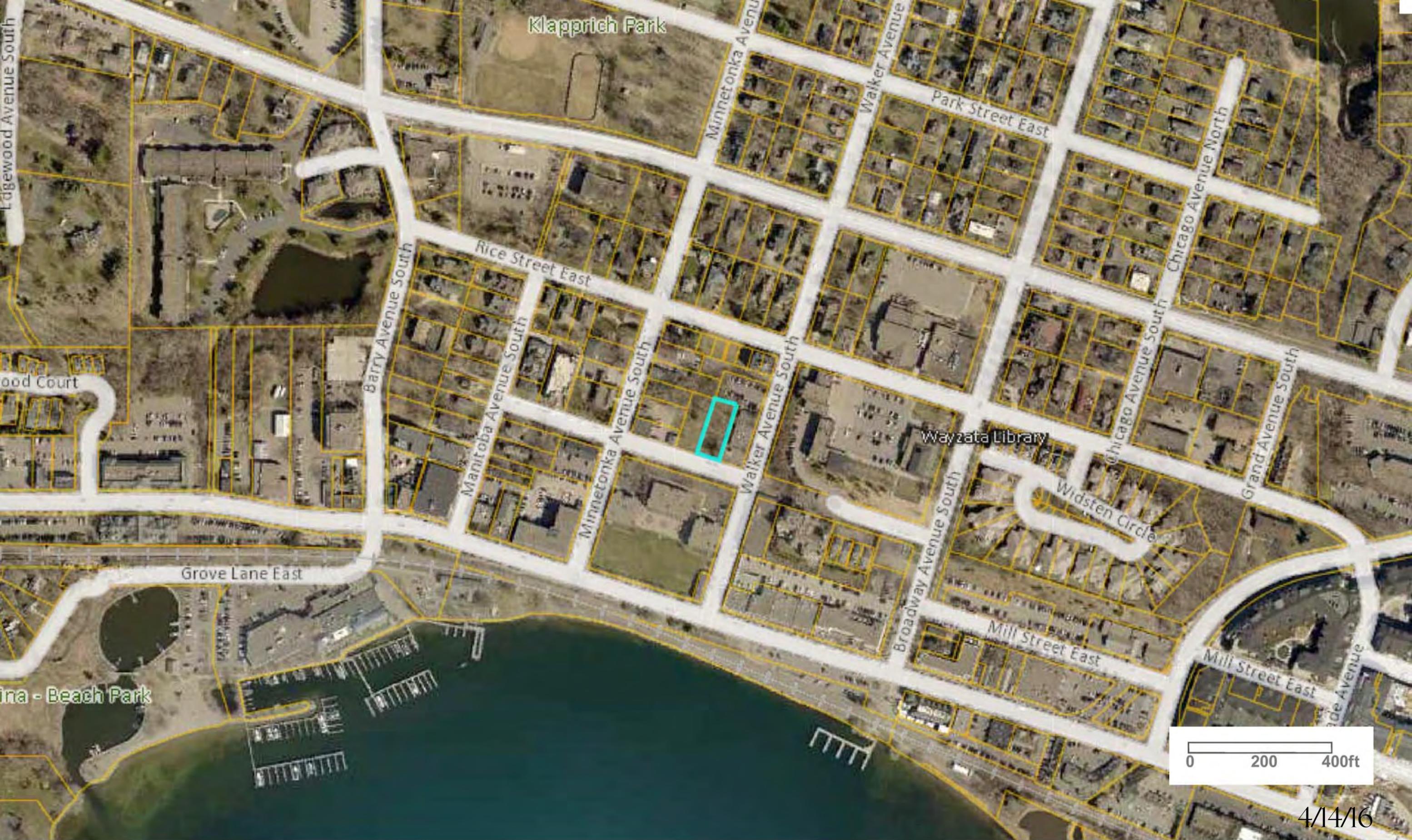
- 3) A written statement generally describing the proposed PUD
 - a. See introduction of this letter.
- 4) Site Conditions
 - a. See attached Survey from Alliant Engineering
 - b. Soil Conditions
 - i. See attached soils information from Braun Engineering
- 5) Schematic Drawings
 - a. See attached documents from Whitten Associates
- 6) A Statement of the total estimated number of dwelling units or Square Footage
 - a. Site Area is identified on Survey from Alliant Engineering
 - b. Building Areas & SF are identified on Whitten Associates Plans
- 7) Schedule for Development
 - a. 04/15/16 City Application Submittal
 - b. 05/16/16 Planning Commission Meeting
 - c. 06/07/16 City Council Meeting
 - d. 08/01/16 Final City Approvals & Construction Documents
 - e. 09/01/16 Building Permit
 - f. 09/01/17 Estimated Building Completion and Occupancy
- 8) Public or Common Space
 - a. No Public Space is included on our project.
- 9) Project Restrictive Covenants
 - a. The five living units will be part of a homeowners association which will be developed as part of our project documents and recorded prior to first occupancy.
- 10) Schematic Utility Plans
 - a. See attached Site Plan from Alliant Engineering
- 11) Additional information required by Planning Commission

Thank you for your consideration and we look forward to presenting **Beacon Five**.

