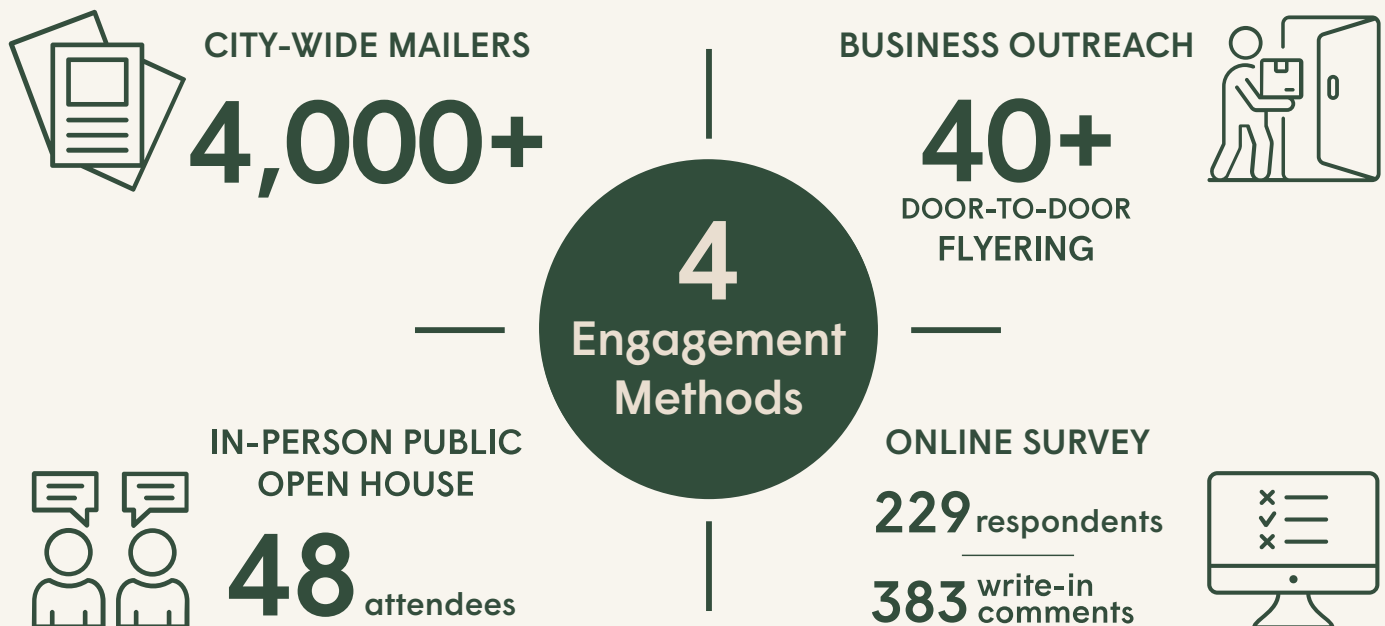




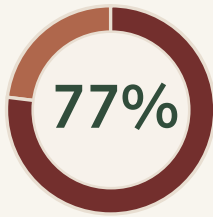
## Public Engagement Summary

Panoway on Wayzata Bay is an initiative to restore, protect and enhance Wayzata's downtown lakefront. The multi-phase project will transform the public shoreline on Lake Minnetonka, enhancing the lakefront experience and preserving it for years to come. Phase 2 public engagement runs through spring and summer 2022.



# Findings

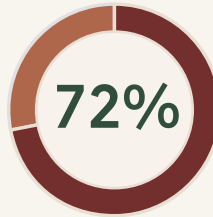
## Step-downs and deck material



In favor of including step-downs as a way to access water

Most favored deck material characteristics: long-term durability and minimizing ongoing maintenance costs

## Garden reconfiguration at Depot Park

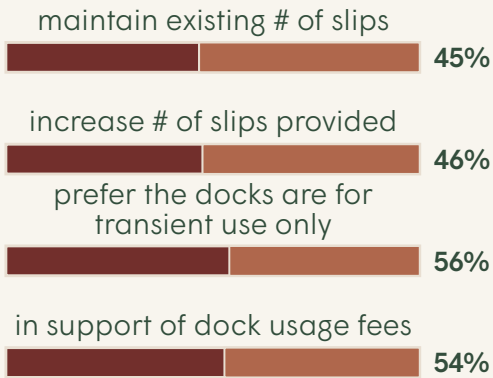


In favor of garden reconfiguration at Depot Park

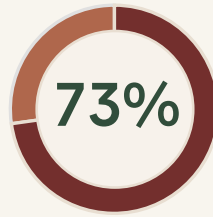
Common comments:

- "Make ADA accessible"
- "Keep historic integrity"

## Community docks



## Eco-park

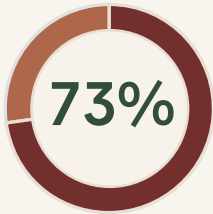


In favor of making wetland and marshland enhancements for educational purposes

Common comments:

- "Protect critical habitat"
- "Consider partnering with STEM organizations"

## Restrooms at Depot Park

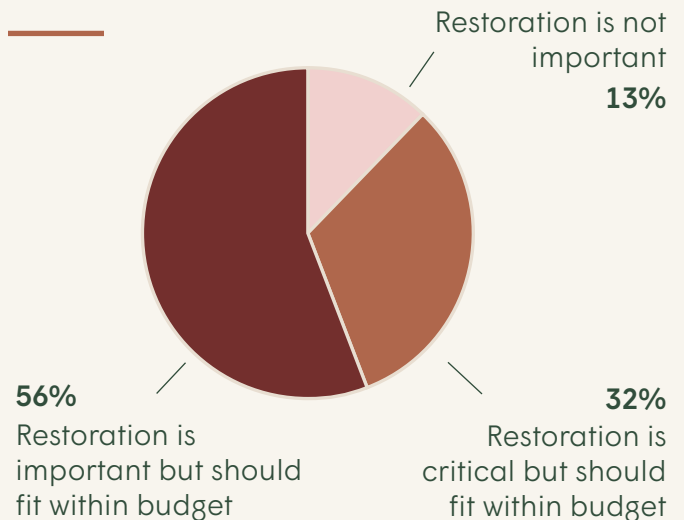


In favor of restrooms at Depot Park

Common comments:

- "Small, inconspicuous, does not block lake view"
- "Regular maintenance and patrolled for safety"

## Shoreline restoration





# Open House 2 Engagement Summary

Panoway on Wayzata Bay is an initiative to restore, protect and enhance Wayzata’s downtown lakefront. The multi-phase project will transform the public shoreline on Lake Minnetonka, enhancing the lakefront experience and preserving it for years to come. Panoway project staff completed community engagement in the summer of 2022 to confirm the design plans for Panoway Phase 2, to gather input on community preferences for key design details, and to share information and build excitement.



**“** What a fun idea. What a great event! **”**



# Polling

## Community Docks

### Depot docks

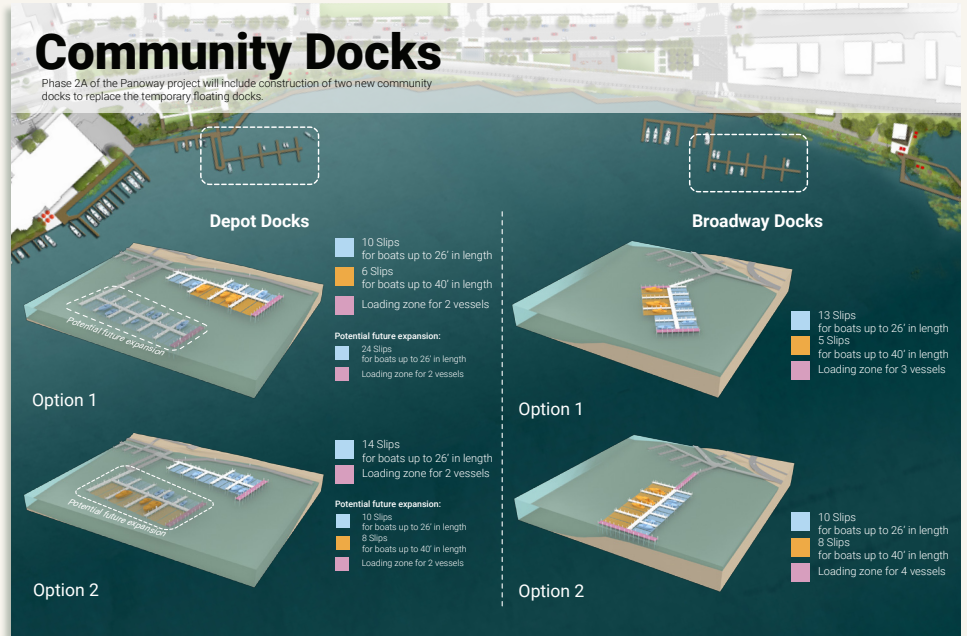


Option 1 - 8 votes  
Option 2 - 26 votes

### Boardwalk docks

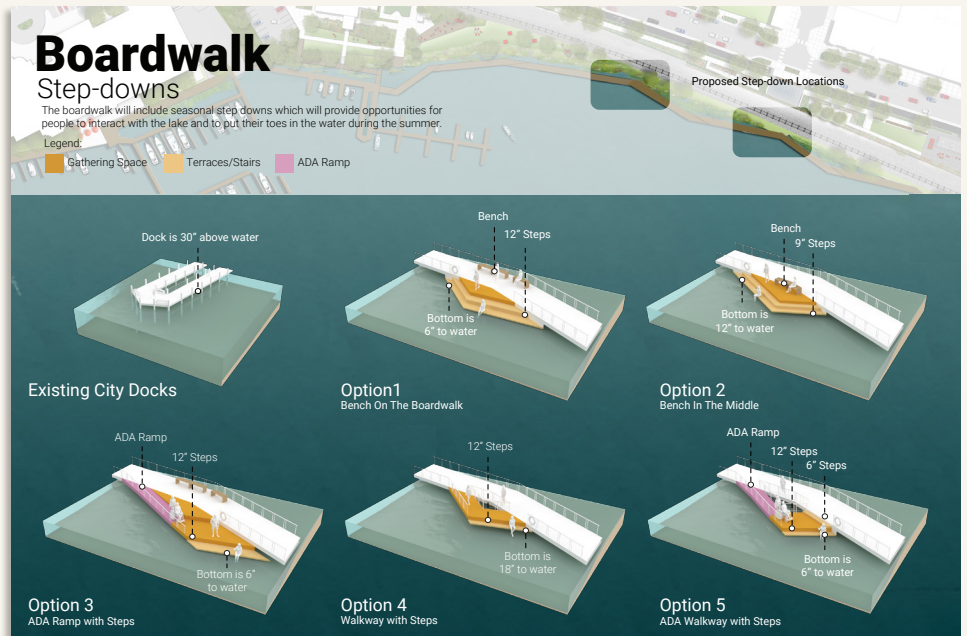
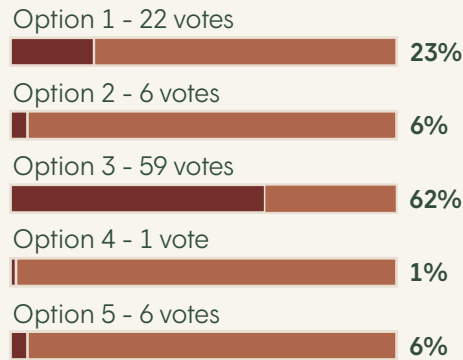


Option 1 - 32 votes  
Option 2 - 7 votes



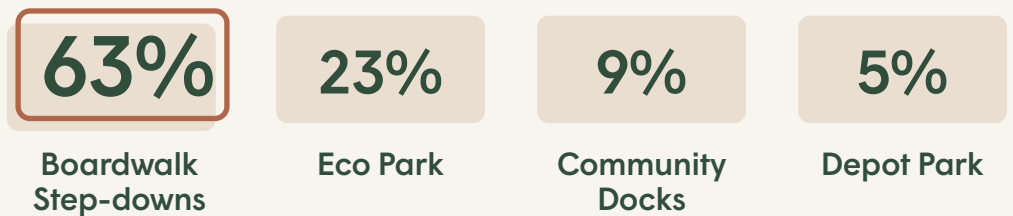
An informational/polling board from the open house.

## Boardwalk Step-downs



An informational/polling board from the open house.

What improvement are you most looking forward to?



# What's Next On Panoway?





# May 10th Community Open House

Phase 2 Community Meeting #1 + Survey Results

**Post Card sent to all Wayzata Residents - April**

**5 promotional social media posts**

**Door to Door visits with over 40 businesses**

**Community Open House May 10th - 48 people signed in**

**229 Online Survey Participants**

**Community Engagement**

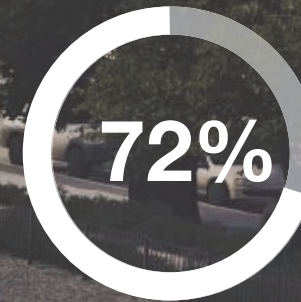




# Depot Park Gardens

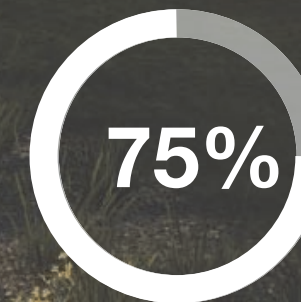
Do you support reconfiguring the community garden to have ADA access and to create additional lawn areas and garden spaces?

Yes

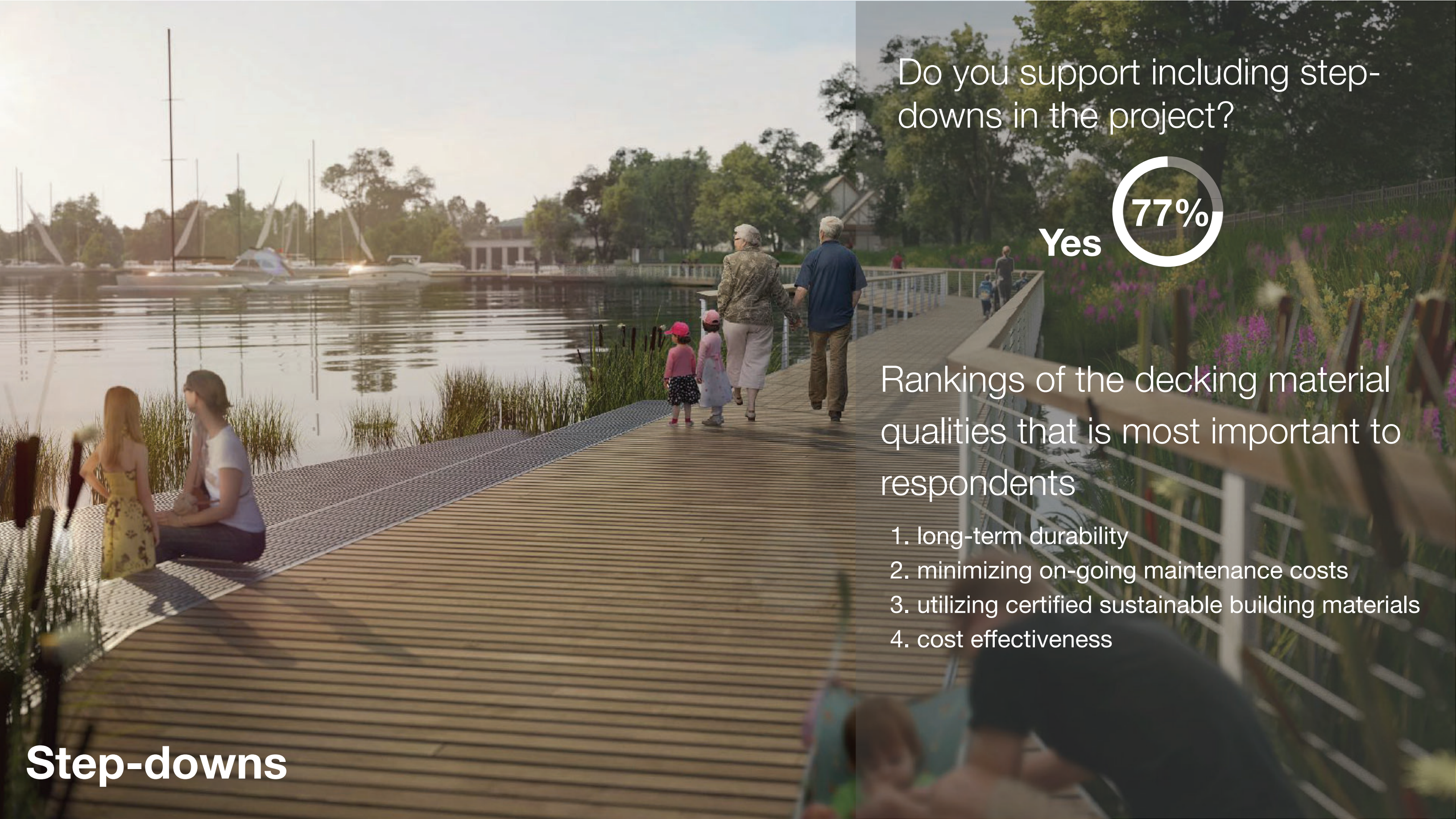


Do you support adding a restroom facility to the Depot Park area?