Sincerely,

Michael Roebuck
Ron Clark Construction

Timothy Whitten
Whitten Associates



Klapprich Park

Park Street East

Rice Street East

Wayzata Library

Grove Lane East

Widsten Circle

ood Court

ina - Beach Park

Mill Street East

Mill Street East

0 200 400ft

4/14/16

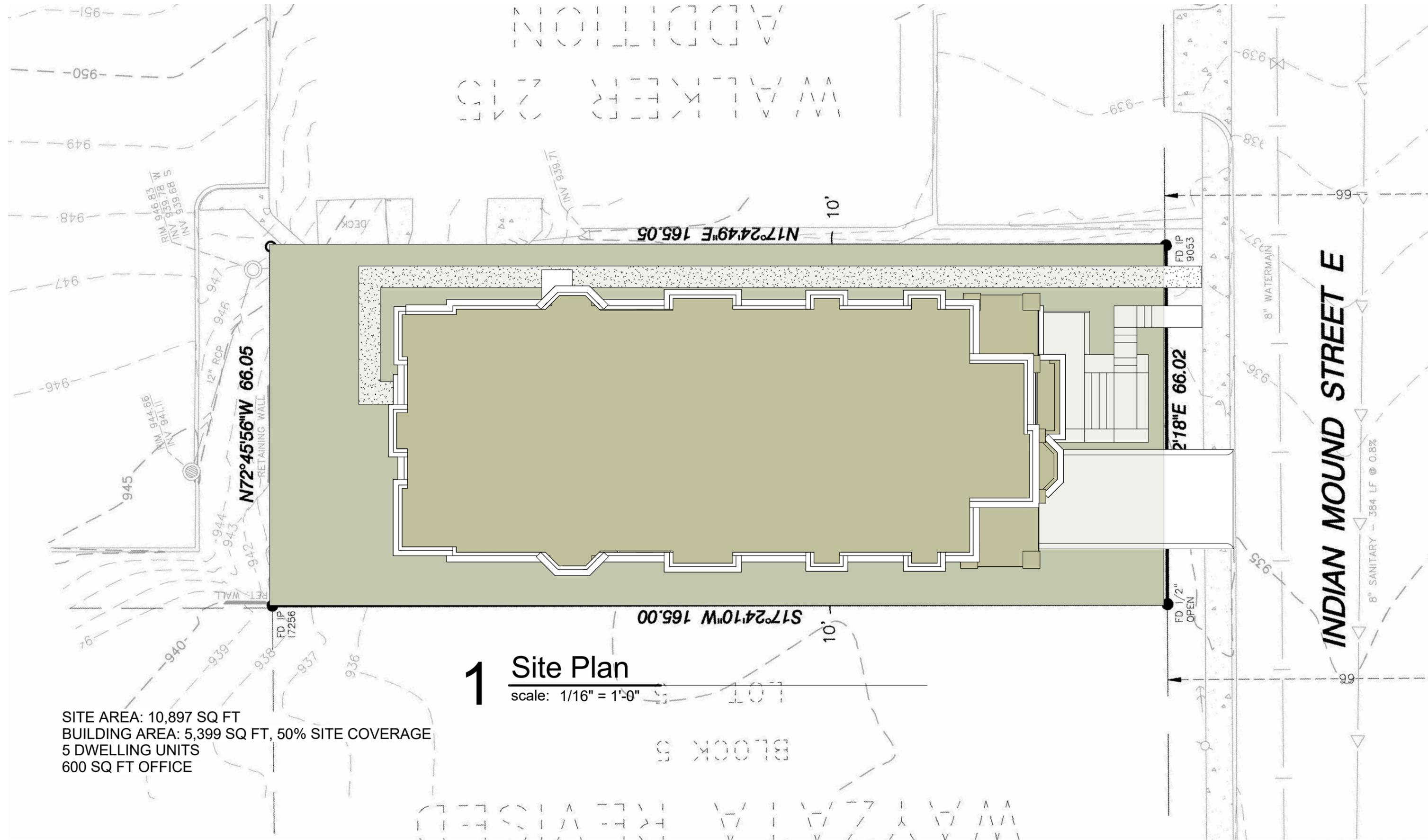
WAYPOINT

GARRISON
LANDING

4/14/16



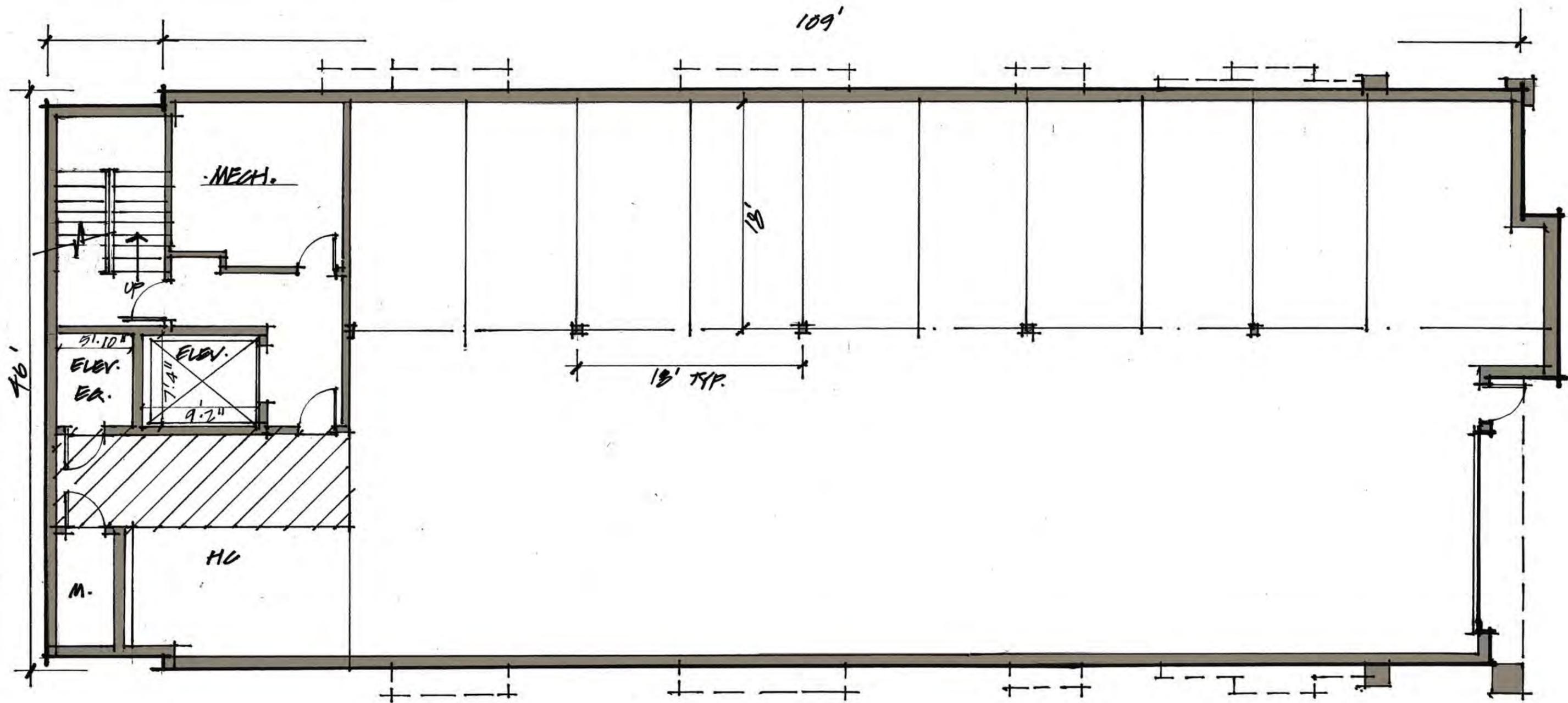
4/14/16



1 Site Plan
 scale: 1/16" = 1'-0"

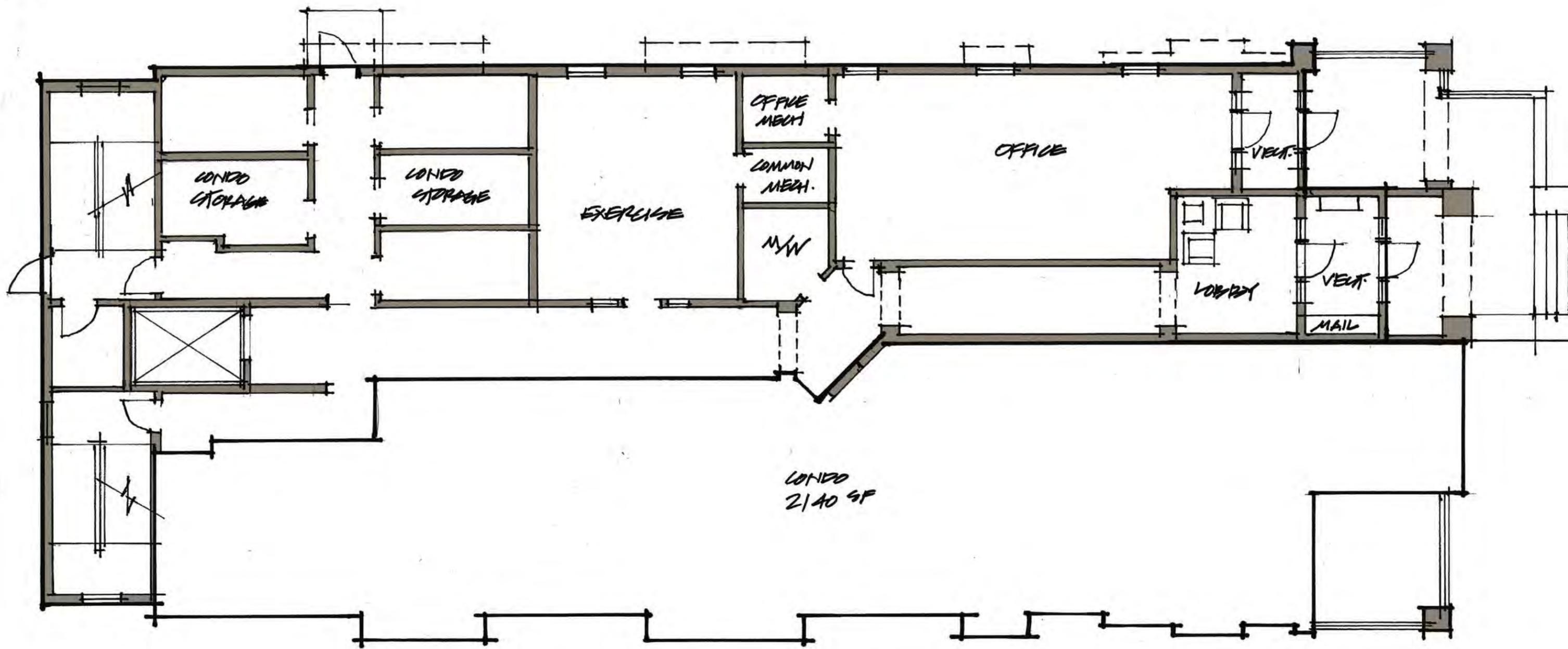
SITE AREA: 10,897 SQ FT
 BUILDING AREA: 5,399 SQ FT, 50% SITE COVERAGE
 5 DWELLING UNITS
 600 SQ FT OFFICE

14 APR 2016



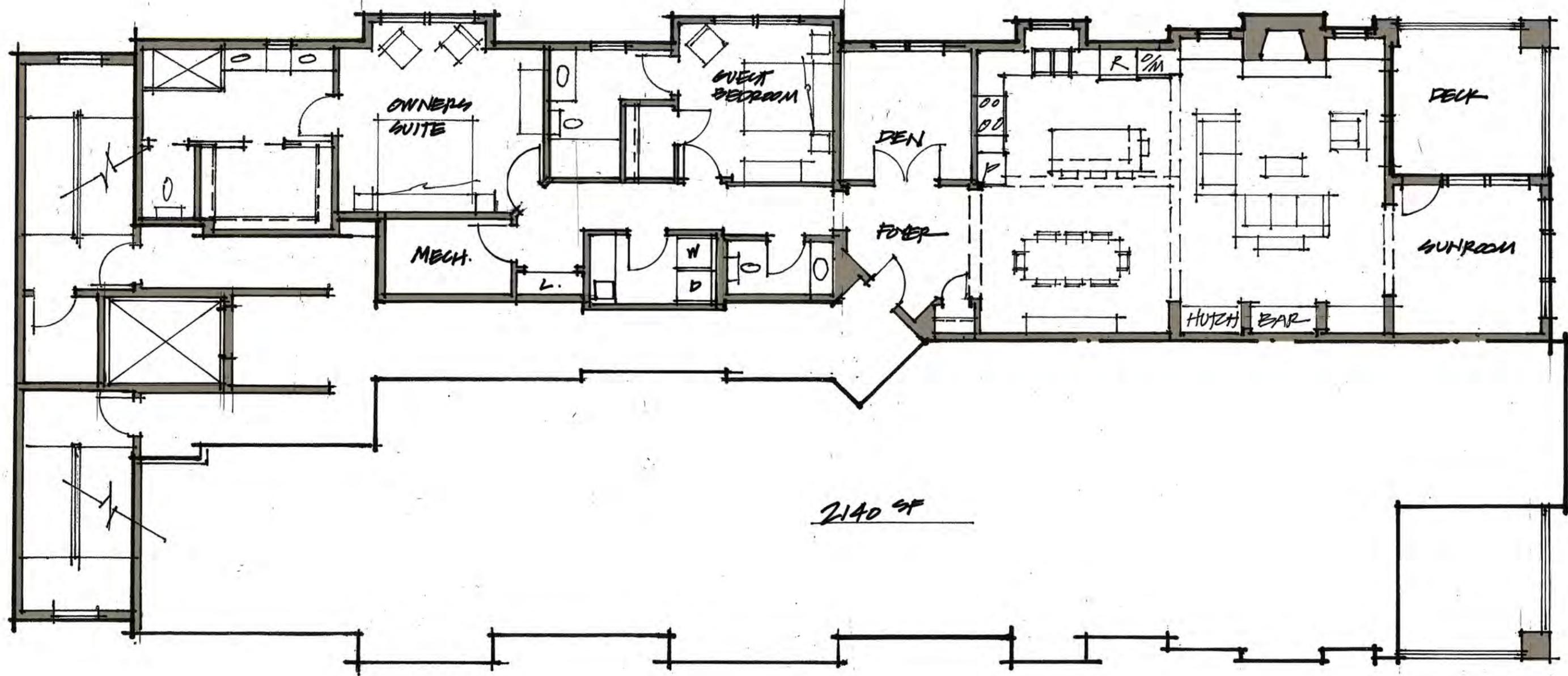
PARKING LEVEL
 1/8"=1'-0"