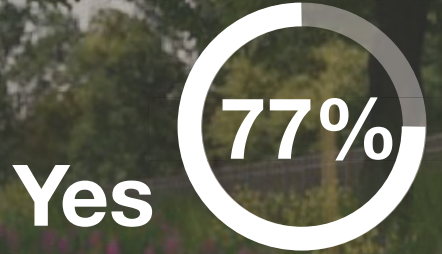
Yes







Do you support including step-downs in the project?



Rankings of the decking material qualities that is most important to respondents

1. long-term durability
2. minimizing on-going maintenance costs
3. utilizing certified sustainable building materials
4. cost effectiveness

# Step-downs



Location A

27%

Location B

46%

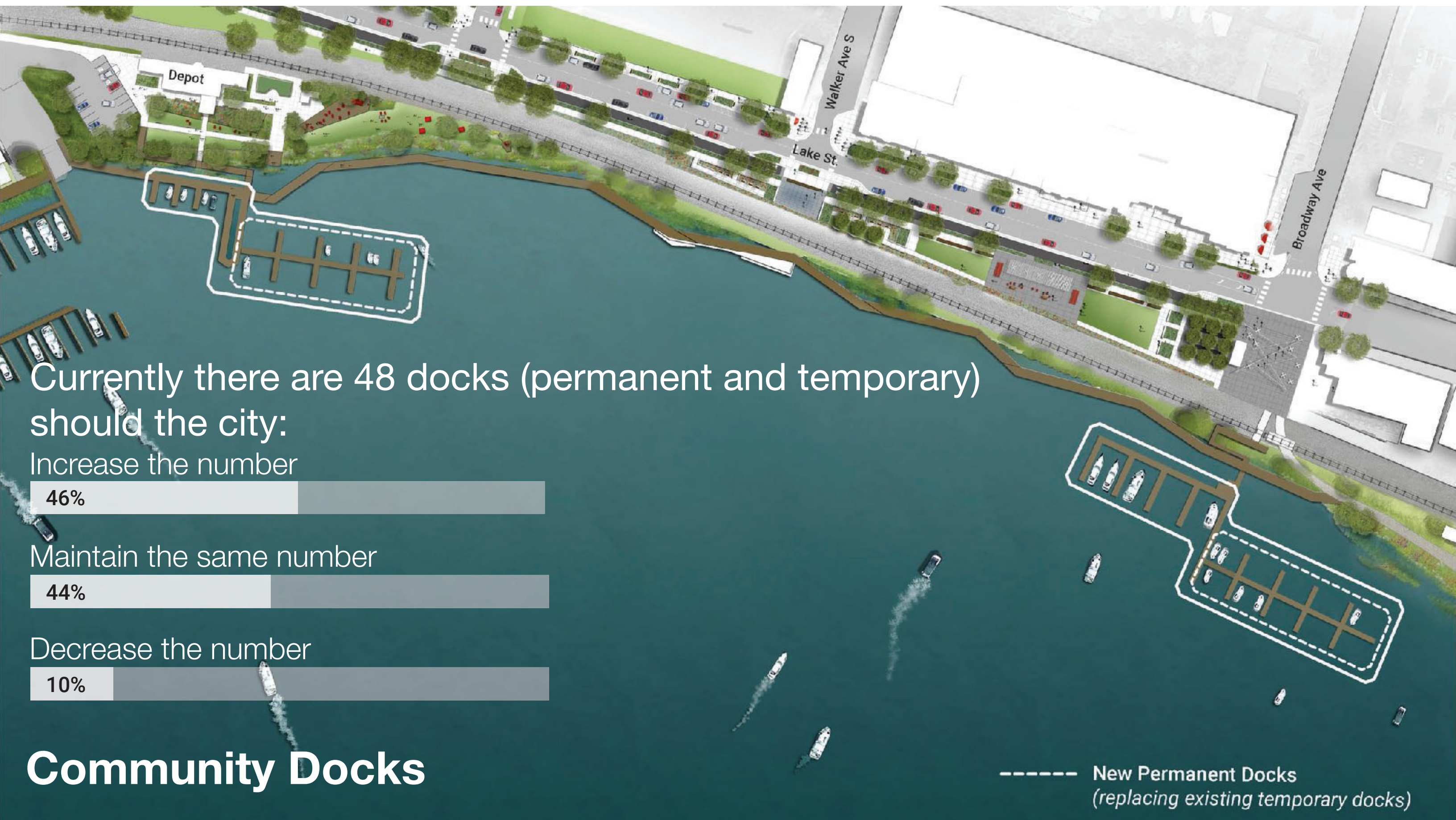
Location C

27%

What is your preferred location for a step-down?

Note: multiple comments suggested multiple step-downs should be considered

**Step-downs**



Currently there are 48 docks (permanent and temporary)  
should the city:  
Increase the number

46%

Maintain the same number

44%

Decrease the number

10%

# Community Docks

----- New Permanent Docks  
(replacing existing temporary docks)

What type of docks should the city consider:

56%

Transient

44%

Combination Transient & Permanent

50%

Yes

Should a portion of the docks be reserved for community uses (e.g. sailing club, classes, etc)

Do you support a user fee for dock usage?

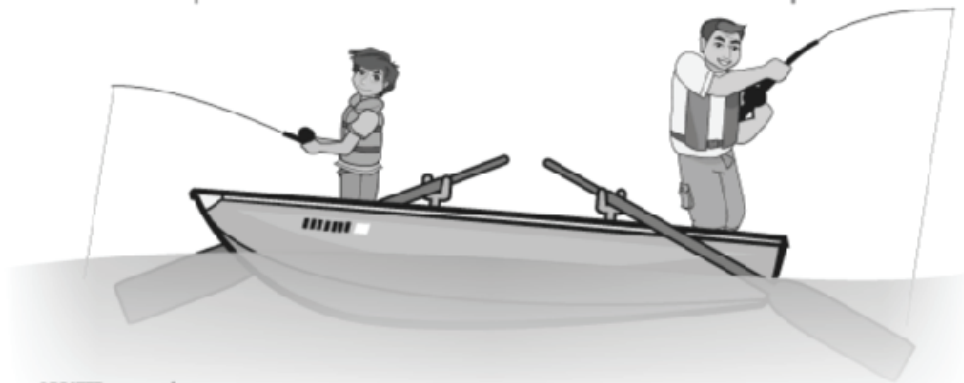
54%

Yes



**Community Docks**

What size of boats should be accommodated by the new docks?  
(select all that apply)



Class A: Less than 16ft.

50% yes



Class 1: 16ft. To 26ft.

80% yes



Class 2: 26ft. To 40ft.

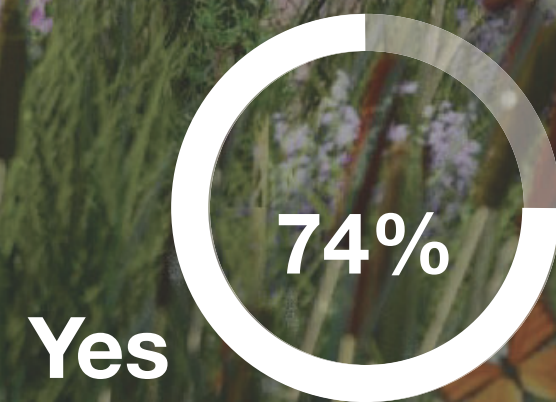
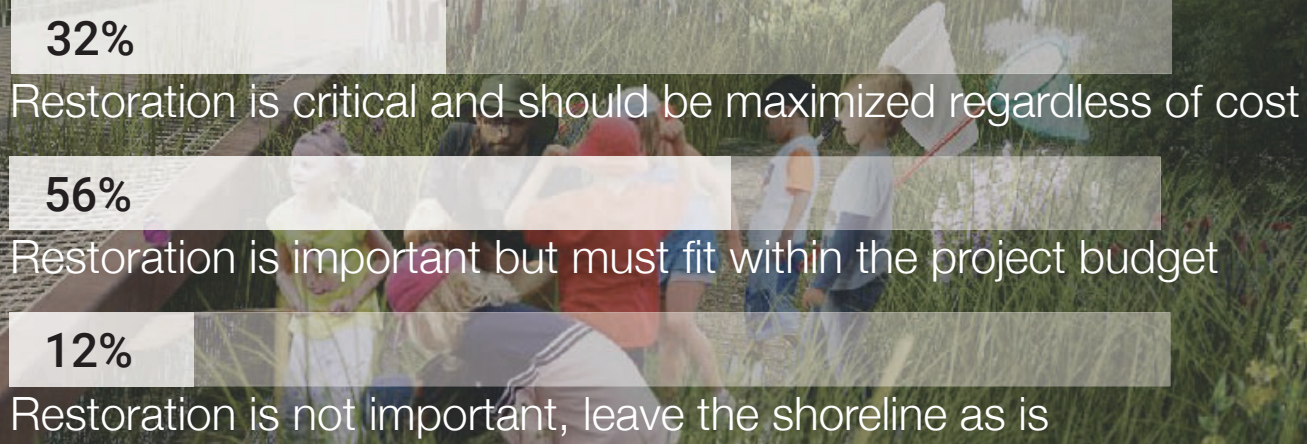
32% yes

## Community Docks



# Eco Park - Wetland Enhancements

As the shoreline restoration is refined which of the following statements represents an approach you are likely to support?



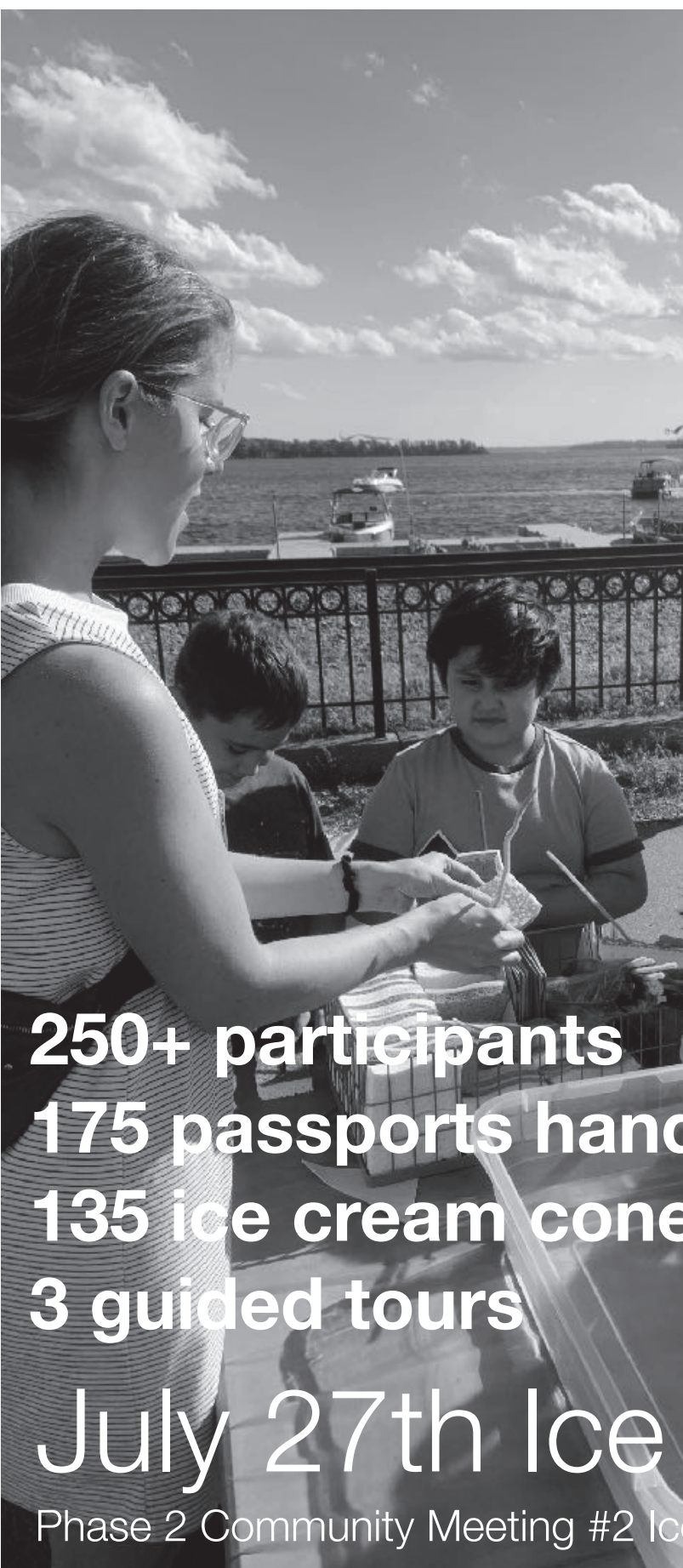
Do you support making wetland and marshland enhancement for educational purposes?



250+ participants  
175 passports handed out  
135 ice cream cones served  
3 guided tours

# July 27th Ice Cream Social

Phase 2 Community Meeting #2 Ice Cream Social



**250+ participants**  
**175 passports handed out**  
**135 ice cream cones served**  
**3 guided tours**  
**July 27th Ice Cream Social**  
Phase 2 Community Meeting #2 Ice Cream Social

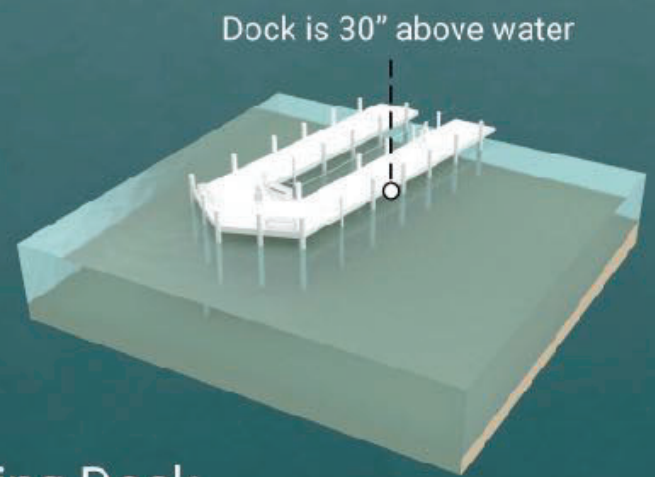
# Boardwalk

## Step-downs

The boardwalk will include seasonal step downs which will provide opportunities for people to interact with the lake and to put their toes in the water during the summer.

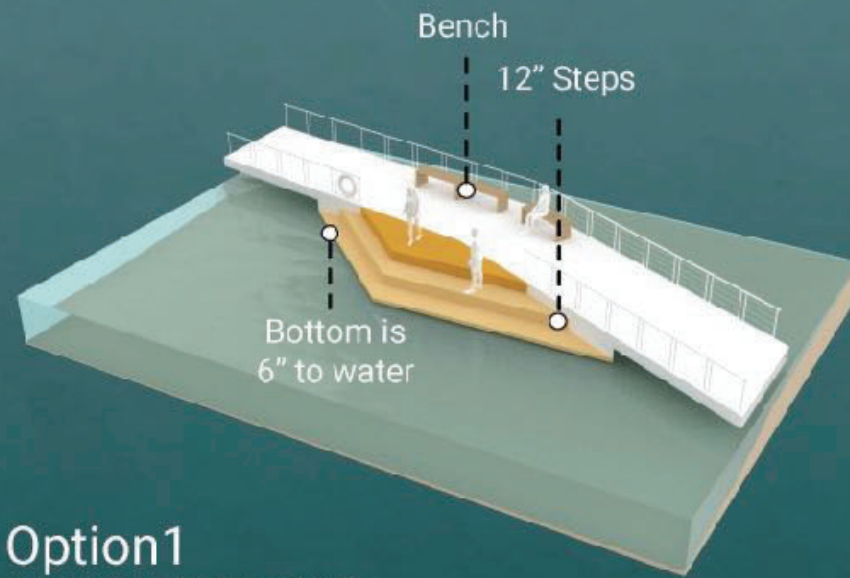
Legend:

- Gathering Space
- Terraces/Stairs
- ADA Ramp



Dock is 30" above water

Existing Dock

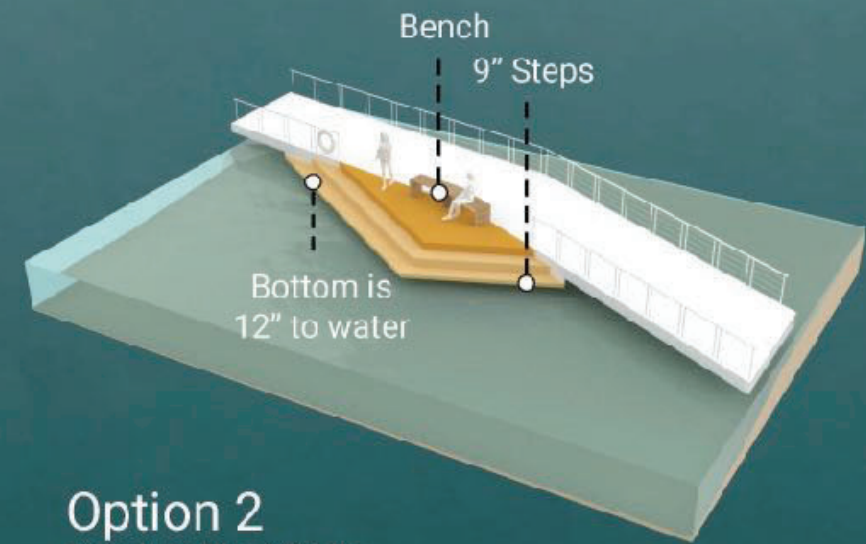


Bench

12" Steps

Bottom is 6" to water

Option 1  
Bench On The Boardwalk

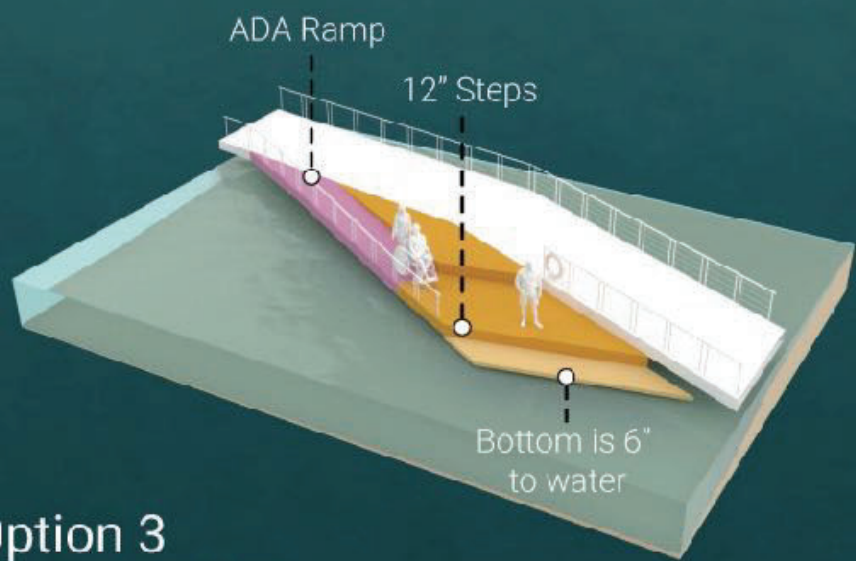


Bench

9" Steps

Bottom is 12" to water

Option 2  
Bench In The Middle

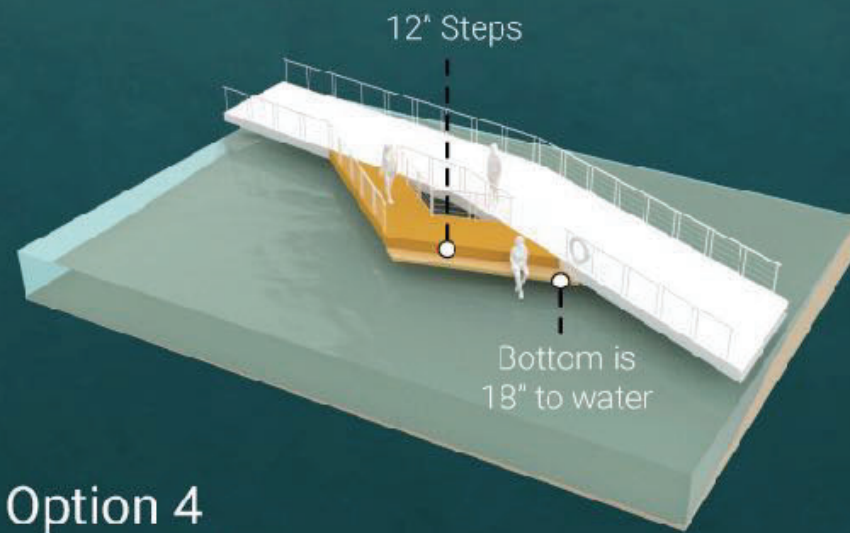


ADA Ramp

12" Steps

Bottom is 6" to water

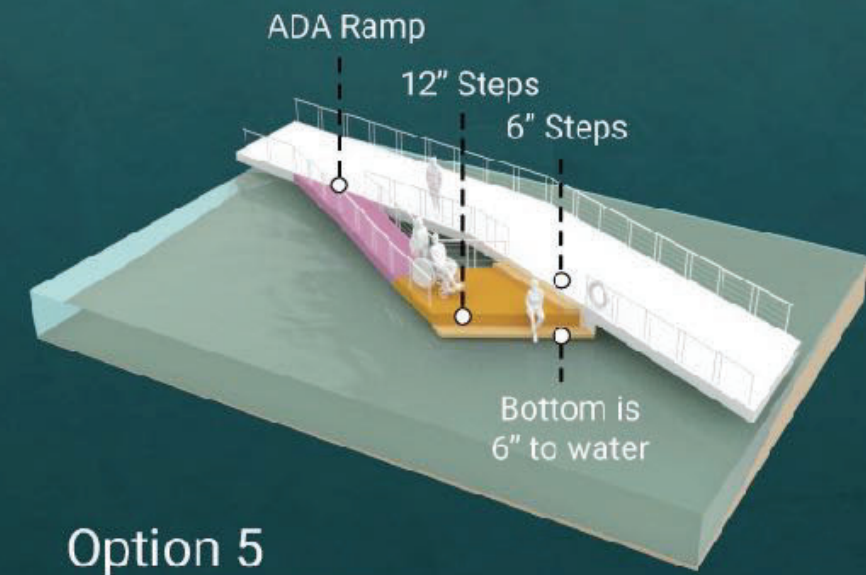
Option 3  
ADA Ramp with Steps



12' Steps

Bottom is 18" to water

Option 4  
Walkway with Steps



ADA Ramp

12" Steps

6" Steps

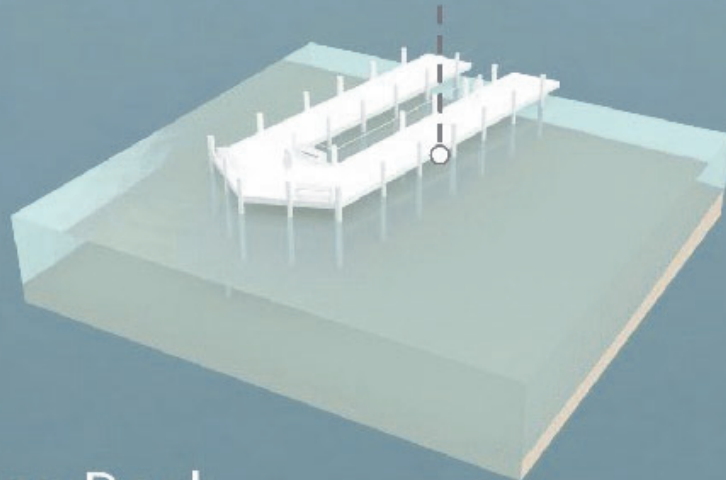
Bottom is 6" to water

Option 5  
ADA Walkway with Steps

# Results

94 participants

Dock is 30" above water

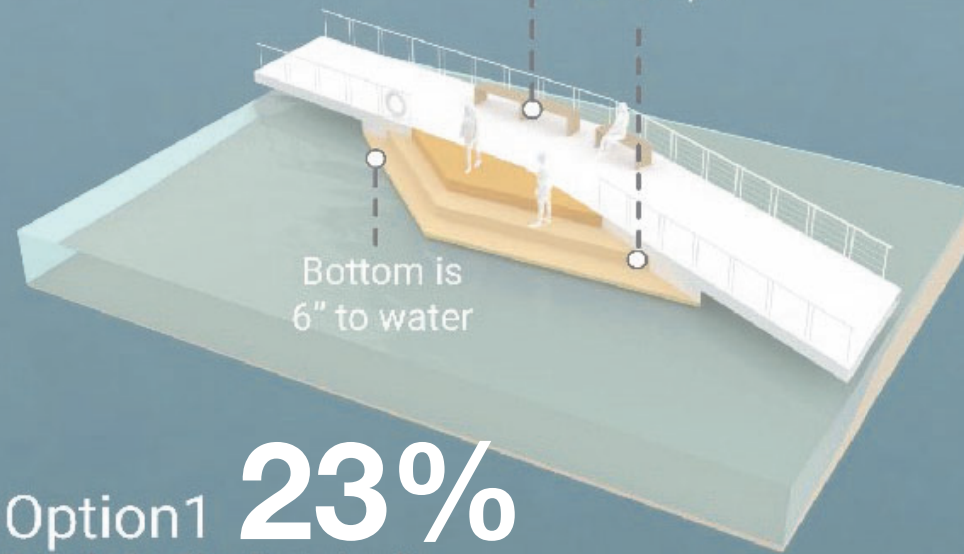


Existing Dock

Bench

12" Steps

Bottom is 6" to water

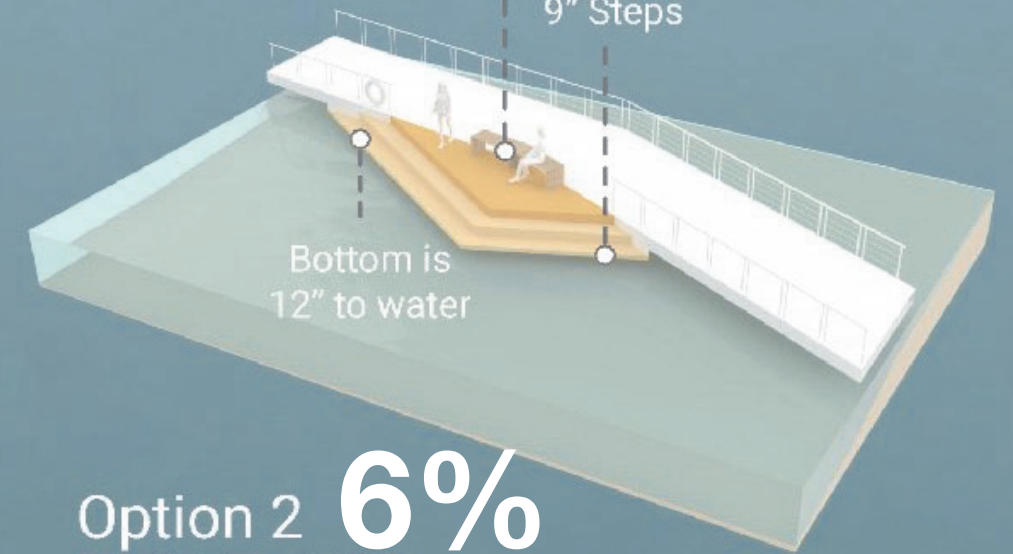


Option 1 **23%**  
Bench On The Boardwalk

Bench

9" Steps

Bottom is 12" to water

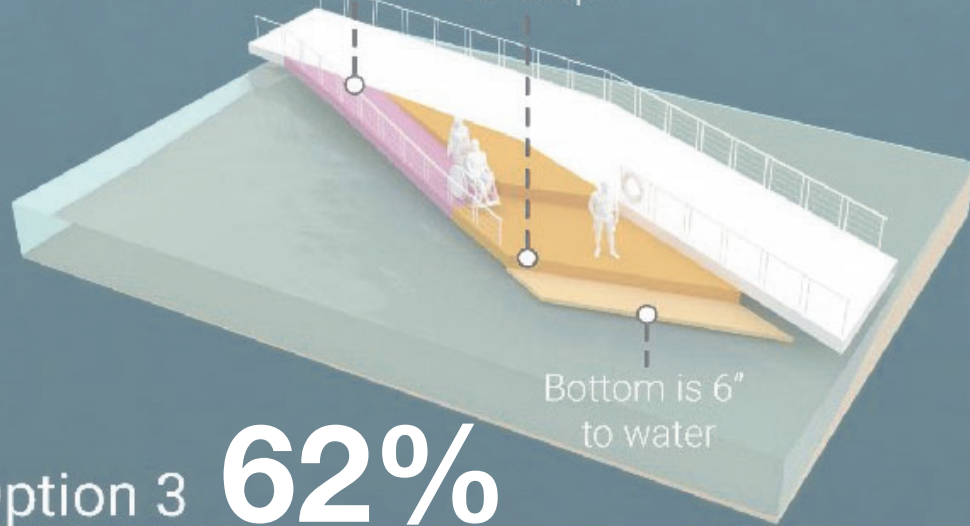


Option 2 **6%**  
Bench In The Middle

ADA Ramp

12" Steps

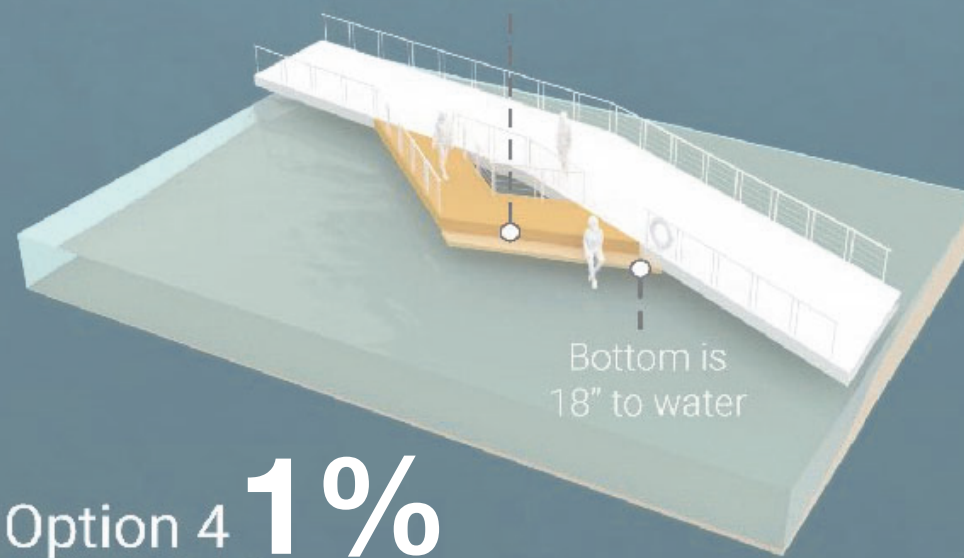
Bottom is 6" to water



Option 3 **62%**  
ADA Ramp with Steps

12" Steps

Bottom is 18" to water



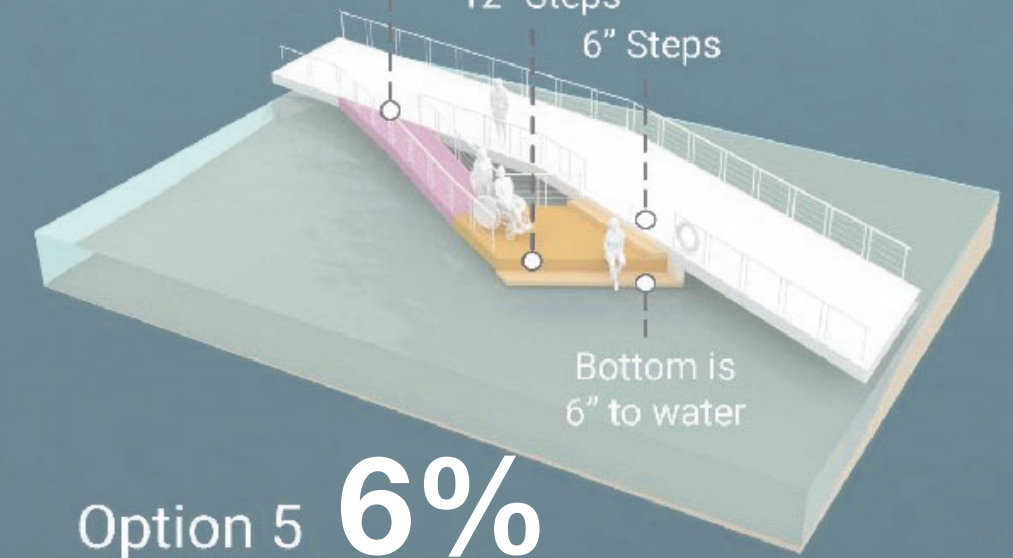
Option 4 **1%**  
Walkway with Steps

ADA Ramp

12" Steps

6" Steps

Bottom is 6" to water



Option 5 **6%**  
ADA Walkway with Steps

# Community Docks

Phase 2A of the Panoway project will include construction of two new community docks to replace the temporary floating docks.