4/14/16



MAIN LEVEL
1/8"=1'-0"

4/14/16



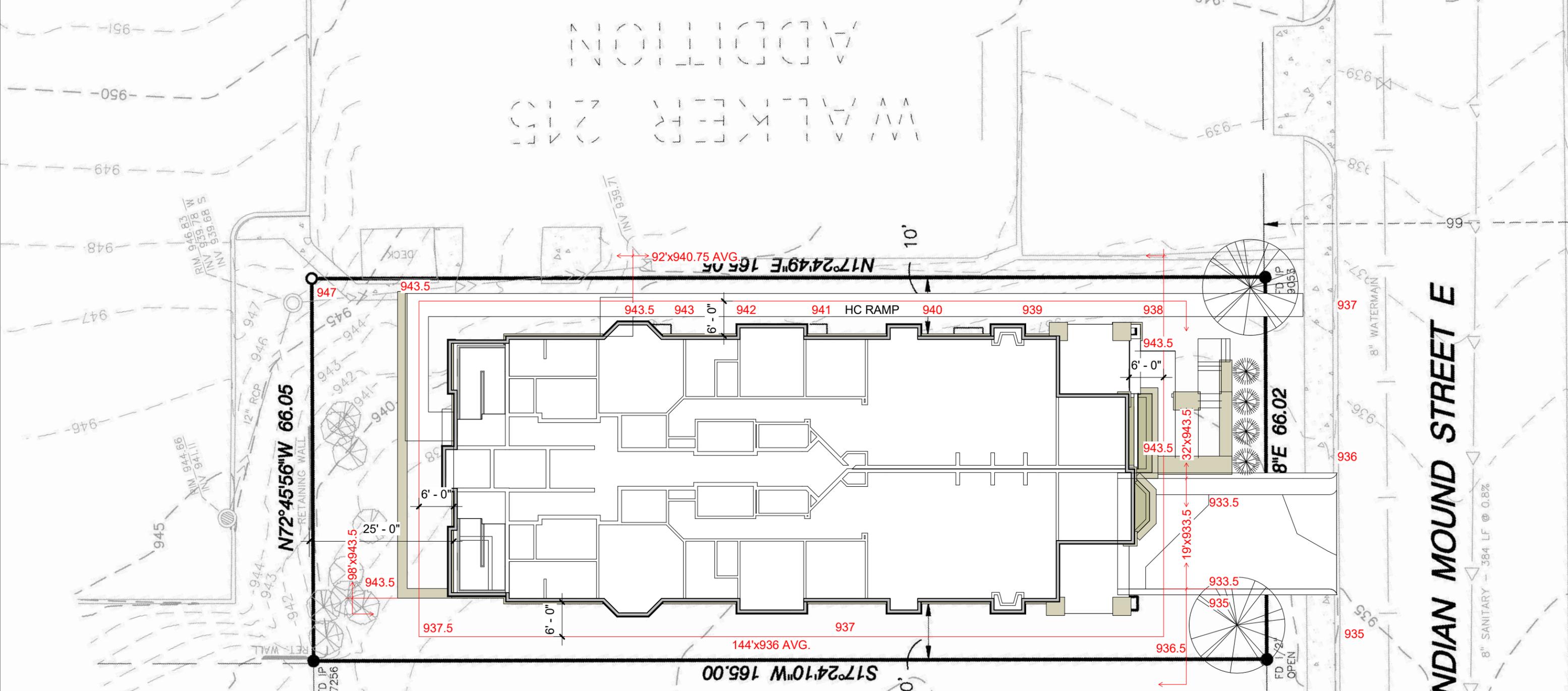
UPPER LEVELS 2/3
1/8"=1'-0"