## Depot Docks

- 10 Slips for boats up to 26' in length
- 6 Slips for boats up to 40' in length
- Loading zone for 2 vessels

**Potential future expansion:**

- 24 Slips for boats up to 26' in length
- Loading zone for 2 vessels

- 14 Slips for boats up to 26' in length
- Loading zone for 2 vessels

**Potential future expansion:**

- 10 Slips for boats up to 26' in length
- 8 Slips for boats up to 40' in length
- Loading zone for 2 vessels

## Broadway Docks

- 13 Slips for boats up to 26' in length
- 5 Slips for boats up to 40' in length
- Loading zone for 3 vessels

- 10 Slips for boats up to 26' in length
- 8 Slips for boats up to 40' in length
- Loading zone for 4 vessels

Option 1

Option 1

Option 2

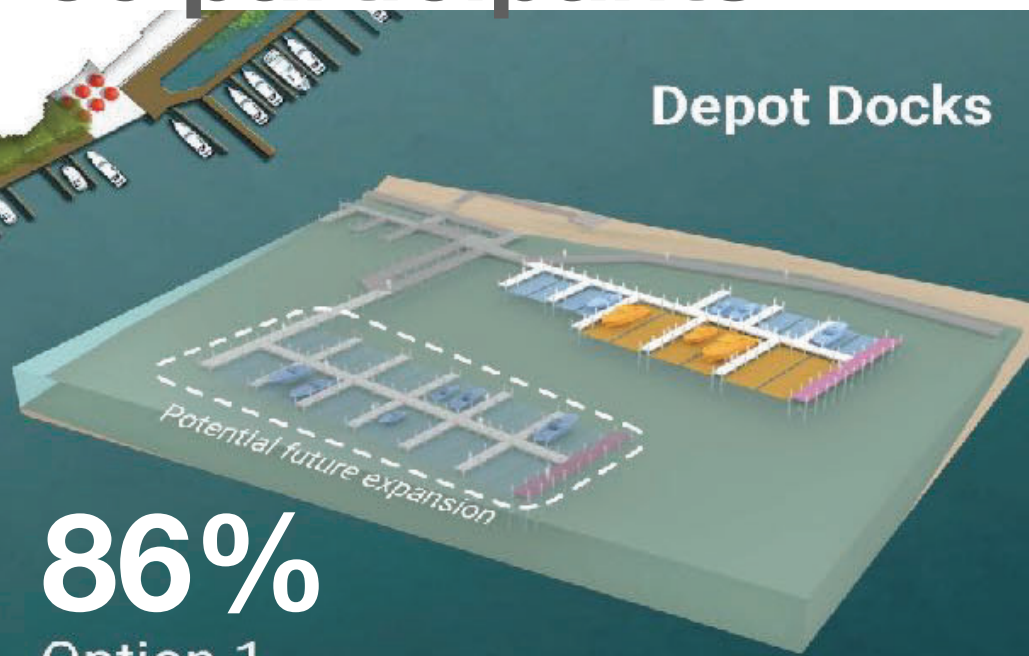
Option 2

# Community Docks

## Results

36 participants

### Depot Docks

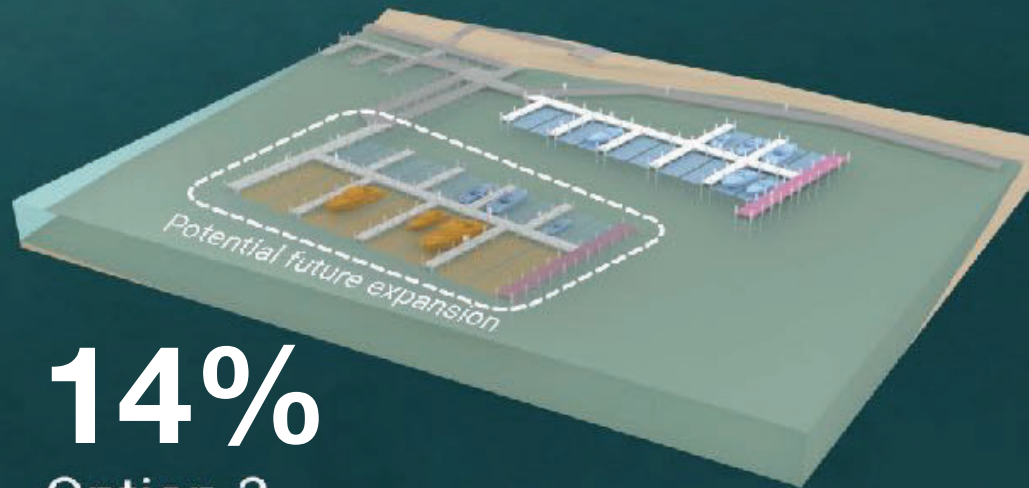


86%  
Option 1

- 10 Slips for boats up to 26' in length
- 6 Slips for boats up to 40' in length
- Loading zone for 2 vessels

Potential future expansion:

- 24 Slips for boats up to 26' in length
- Loading zone for 2 vessels



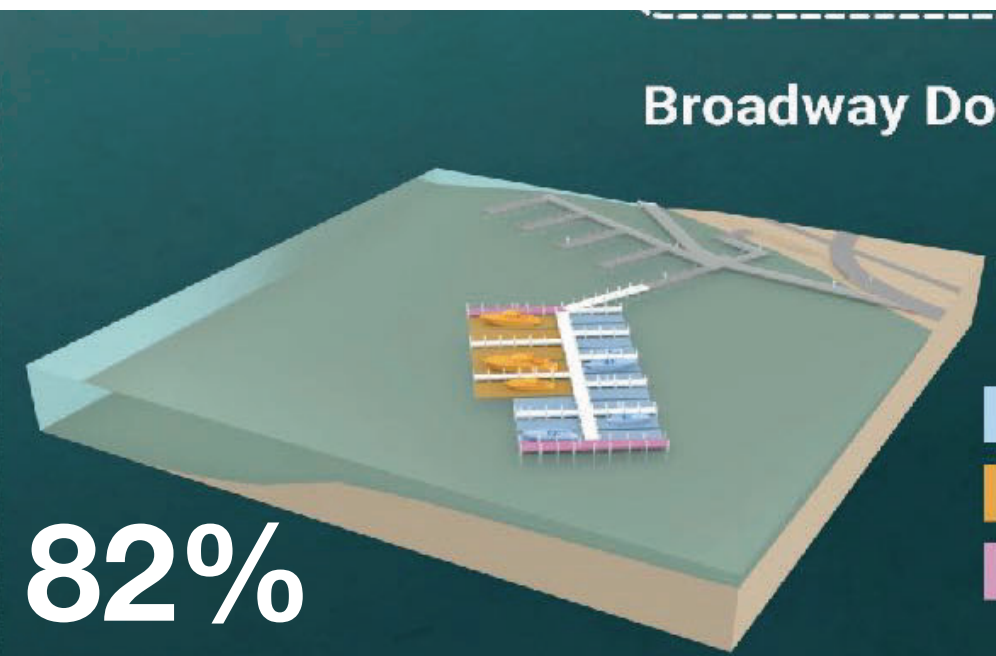
14%  
Option 2

- 14 Slips for boats up to 26' in length
- Loading zone for 2 vessels

Potential future expansion:

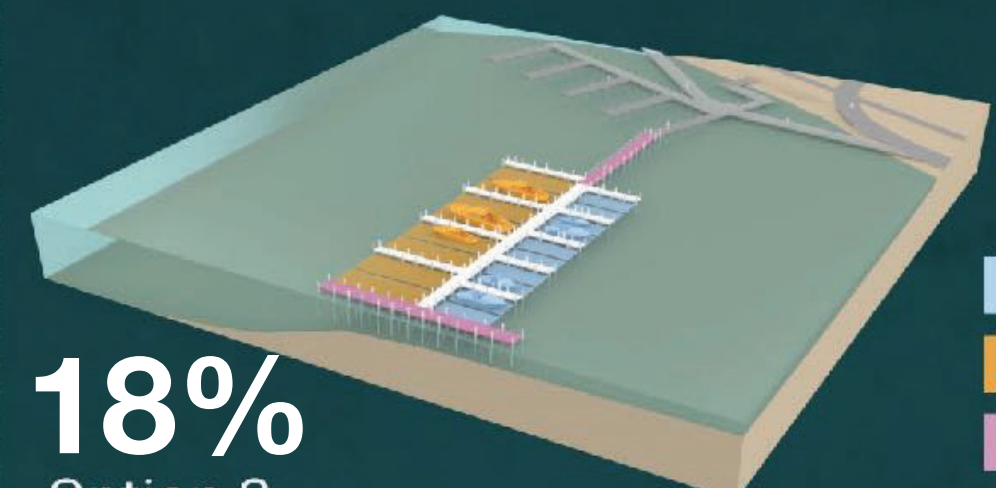
- 10 Slips for boats up to 26' in length
- 8 Slips for boats up to 40' in length
- Loading zone for 2 vessels

### Broadway Docks



82%  
Option 1

- 13 Slips for boats up to 26' in length
- 5 Slips for boats up to 40' in length
- Loading zone for 3 vessels



18%  
Option 2

- 10 Slips for boats up to 26' in length
- 8 Slips for boats up to 40' in length
- Loading zone for 4 vessels

# Eco Park

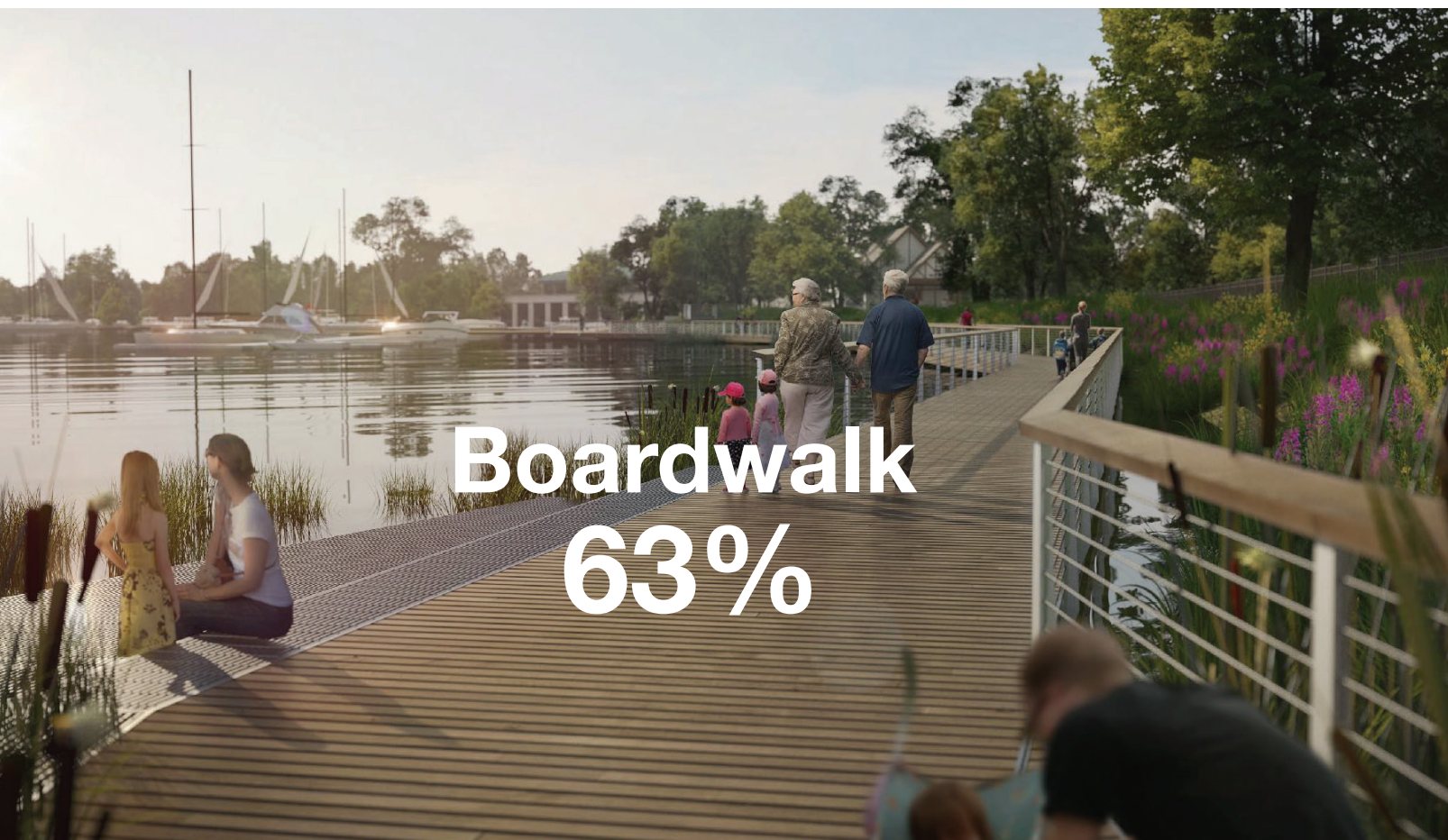
## Pond Aeration Comparison

Pond aeration will increase the dissolved oxygen levels in the water creating healthier habitats for fish and other wildlife while limiting algae blooms. By introducing three different types of aeration systems, Eco Park visitors will be able to visually see and experience the effects of each type of system.

## Stormwater Filtration Demonstration

In urban environments surface water that is collected after a rain event contains high levels of contaminants. Prior to releasing the water into natural systems these contaminants must be removed. This proposed intervention will include two different type of filtration systems and a restored wetland and shoreline that will cleanse the water and allow Eco Park visitors to see and explore these systems.





**Boardwalk  
63%**



**Docks  
9%**



**Eco Park  
23%**



**Depot Park  
5%**

**Which Improvements are you most excited about?**



# Proposed Plan



Proposed Restroom

Community  
Docks

Proposed  
Step-Down

# Depot Park + Community Docks - Proposed Plan Enlargement

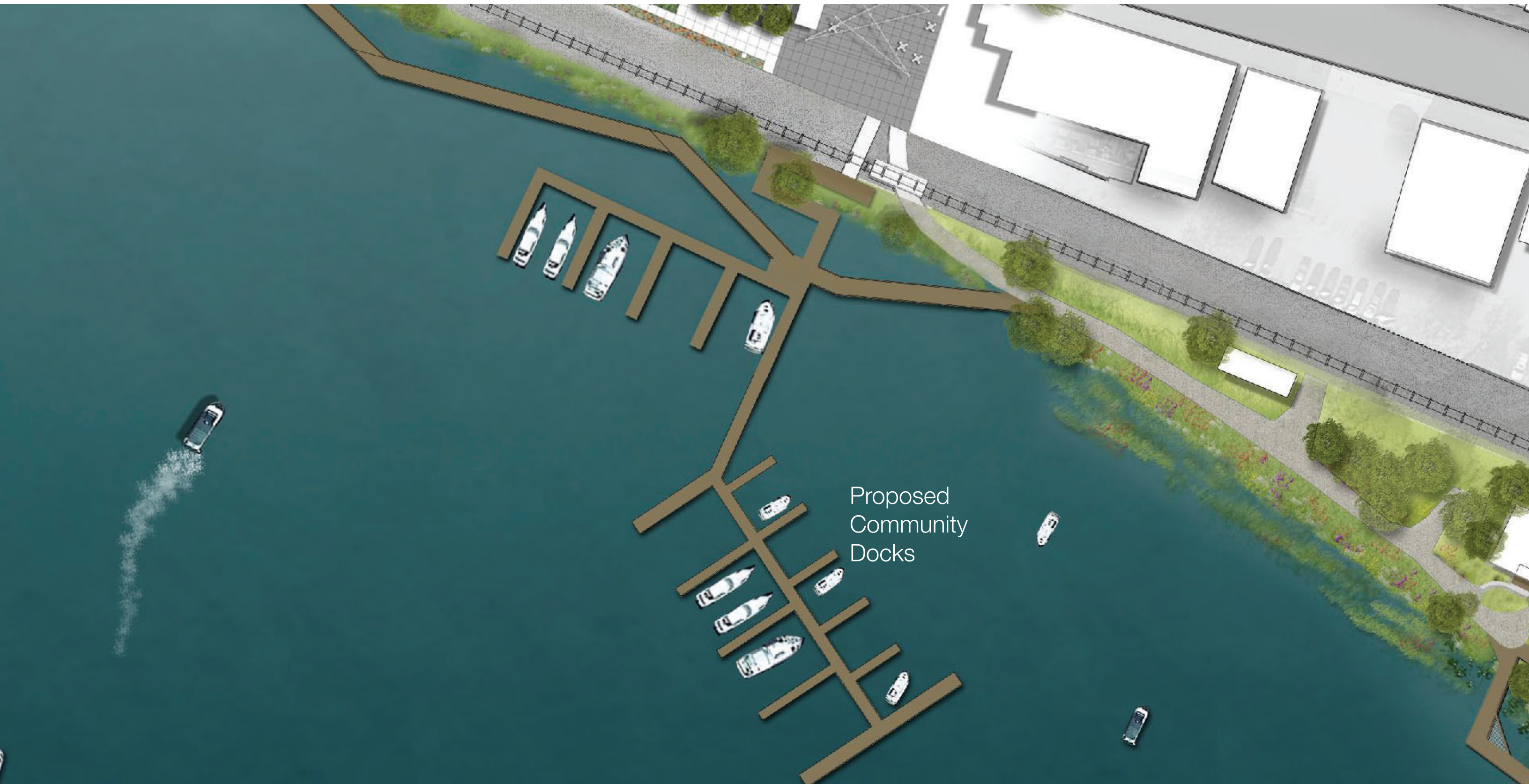


Proposed  
Community  
Docks

Proposed  
Step-Down

Proposed  
Step-Down

# Boardwalk + Step Downs - Proposed Plan Enlargement



Proposed  
Community  
Docks

# Community Docks - Proposed Plan Enlargement



Proposed  
Community  
Docks

Section  
Foreman's  
House

Eco Park

Expanded  
Wetland

# Eco Park - Proposed Plan Enlargement



# Existing Condition



# On-going Permitting

## Minnehaha Creek Watershed District

- Requires floodplain storage mitigation (approximately 800 cu. ft. For phase 2A)
- District is researching if a boardwalk is considered pervious vs. impervious. If impervious may require mitigation.

## USACE

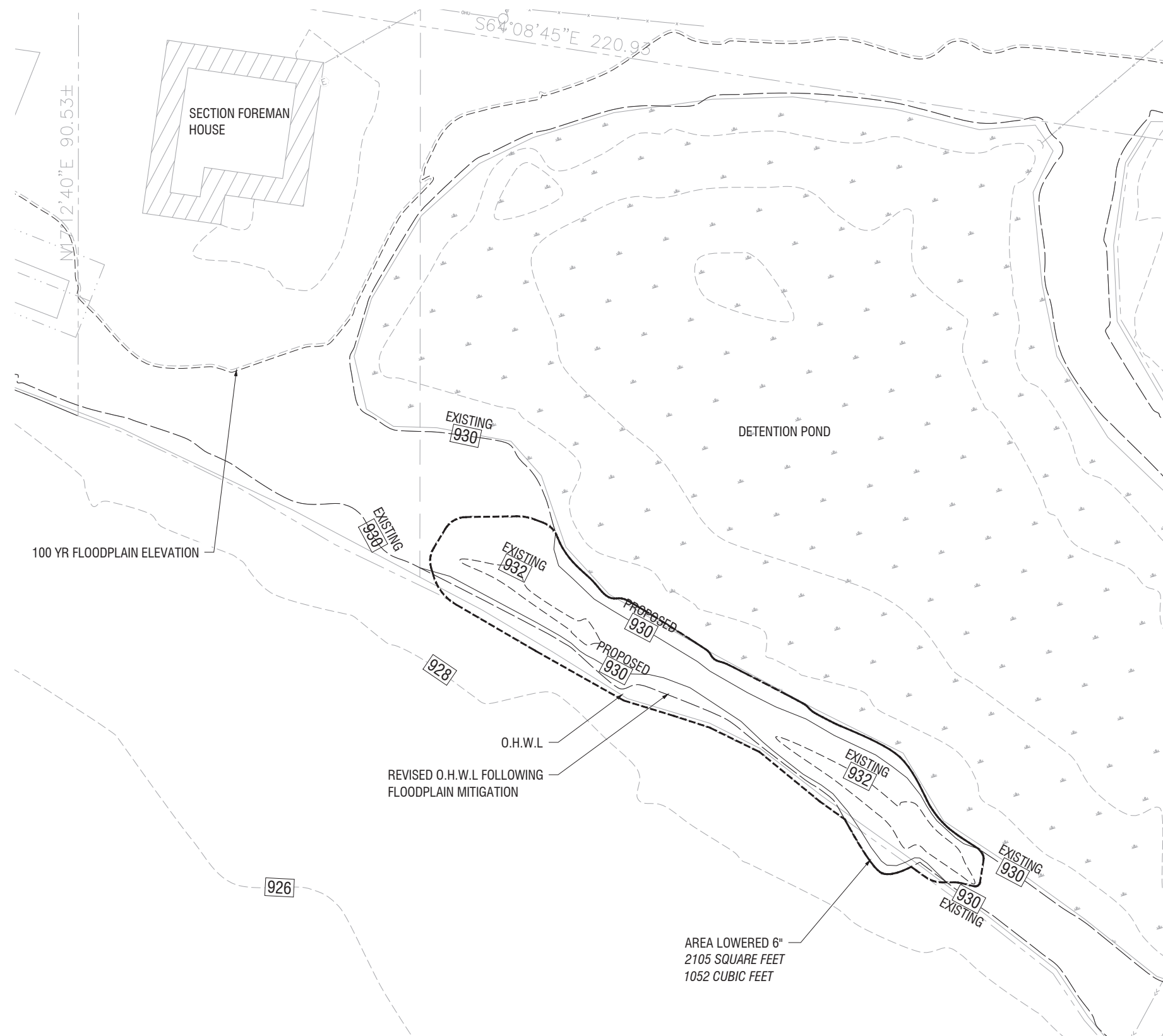
- Permit should not require mitigation, but need to submit formal application to get a formal ruling from USACE that it will likely fall under a no Pre-construction Application/Notification because our disturbances and discharges are below minimal thresholds.

## DNR

- DNR staff do not anticipate requiring any mitigation for the boardwalk or the structural piers.

**Next Step for Permitting - Submit Joint Permit Application to the City to be routed to all permitting agencies**





# Proposed Mitigation

# **Policy Decisions requiring Additional Discussion and Council Direction at a Future Date**

- **Fishing on the Boardwalk**
- **Community Dock usage and fees**
- **Public safety**
- **The use of wheeled devices (bikes, skateboard, and scooters) on boardwalk**



Questions?



hello.

Section Foreman House

City of Wayzata



Design Development Review #2 | 8-16-22

## Guiding Principles - What We Heard

---

- o Restoring the home's significance
- o Telling the unique story of the history and place
- o Inspiring past, present and future community advancements
- o A distinctive place for year round indoor and outdoor learning
- o Flexible and adaptable for diversity of community ages and activities
- o Vibrant, safe, accessible and welcoming to all
- o Celebrating connections to the community, railroad, lake and pond
- o Environment, ecology and energy friendly
- o Simple, classy, charming, elegant and easy to maintain
- o Strong bookend of the overall community pathway
- o Reinforces Wayzata's authentic inviting small town feel
- o Point to other significant places in Wayzata

## Historic Standards

- 1902 building and 1944 addition are historic
- No addition
- Limited removals

## Programming

- Flexible interior learning environment
- 12-15 people groups most common size
- Indoor/Outdoor connections for learning
- Four season use

## Code requirements

- ADA accessible entrance
- ADA accessible restroom
- Energy efficient equipment upgrades

### Design Development Phase

7-28-22: 100% Design Development Deliverable to City/MNHS

- ◆ 8-16-22: City Council Review of Phase 2b Section Foreman House Documents & Project Budget (and Phase 2A Boardwalk and Docks)

Includes further development of:

- Site & landscaping design and specifications
- Roof & Window replacement notations
- Mechanical, electrical and plumbing equipment selection/design
- Fire suppression & alarm selection/design
- Structural repair, replacement and design for new ramp support

9-22-22 thru 10-26-22: Construction Documents - w/ City approval

1-23-23: Bidding Phase

4-3-23 thru 12-4-23: Construction

## Highlight of Next Steps

---

- ◆
- ◆ Hazardous Material Survey to be conducted (for bid document purposes)
- ◆ Furniture Vendor RFP to be issued, vendor selection to be made and pieces to be selected and bid
- ◆ Donor Bench to be designed/selected
- ◆ Exterior Interpretive Signage to be designed/located
- ◆ Interior Interpretive Signage and art to be designed/located

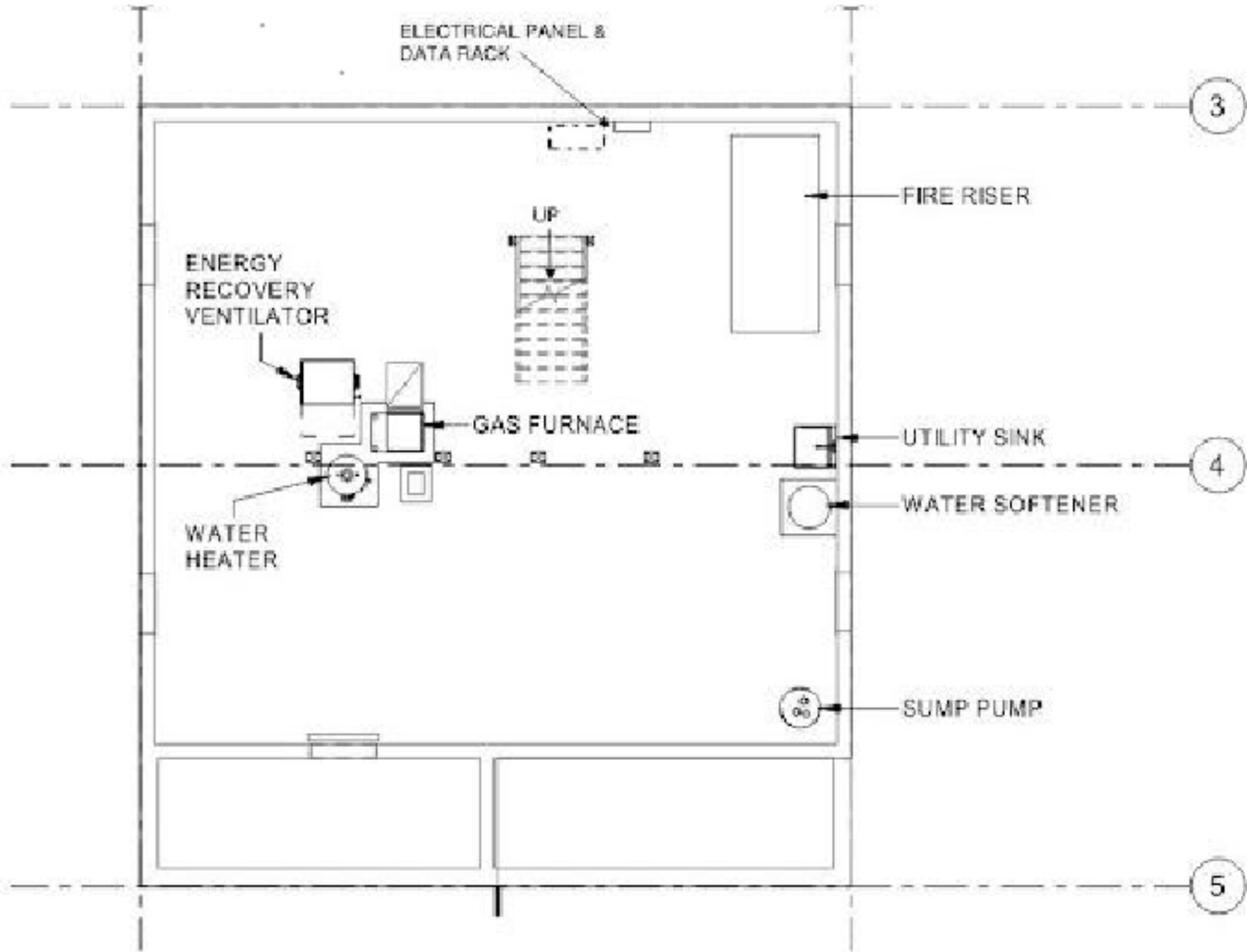
# Design Development - Site Plan



Design Goal: Maintain the historic character of the site as much as possible, provide plant species ecologically appropriate to site, and given project requirements such as the below items:

- Interpretive Sign
- Drinking Fountain with integral hose bib
- Historical Marker
- Donor Bench
- Reinforced Turf
- Provide taller grass/plants to screen AC unit
- Provide low maintenance lawn at outdoor bench areas allowing people to sit if desired
- Mulch at house perim maintenance benefits t

# Design Development - Floor Plan Update - Basement



Design Goal: Minimize system runs and maintain head clearances as much as possible.

-Place fire riser equipment in NE corner and maintain access/clearance to existing window.

- Relocate Electrical Panel to allow Fire Riser space.