4/14/16



STREETSCAPE AT INDIAN MOUND

4/14/16



1 Site Plan

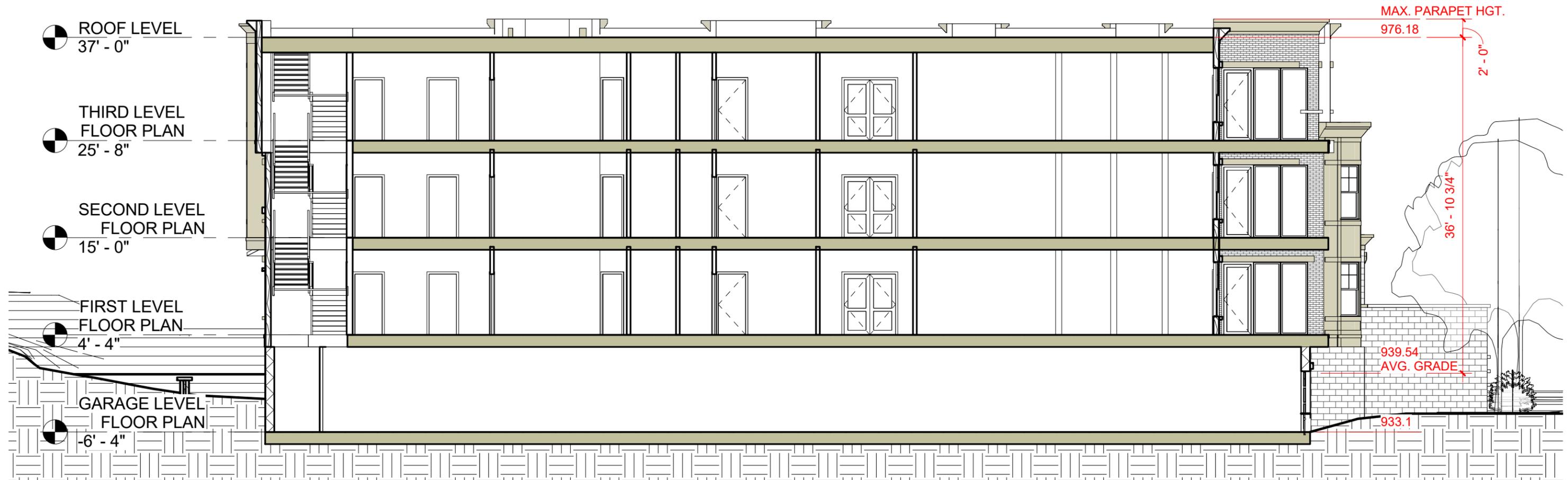
scale: 1/16" = 1'-0"