- Add water softener for durability of new equipment

-Reuse existing chimney for venting of equipment

# Design Development - Floor Plan - First Floor

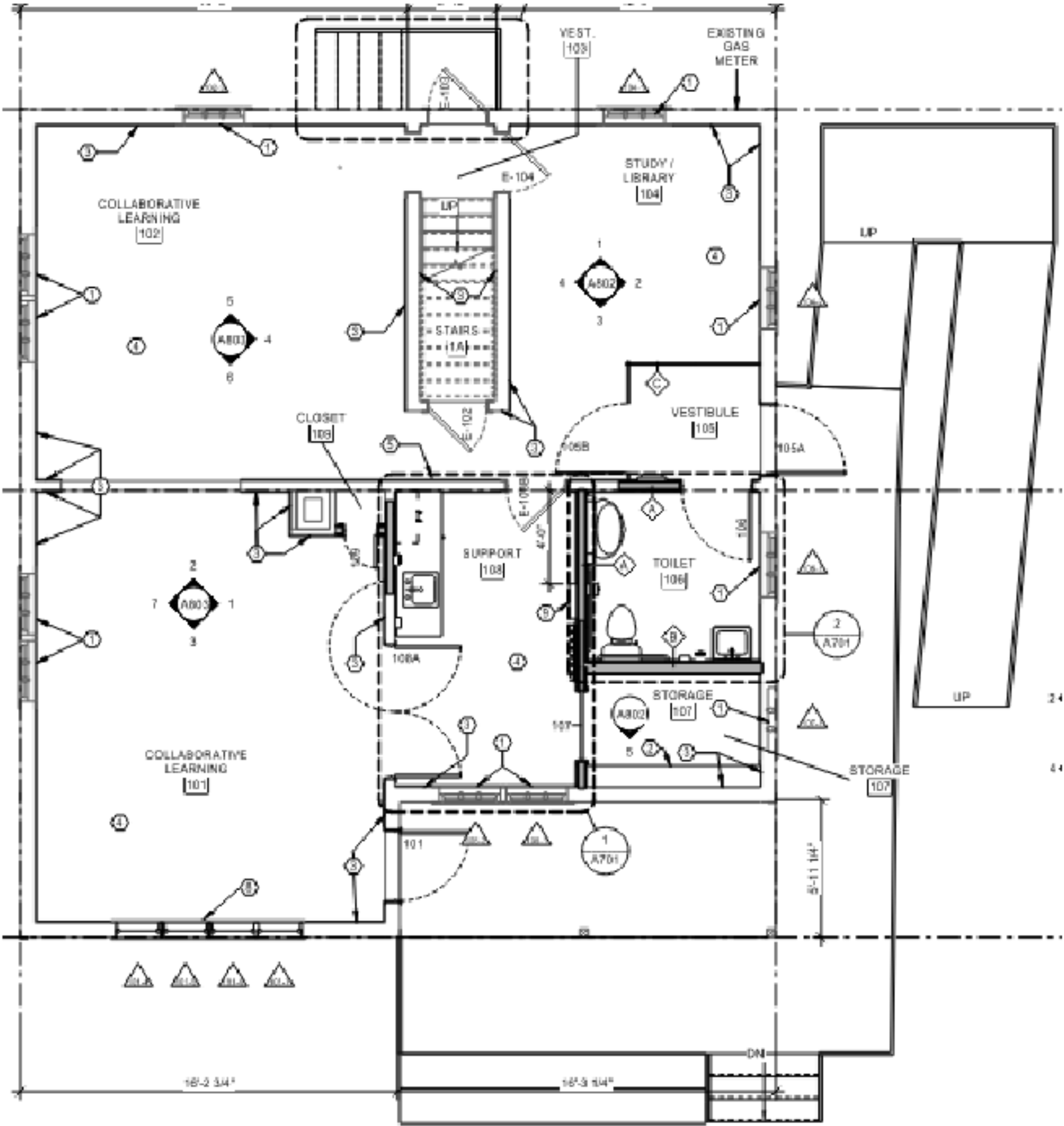
Design Goal: Maintain as much of the original layout and character as possible and adjust for accessibility as needed.

- Enlarge restroom to be ADA compliant

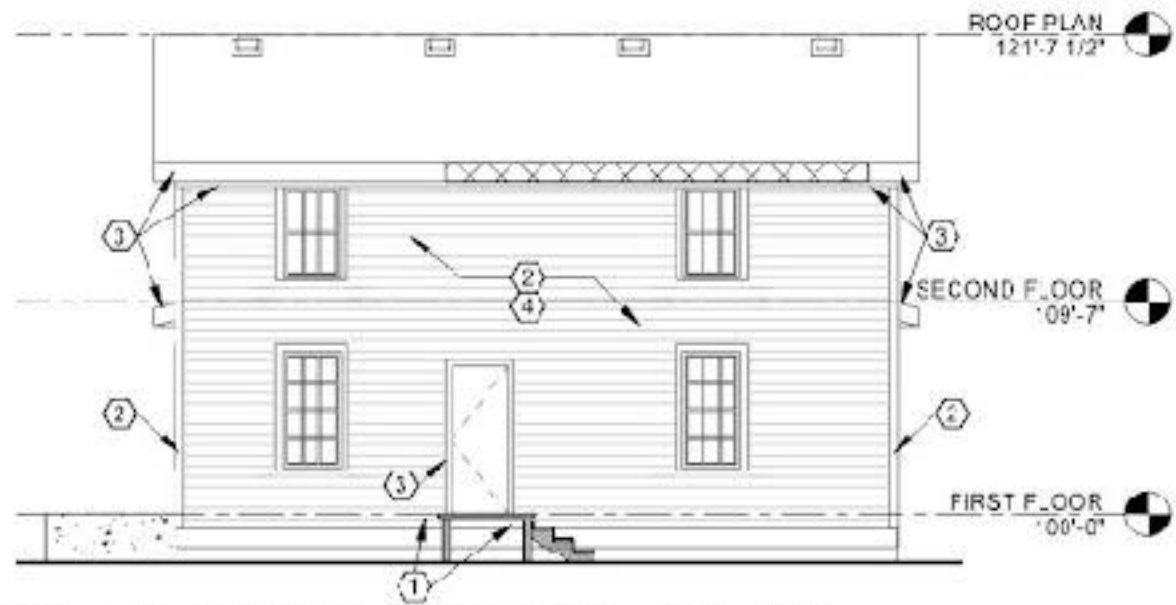
- Relocate plumbing functions into Support Space

- Provide a glass vestibule for climate control and security

- Integrate storytelling through visual display, art and artifact display



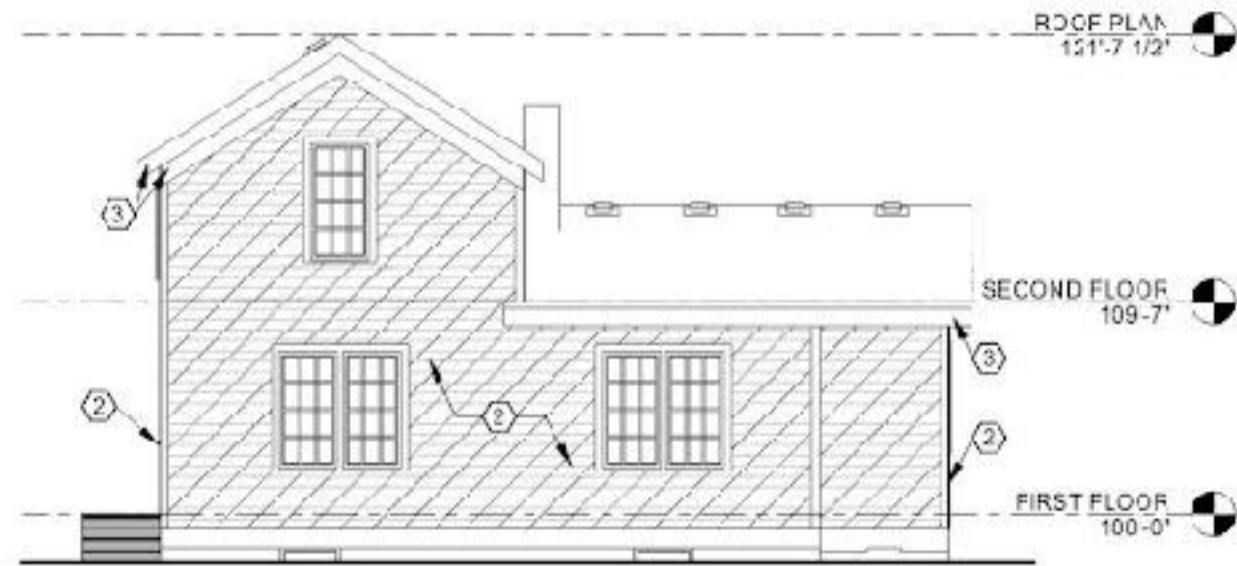
# Design Development - Preservation Update - Window Elevations



1  
A201  
1/8" = 1'-0"

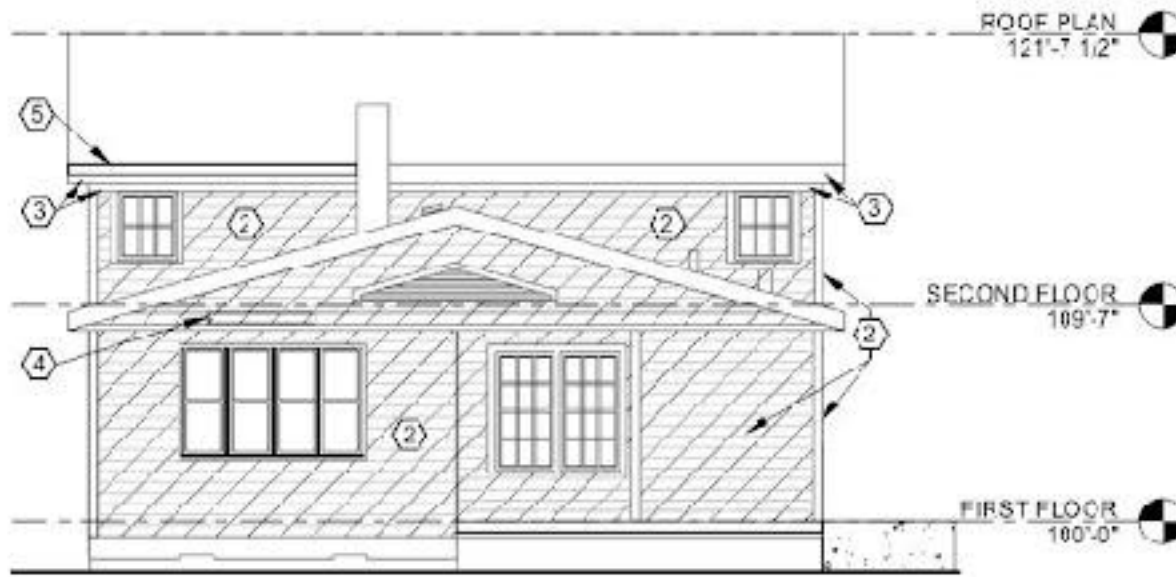
**EXTERIOR ELEVATION - NORTH**

7/7/2022 5:23:58 PM | Project# WAYZATA\_FORE | L:\WAYZATA\_FORE\BIMCAD\Revit



2  
A201  
1/8" = 1'-0"

**EXTERIOR ELEVATION - WEST**



1  
A202  
1/8" = 1'-0"

**EXTERIOR ELEVATION - SOUTH**

7/7/2022 5:23:58 PM | Project# WAYZATA\_FORE | L:\WAYZATA\_FORE\BIMCAD\Revit



2  
A202  
1/8" = 1'-0"

**EXTERIOR ELEVATION - EAST**

Design Goal: Retain and restore existing windows to the greatest extent possible.

-Replacement components (or entire windows if necessary) - the replacements will be made matching the window's original design

-South facing window in 1960's addition is meant to be compatible with other windows in the home while clearly not be historic in appearance.





Cushing  
Terrell

THE END  
THANK YOU!

Design Development Review #2 | 8-16-22

# SECTION FOREMAN HOUSE REHABILITATION

100% DD SUBMISSION - 07.29.2022

NOT FOR CONSTRUCTION

**OWNER**

Contact: Emily Goellner  
City of Wayzata, MN  
600 Rice St E  
Wayzata, MN 55391  
952.404.5312

**ARCHITECT**

Rebecca Muchow  
Cushing Terrell  
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Minneapolis, MN 55401  
612.213.2188

**LANDSCAPE ARCHITECT**

Mitchell Cookas  
Kimley-Horn  
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St. Paul, MN 55114  
612.294.7250

**MECH/PLUMB ENGINEER**

Som Boualaphanh  
Victus Engineering  
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St. Paul, MN 55114  
612.889.2807

**STRUCTURAL ENGINEER**

Bradley Severson  
Kimley-Horn  
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St. Paul, MN 55114  
612.294.9735

**ELECTRICAL ENGINEER**

Willow Nichols  
Victus Engineering  
2327 Wycliff St, Ste 230  
St. Paul, MN 55114  
612.461.3173

**CIVIL ENGINEER**

Kimley-Horn  
767 N Eustis St, Ste 100  
St. Paul, MN 55114

**PROJECT LOCATION:**

738 LAKE ST N, WAYZATA, MN 55391

**VICINITY MAP:** 



## GENERAL PROJECT NOTES

- A. OWNER MAINTAINS RIGHT OF FIRST REFUSAL FOR ALL DEMOLITION WASTE TO BE REMOVED (SHOWN ON DRAWINGS AS DEMOLITION).
- B. THIS BUILDING IS INDIVIDUALLY LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES. ALL WORK SHALL CONFORM TO THE SECRETARY OF INTERIOR'S STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES.
- C. DURING THE COURSE OF CONSTRUCTION, CONTRACTOR TO FULLY PROTECT ALL SURFACES AND ITEMS TO REMAIN. ALL COMPONENTS AND FINISHES DAMAGED AS A RESULT OF WORK ARE TO BE RESTORED BY CONTRACTOR TO MATCH ORIGINAL CONSTRUCTION.
- D. ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS INCLUDING BUT NOT LIMITED TO THE 2018 INTERNATIONAL BUILDING CODE.
- E. DO NOT SCALE THE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD.
- F. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES IN THE DRAWINGS AND/OR SPECIFICATIONS COMPARED TO EXISTING CONDITIONS.
- G. PROVIDE DEMOLITION AND PATCHING NOT SHOWN BUT REQUIRED FOR THE INSTALLATION OF NEW DETAILS OR AS REQUIRED FOR THE WORK.
- H. ALL WORK SHALL BE PERFORMED IN A MANNER SO AS NOT TO INCREASE/CAUSE A FIRE HAZARD.
- I. ALL WORK SHOWN ON THESE DRAWINGS IS NEW UNLESS OTHERWISE INDICATED.
- J. CONTRACTOR TO PROVIDE PROTECTION WHERE NECESSARY TO PROTECT THE PUBLIC AND ADJACENT AREAS OF THE BUILDING DURING CONSTRUCTION AS DIRECTED BY THE OWNER.
- K. CONTRACTOR TO PROVIDE TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING WORK.
- L. WHERE INSTRUCTED TO MATCH EXISTING MATERIALS, DUPLICATE DAMAGED AND DETERIORATED BUILDING ELEMENTS IN ALL RESPECTS INCLUDING, BUT NOT LIMITED TO, MATERIAL, FINISH, DIMENSION, AND PROFILE.
- M. UTILIZE APPROPRIATE REPLACEMENT AND REPAIR TECHNIQUES TO ENSURE HISTORICALLY COMPATIBLE MODIFICATIONS. REPAIR OR IN-FILL ITEMS ARE TO MATCH AND BLEND WITH ADJACENT SURFACES AND FEATURES.

## ABBREVIATIONS

AB	ANCHOR BOLT	JT	JOINT
AC	ACOUSTICAL		
ACCESS	ACCESSIBLE	LAM	LAMINATED
ACT	ACOUSTICAL CEILING TILE	LAV	LAVATORY
ADJ	ADJUSTABLE	LL	LIVE LOAD
AFF	ABOVE FINISHED FLOOR		
AGG	AGGREGATE	MATL	MATERIAL
ALT	ALTERNATE	MAX	MAXIMUM
ANOD	ANODIZED	MBR	MEMBER
APC	ACOUSTICAL PANEL CEILING	MC	MECHANICAL CONTRACTOR
APPX	APPROXIMATE	MECH	MECHANICAL (DWGS, SPECS)
ARCH	ARCHITECT (URAL)	MFR	MANUFACTURER
		MIN	MINIMUM
BD	BOARD	MISC	MISCELLANEOUS
BLDG	BUILDING	MTD	MOUNT (ED), (ING)
BLKG	BLOCKING	MTL	METAL
BM	BENCH MARK		
BOS	BOTTOM OF STRUCTURE	NIC	NOT IN CONTRACT
BRG	BEARING	NOM	NOMINAL
		NR	NOISE REDUCTION COEFFICIENT
		NTS	NOT TO SCALE
C	CARPET		
CAB	CABINET		
CER	CERAMIC	OC	ON CENTER (S)
CG	CORNER GUARD	OPNG	OPENING
CJT	CONTROL JOINT	OPP	OPPOSITE
CLG	CEILING	OD	OUTSIDE DIAMETER
COL	COLUMN	OJ	OVER
CONC	CONCRETE	OFCI	OWNER FURNISHED,
CONST	CONSTRUCTION		CONTRACTOR INSTALLED
CONT	CONTINUOUS, CONTINUE	OFOI	OWNER FURNISHED,
CONTR	CONTRACT (OR)		OWNER INSTALLED
CSVB	COVED SHEET VINYL BASE		
		P	PAINT (ED)
DEMO	DEMOLISH, DEMOLITION	PEFS	PERFORMED EXPANDING
DF	DRINKING FOUNTAIN		FOAM SEALANT
DIA	DIAMETER	PCF	POUNDS PER CUBIC FOOT
DIM	DIMENSION	PL	PROPERTY LINE
DL	DEAD LOAD	PLAM	PLASTIC LAMINATE
DTL	DETAIL	PLF	POUNDS PER LINEAL FOOT
DWG	DRAWING	PLY	PLYWOOD
		PREFIN	PRE-FINISHED
EB	EXPANSION BOLT		
ELEC	ELECTRIC (AL)		
ELEV	ELEVATION		
EP	EPOXY PAINT		
EQ	EQUAL		
EST	ESTIMATE	QTY	QUANTITY
ETR	EXISTING TO REMAIN	RAF	RAISE ACCESS FLOORING
EX	EXISTING	RB	RUBBER BASE
EXP	EXPANSION	REF	REFERENCE
EJ	EXPANSION JOINT	REINF	REINFORCE (D), (ING)
EXT	EXTERIOR	REQD	REQUIRED
		REV	REVISION (S), REVISED
		RO	ROUGH OPENING
FA	FIRE ALARM		
FBO	FURNISHED BY OTHERS		
FD	FLOOR DRAIN	SC	SOLID CORE
FE	FIRE EXTINGUISHER	SCHED	SCHEDULE
FEC	FIRE EXTINGUISHER CABINET	SCWD	SOLID CORE WOOD
FF	FACTORY FINISH	SFRM	SPRAY-FOAMED FIRE RESISTIVE
FIN	FINISH (ED)	SG	SAFETY GLASS
FLR	FLOOR (ING)	SHT	SHEET
FND	FOUNDATION	SIM	SIMILAR
FO	FACE OF	SPEC	SPECIFICATION (S)
FOC	FACE OF CONCRETE	SQ	SQUARE
FOS	FACE OF STUD	STD	STANDARD
FP	FIREPROOF	STOR	STORAGE
FR	FIRE RATED	STRUCT	STRUCTURAL (DWGS, SPECS)
FT	FIRE TREATED	SYS	SYSTEM
FRP	FIBERGLASS REINFORCED		
FTG	PANEL FOOTING	TD	TRENCH DRAIN
FUR	FURRED (ING)	TEL	TELEPHONE
		TEMP	TEMPERATURE
		T&G	TONGUE AND GROOVE
GA	GAGE, GAUGE	TOW	TOP OF WALL
GC	GENERAL CONTRACTOR	TWIC	TRANSPORTATION WORKER
GF/GI	GOVERNMENT FURNISHED/ GOVERNMENT INSTALLED	TYP	IDENTIFICATION CREDENTIAL TYPICAL
GSM	GALVANIZED SHEET METAL		
GYP	GYPSUM	UNFIN	UNFINISHED
GWB	GYPSUM WALL BOARD	UNO	UNLESS NOTED OTHERWISE
HDR	HEADER	VB	VAPOR BARRIER
HC	HOLLOW CORE	VCT	VINYL COMPOSITION TILE
HM	HOLLOW METAL	VER	VERIFY
HOR	HORIZONTAL	VERT	VERTICAL
HRS	HOT ROLLED STEEL	VIF	VERIFY IN FIELD
HT	HEIGHT		
HTG	HEATING	WC	WATER CLOSET
HVAC	HEATING/VENTILATING/ AIR CONDITIONING	WD	WOOD
		WB	WOOD BASE
		WH	WATER HEATER
IFRM	INTUMESCENT FIRE-RESISTIVE	W/	WITH
INCL	INCLUDE (D), (ING)	W/O	WITHOUT
ID	INSIDE DIAMETER	WWF	WELDED WIRE FABRIC
INSUL	INSULATE (D), (ION)		
INT	INTERIOR		

## SHEET INDEX

**GENERAL**

- G001 COVER
- G002 ADA STANDARDS
- G003 LIFE SAFETY PLAN

**CIVIL**

- C100 GENERAL NOTES
- C200 DEMO PLAN
- C300 EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
- C301 EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
- C302 EROSION AND SEDIMENT CONTROL DETAILS
- C400 SITE PLAN
- C401 SITE DIMENSIONING PLAN
- C402 LIFT STATION ACCESS PLAN
- C500 GRADING PLAN
- C501 GRADING ENLARGEMENTS
- C600 UTILITY PLAN
- C700 CIVIL DETAILS
- C701 CIVIL DETAILS
- C702 CIVIL DETAILS

**LANDSCAPE**

- L100 LANDSCAPE PLAN
- L101 LANDSCAPE DETAILS

**STRUCTURAL**

- S000 STRUCTURAL NOTES
- S001 STRUCTURAL NOTES
- S002 STRUCTURAL NOTES
- S003 STRUCTURAL NOTES
- S100 BASEMENT PLAN
- S101 LEVEL 1 FRAMING PLAN
- S102 LEVEL 2 FRAMING PLAN
- S103 ROOF FRAMING PLAN

**ARCHITECTURAL**

- A101 DEMO & FLOOR PLANS - BASEMENT
- A102 DEMO & FLOOR PLANS - FIRST FLOOR
- A103 DEMO & FLOOR PLANS - SECOND FLOOR
- A104 ROOF PLAN
- A105 ROOF ENLARGED PLANS AND DETAILS
- A201 EXTERIOR ELEVATIONS - NORTH & WEST
- A202 EXTERIOR ELEVATIONS - SOUTH & EAST
- A401 STAIR PLANS AND DETAILS
- A601 DOOR SCHEDULE
- A602 WINDOW SCHEDULE
- A701 ENLARGED PLANS AND ELEVATIONS
- A802 INTERIOR ELEVATIONS
- A803 INTERIOR ELEVATIONS
- A901 DEMO & REFLECTED CEILING PLANS

**FIRE PROTECTION**

- F001 FIRE PROTECTION SITE PLAN
- F101 FIRE PROTECTION BASEMENT FLOOR PLAN
- F102 FIRE PROTECTION FIRST FLOOR PLAN
- F103 FIRE PROTECTION SECOND FLOOR PLAN
- F200 FIRE PROTECTION SECTIONS

**FIRE ALARM**

- FA001 FIRE ALARM SYSTEM INFORMATION
- FA101 FIRE ALARM BASEMENT FLOOR PLAN
- FA102 FIRE ALARM FIRST FLOOR PLAN
- FA103 FIRE ALARM SECOND FLOOR PLAN

**PLUMBING**

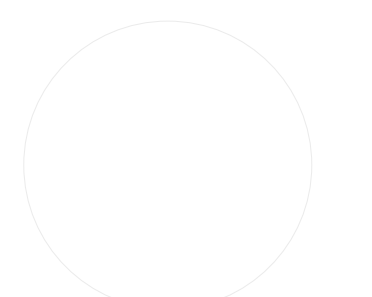
- P000 PLUMBING TITLE SHEET
- DP101 DEMOLITION PLUMBING FLOOR PLANS
- P101 PLUMBING FLOOR PLANS
- P102 PLUMBING FLOOR PLANS
- P200 PLUMBING SCHEDULES AND DETAILS

**MECHANICAL**

- M000 MECHANICAL TITLE SHEET
- DM101 DEMOLITION MECHANICAL FLOOR PLANS
- DM102 DEMOLITION MECHANICAL FLOOR PLANS
- M101 MECHANICAL FLOOR PLANS
- M102 MECHANICAL FLOOR PLANS
- M200 MECHANICAL SCHEDULES

**ELECTRICAL**

- E000 ELECTRICAL TITLE SHEET
- E001 ELECTRICAL SITE PLAN
- DE101 DEMOLITION ELECTRICAL FLOOR PLANS
- DE102 DEMOLITION ELECTRICAL FLOOR PLANS
- E100 ELECTRICAL PLANS - BASEMENT
- E101 ELECTRICAL PLANS - FIRST FLOOR
- E102 ELECTRICAL PLANS - SECOND FLOOR
- E200 ELECTRICAL SCHEDULES



NOT FOR  
CONSTRUCTION

100% DD SUBMISSION  
07.29.2022  
PROJECT# | WAYZATA\_FORE  
CHECKED BY | MUCHOW  
DRAWN BY | MCCOY  
REVISIONS

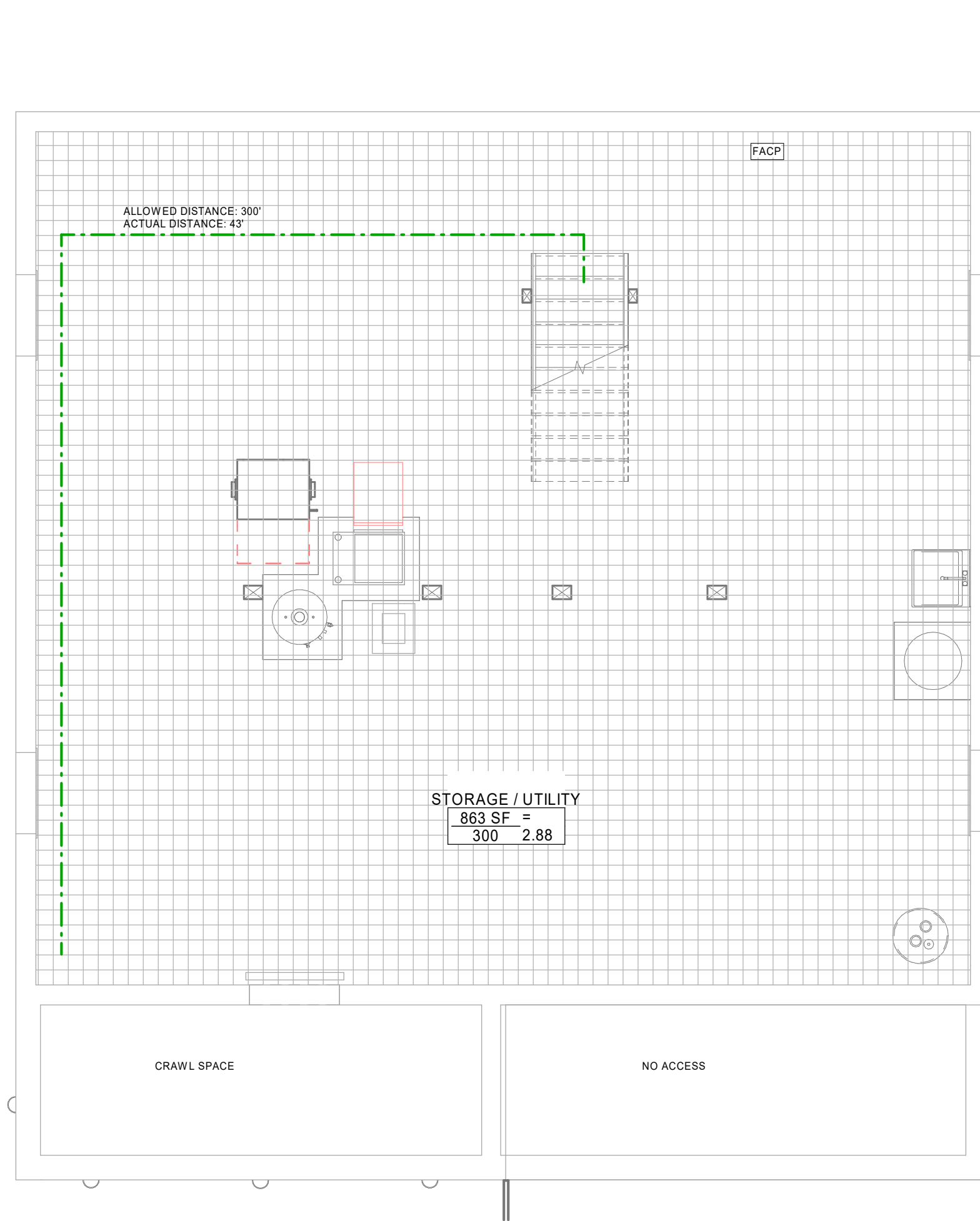
NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

COVER

**G001**

CODE PLAN LEGEND

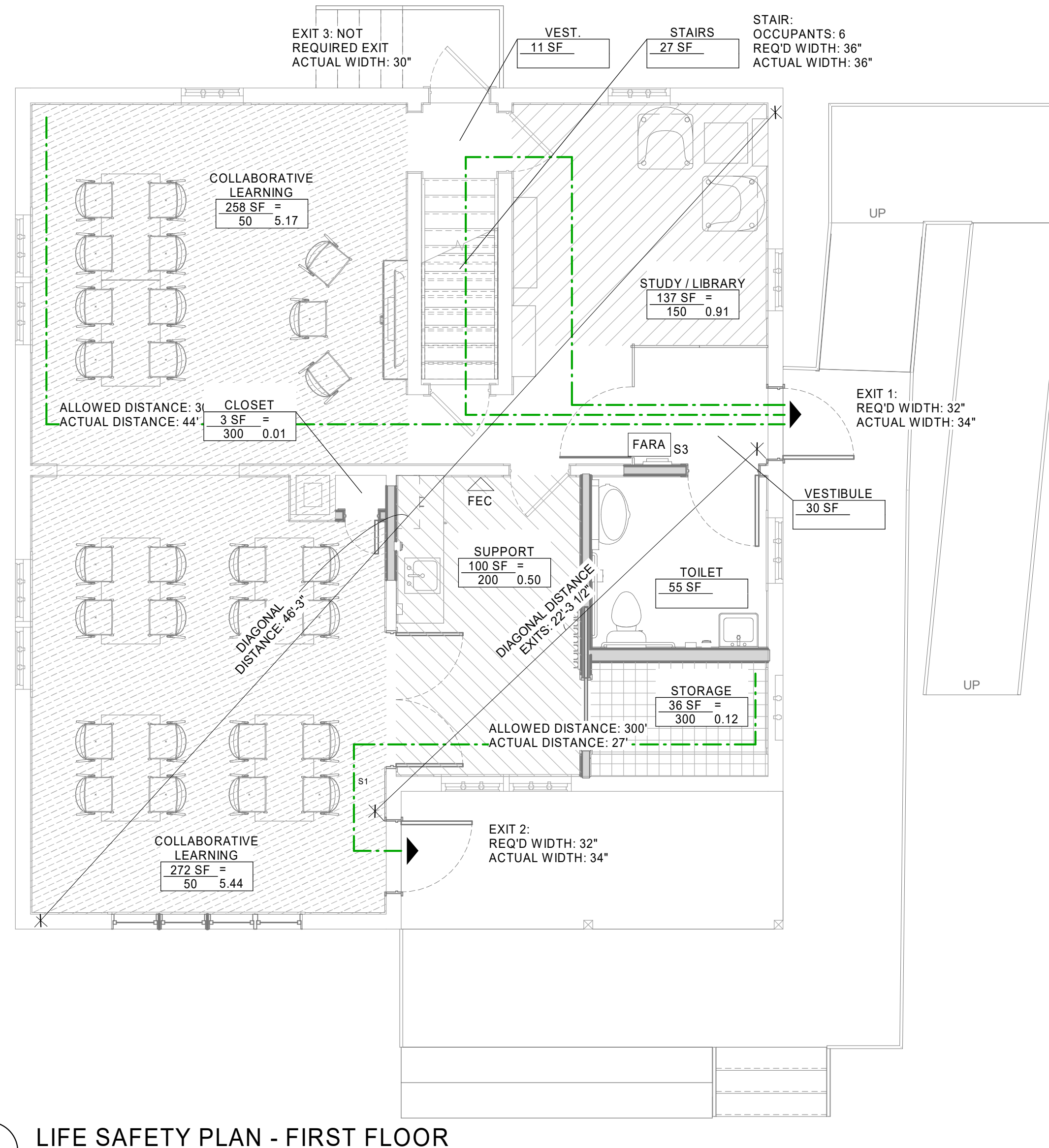
- OCCUPANCY TAG:  
ROOM / AREA NAME  
ROOM / AREA NUMBER  
SPACE AREA  
NUMBER OF OCCUPANTS  
OCCUPANT LOAD FACTOR
- ROOM NAME  
88888 SF = ###  
###
- OCCUPANCY TYPE 'B-2'  
SEE PLAN FOR SEATING TYPES
  - OCCUPANCY TYPE 'B'  
LIBRARY - 50 NET
  - OCCUPANCY TYPE 'B'  
KITCHEN - 200 GROSS
  - OCCUPANCY TYPE 'S-1'  
STORAGE - 300 GROSS
- EXIT PATH
- 1 HOUR FIRE BARRIER - SEAL PERMIETER AND PENETRATIONS PER DETAILS ON THIS SHEET
- UL RATED FIRE DOOR AND FRAME WITH RATING AS INDICATED - SEE SHEET A601
- EXIT
- FIRE EXTINGUISHER CABINET AND EXTINGUISHER - SEE SPECS
- SURFACE MOUNTED FIRE EXTINGUISHER - SEE SPECS
- SURFACE MOUNTED SIGN  
S1 OCCUPANT CAPACITY  
S2 LIVE LOAD  
S3 ACCESSIBLE RESTROOM PICTOGRAPH
- FARA FIRE ALARM ANNUNCIATOR, SEE ELEC.
- FACP FIRE ALARM CONTROL PANEL, SEE ELEC.
- NOTE: SEE ELECTRICAL FOR ILLUMINATED EXIT SIGNS.