SITE AREA: 10,897 SQ FT
 BUILDING AREA: 5,399 SQ FT, 50% SITE COVERAGE
 5 DWELLING UNITS
 600 SQ FT OFFICE

AVERAGE GRADE EXHIBIT

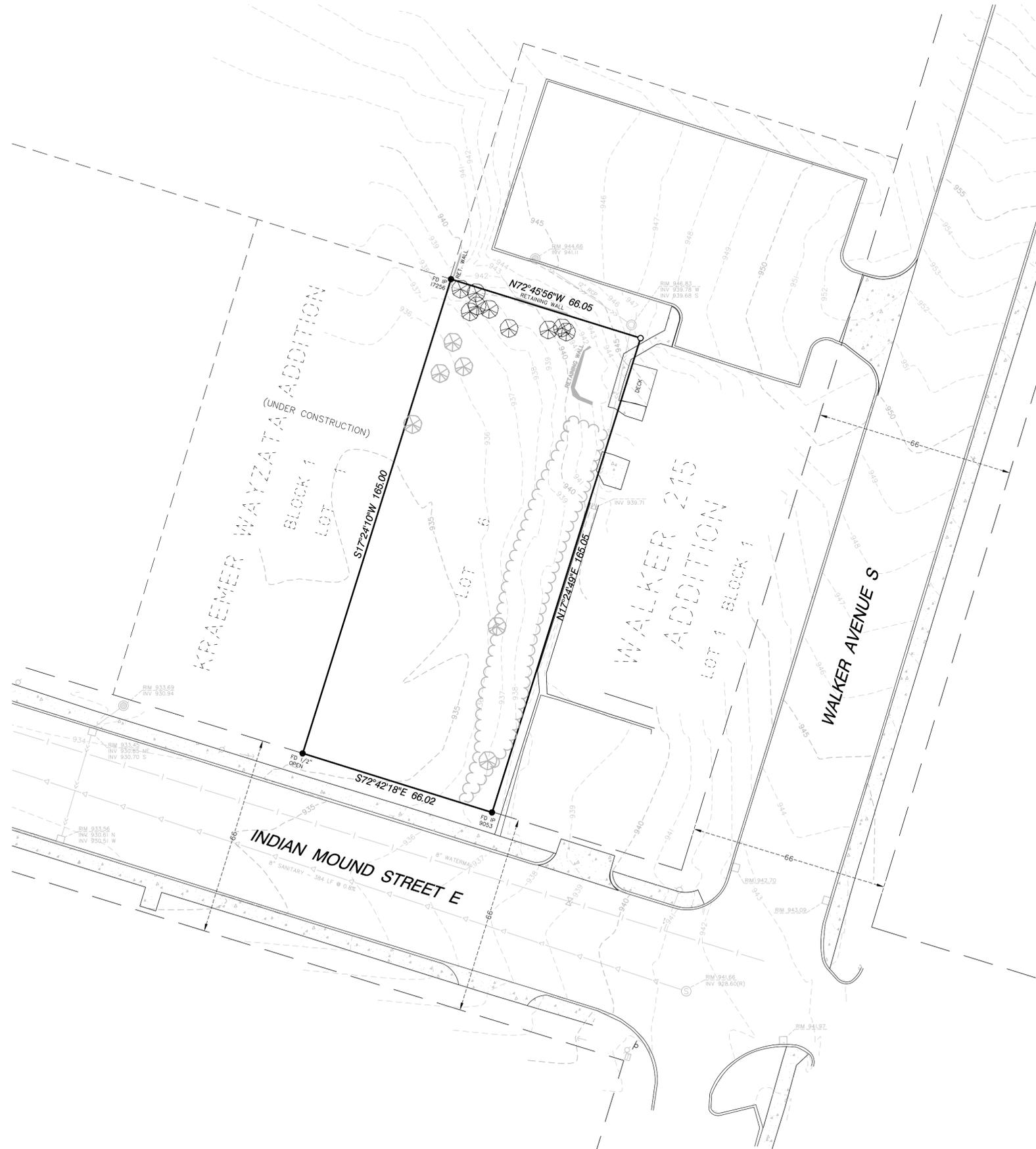
92'x40.75	=	3749
32'x43.5	=	1392
19'x33.5	=	636.5
144'x36	=	5184
98'x43.5	=	4263
385'	=	15224.5
939.54 AVG. GRADE ELEV.		
976.43 ROOF HGT. ELEV.		
36.89' ROOF HGT. FROM AVG. GRADE		
38.89' PARAPET HGT. FROM AVG. GRADE		

2 JUN 2016



1 BUILDING SECTION
 scale: 3/32" = 1'-0"

2 JUN 2016



VICINITY MAP



LEGAL DESCRIPTION

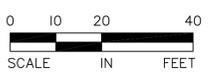
Lot 6, Block 5, Wayzata Revised, Hennepin County, Minnesota.

NOTES

1. This survey was prepared from legal descriptions supplied and our in house records and may not depict all easements, appurtenances or encumbrances affecting the property. The spot elevations, contours, existing features and utility as-built information are based on an boundary/topo survey dated 10/28/14, prepared by EVS, Inc. Alliant Engineering performed a boundary and partial topo verification of trees and features 11/06/15.
2. We did not investigate or call Gopher One Call to locate underground utilities. Contact Gopher State One Call (<http://www.gopherstateonecall.org/>) or call (651) 454-0002) to verify critical utilities prior to construction or design.
3. The orientation of this bearing system is based on the Hennepin County Coordinate System NAD83. Coordinates are Hennepin County ground feet, based on the Minnesota Coordinate System, Southern Zone, NAD83, 1986 (non HARN values). Coordinate values dated January, 2005 and Vertical Datum is NAVD88
4. All distances are in feet.
5. The area of the above described property is 10,897 square feet or 0.250 acres.

LEGEND

- SET CAP IRON MONUMENT 18425
- FOUND IRON MONUMENT
- HYDRANT
- ⊗ WATER VALVE
- ⊕ SANITARY MANHOLE
- CATCH BASIN
- ⊠ ELECTRIC BOX
- ⊛ LIGHT
- ⊙ STORM MANHOLE
- ⊚ POWER POLE
- ⊛ WATER SERVICE
- GAS
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- FENCE
- CONCRETE





ALLIANT
ENGINEERING

233 Park Ave S, Ste 300
Minneapolis, MN 55415
612.758.3080 MAIN
612.758.3099 FAX
www.alliant-inc.com

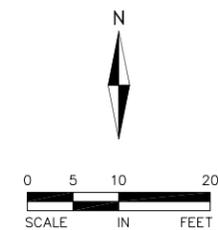
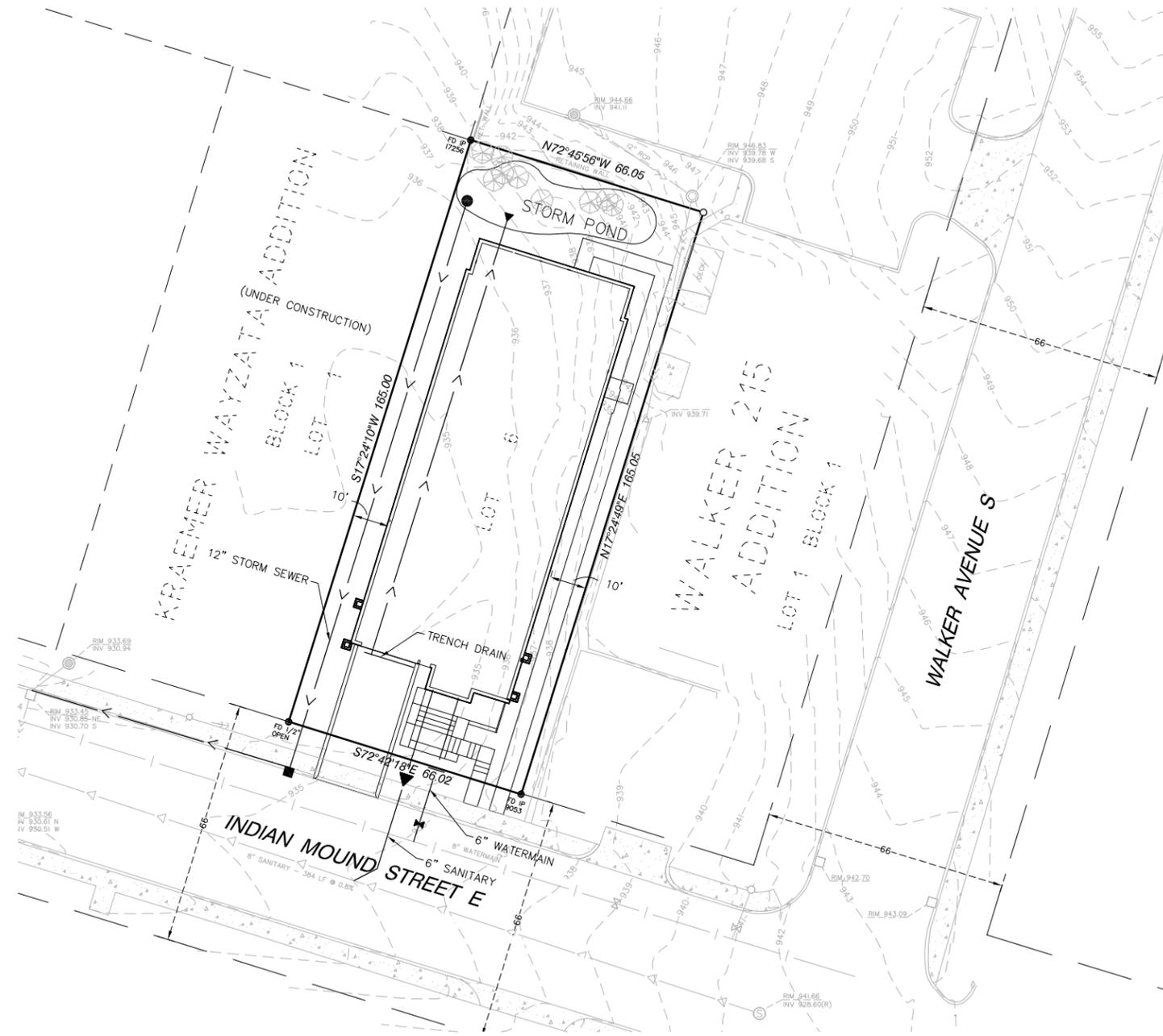
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

DENNIS B. OLMSTEAD
Print Name
FOR REVIEW
Signature
Date _____ License Number _____

BEACON FIVE
539 INDIAN MOUND EAST
WAYZATA, MN

DRAWN BY DE, GB
CHECKED BY DBO
DATE ISSUED 4/4/16
SCALE 1"=20'
JOB NO. 150125
BOOK 1

Drawing name: X:\2015\150125\plan sheets\Concept\Submit\150125util.dwg, Apr 15, 2016 - 2:45pm



ALLIANT
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www.alliant-inc.com

BEACON FIVE
529 INDIAN MOUND EAST
WAYZATA, MINNESOTA
RON CLARK CONSTRUCTION
CONCEPT UTILITY PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

DAVID NASH, PE

Date _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
12/2/15	CONCEPT
1/13/16	NEW BUILDING FOOTPRINT

PROJECT TEAM DATA
DESIGNED: DN
DRAWN: DPE
PROJECT NO: 150125

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