1 LIFE SAFETY PLAN - BASEMENT  
G003 1/4" = 1'-0"



NORTH REF



2 LIFE SAFETY PLAN - FIRST FLOOR  
G003 1/4" = 1'-0"

SUMMARY CODE REVIEW

GOVERNING CODES (STATE AMENDMENTS TO 2018 IBC)

- BUILDING CODE: 2020 MN BUILDING CODE
- ENERGY CODE: 2020 MN ENERGY CODE
- MECHANICAL CODE: 2020 MN MECHANICAL AND FUEL GAS CODE
- PLUMBING CODE: 2015 MN PLUMBING CODE
- FIRE CODE: 2020 FIRE CODE
- ACCESSIBILITY: 2020 MN ACCESSIBILITY CODE
- EXISTING BUILDING CODE: 2020 CONSERVATION CODE FOR EXISTING BUILDINGS
- ELECTRICAL CODE: MN ELECTRICAL CODE

SITE INFORMATION

- LEGAL DESCRIPTION: LOT 14
- ZONING: R-2 RESIDENTIAL - REZONING REQUIRED
- SETBACKS - N/A - REZONING AND SEEKING VARIANCE FOR EXISTING NON-COMPLIANCE
- PARKING SPACE EXISTING: NA
- PARKING SPACES REQUIRED: NA - VARIANCE WILL BE PURSUED
- PARKING SPACES PROPOSED: NA

BUILDING INFORMATION

- OCCUPANCY CLASSIFICATION: B (PER 303.1.1 SMALL BUILDINGS AND TENANT SPACES: A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY).
- OCCUPANCY CALCULATIONS/LOAD FACTORS
  - S-1: 300 GROSS 918 SF = 3 OCCS
  - A: 15 NET 540 SF = 36 OCCS
  - B: 50 NET 137 SF = 3 OCCS
  - B: 150 GROSS 539 SF = 4 OCCS
  - TOTAL BUILDING: 46 OCCS
- CONSTRUCTION TYPE: VB UNPROTECTED (EXISTING); FIRE SPRINKLER WILL BE ADDED
- NUMBER OF STORIES: 2
- BUILDING HEIGHT:
  - ALLOWABLE: (NS 40/ S 60); ZONING MAX HEIGHT; NA NO CHANGE
  - ACTUAL: 21'-7"
- BASE ALLOWABLE AREA:
  - NS: 9,000 MORE RESTRICTIVE
  - SM: 27,000
- ALLOWABLE AREA WITH FRONTAGE: N/A NO CHANGE
- ACTUAL BUILDING AREA: 2,148 SF
- SEPARATION OF OCCUPANCIES (TABLE 508.4)
  - NO SEPARATION REQUIRED

FIRE SPRINKLER SYSTEM: CURRENTLY PLANNED FOR ADDITION OF NFPA 13 SYSTEM

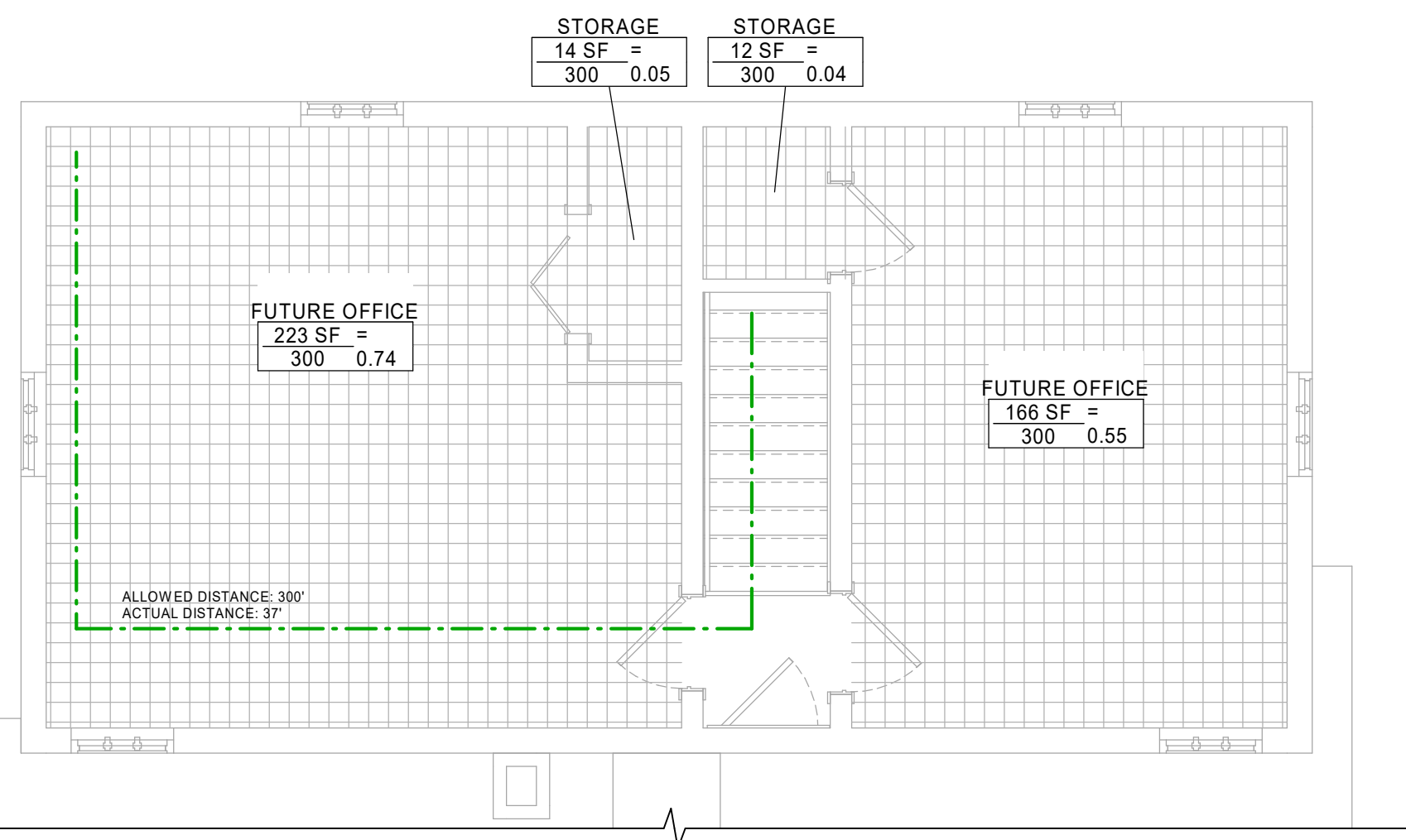
- FIRE SEPARATION AND RATING REQUIREMENTS (TABLE 601):
  - PRIMARY STRUCTURAL FRAME: 0 HOURS
  - BEARING WALLS; EXTERIOR: 0 HOURS
  - BEARING WALLS; INTERIOR: 0 HOURS
  - NON-BEARING WALLS; INTERIOR: 0 HOURS
  - FLOOR CONSTRUCTION: 0 HOURS
  - ROOF CONSTRUCTION: 0 HOURS

EGRESS REQUIREMENTS

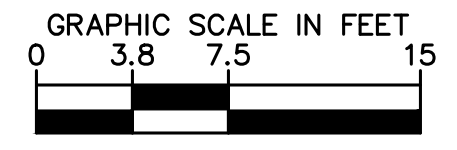
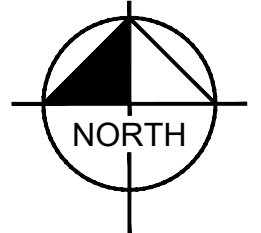
- MINIMUM NUMBER OF EXITS (IBC 1006.3.2)
  - TABLE 1006.2.1 MAXIMUM COMMON PATH OF EGRESS TRAVEL WITH SPRINKLER SYSTEM: 100 FEET
  - TABLE 1006.3.2 MINIMUM NUMBER OF EXITS PER STORY:
    - BASEMENT LEVEL - 1 EXIT REQUIRED
    - 1<sup>ST</sup> LEVEL = 1 EXIT REQUIRED
    - 2<sup>ND</sup> LEVEL = 1 EXIT REQUIRED
- TABLE 1006.3.3(2) SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY; B = 49 OCCUPANTS
- CCEB TABLE 805.3.1.1(2) STORIES OR SPACES WITH ONE EXIT OR ACCESS TO ONE EXIT: MAX OCC LOAD PER STORY: 35
  - MAX EXIT ACCESS TRAVEL DISTANCE: 75 FEET.
- MINIMUM DISTANCE BETWEEN EXITS (IBC 1007.1.1)
  - WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 THE SEPARATION DISTANCE SHALL BE NOT LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
- EXIT ACCESS TRAVEL DISTANCE (IBC 1017.2): WITH A SPRINKLER SYSTEM: B - 300 FEET
- EXIT WIDTH REQUIRED (IBC 1005.3.1 & 1005.3.2):
  - DOORS: MEANS OF EGRESS CAPACITY FACTOR: 0.2 INCH (SPRINKLED BUILDING, NO VOICE/ALARM)
  - STAIRS: MEANS OF EGRESS CAPACITY FACTOR: 0.3 INCH (SPRINKLED BUILDING, NO VOICE/ALARM)
- EXIT WIDTH PROVIDED:
  - DOOR: MIN 34"
  - STAIR: MIN 36" STAIRWAYS (IBC 1011.2): 36" MINIMUM ALLOWED WHERE LESS THAN 49 OCCUPANTS

ACCESSIBILITY FOR EXISTING BUILDINGS (CCEB, SECT 305)

- EXISTING BUILDINGS OR PORTIONS OF EXISTING BUILDINGS UNDERGOING MAINTENANCE, CHANGE OF OCCUPANCY, ADDITIONS, ALTERATIONS, OR RECONSTRUCTION DUE TO SUBSTANTIAL DAMAGE OR SUBSTANTIAL IMPROVEMENTS SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES AS REQUIRED BY MINNESOTA RULES, CHAPTER 1341. REFER TO MINNESOTA RULES, CHAPTER 1341, THE MINNESOTA ACCESSIBILITY CODE, FOR THE COMPLETE APPLICATION OF SECTION 305.
- BUILDING ALTERATIONS (CCEB, CHAPTER 6)
  - 603.1: LEVEL 2 ALTERATIONS: INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT. LEVEL 2 ALTERATIONS SHALL COMPLY WITH CHAPTER 7 FOR LEVEL 1 ALTERATIONS AS WELL AS PROVISIONS OF CHAPTER 8.
- CCEB, CHAPTER 12- HISTORIC BUILDINGS
  - 1204.6 MEANS OF EGRESS: EXISTING DOOR OPENINGS AND CORRIDOR AND STAIRWAY WIDTHS LESS THAN THOSE THAT WOULD BE ACCEPTABLE FOR NON-HISTORIC BUILDINGS UNDER THESE PROVISIONS SHALL BE APPROVED, PROVIDED THAT, IN THE OPINION OF THE CODE OFFICIAL, THERE IS SUFFICIENT WIDTH AND HEIGHT FOR A PERSON TO PASS THROUGH THE OPENING OR TRAVERSE THE EXIT AND THAT THE CAPACITY OF THE EXIT SYSTEM IS ADEQUATE FOR THE OCCUPANT LOAD, OR WHERE OTHER OPERATIONAL CONTROLS TO LIMIT OCCUPANCY ARE APPROVED BY THE CODE OFFICIAL.
  - 1204.7 DOOR SWING: WHERE APPROVED BY THE CODE OFFICIAL, EXISTING FRONT DOORS NEED NOT SWING IN THE DIRECTION OF EXIT TRAVEL, PROVIDED THAT OTHER APPROVED EXITS HAVING SUFFICIENT CAPACITY TO SERVE THE TOTAL OCCUPANT LOAD ARE PROVIDED.
  - 1204.11 STAIRWAYS AND GUARDS:
    - EXCEPTION: FOR BUILDINGS LESS THAN 3,000 SQUARE FEET (279 M<sup>2</sup>), EXISTING CONDITIONS ARE PERMITTED TO REMAIN AT ALL STAIRWAYS AND GUARDS.



3 LIFE SAFETY PLAN - SECOND FLOOR  
G003 1/4" = 1'-0"



**LEGEND**

- EXISTING WETLAND / STORMWATER MANAGEMENT AREA
- ROCK ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- SILT FENCE
- LIMITS OF DISTURBANCE
- SAFETY FENCE
- SILTATION CURTAIN

**KEYNOTE LEGEND**

- (A) DISTURBANCE LIMITS
- (B) SILT FENCE
- (C) SILTATION CURTAIN
- (D) CONSTRUCTION ENTRANCE
- (E) CONSTRUCTION FENCE

PH. I BMP QUANTITIES TABLE	
CONSTRUCTION FENCE	±240 LF
SILT FENCE	±385 LF
ROCK CONSTRUCTION ENTRANCE	1 EA.
SUBMERGED SILTATION CURTAIN	±110 LF

**EROSION CONTROL PLAN NOTES**

- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
- REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

**SEQUENCE OF CONSTRUCTION:**

- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
  - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1), CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
  - PREPARE TEMPORARY PARKING AND STORAGE AREA.
  - CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
  - PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
  - START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
  - TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION. DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF WAYZATA GRADING PERMIT.

PRELIMINARY - NOT FOR CONSTRUCTION

SECTION FOREMAN  
HOUSE REHAB  
PREPARED FOR  
CUSHING TERRELL

EROSION AND  
SEDIMENT  
CONTROL PLAN -  
PHASE 1

WAYZATA MN

KHA PROJECT  
160145001

DATE  
7/29/2022

SCALE  
AS SHOWN

DESIGNED BY  
CPH

DRAWN BY  
CPH

CHECKED BY  
JFJ

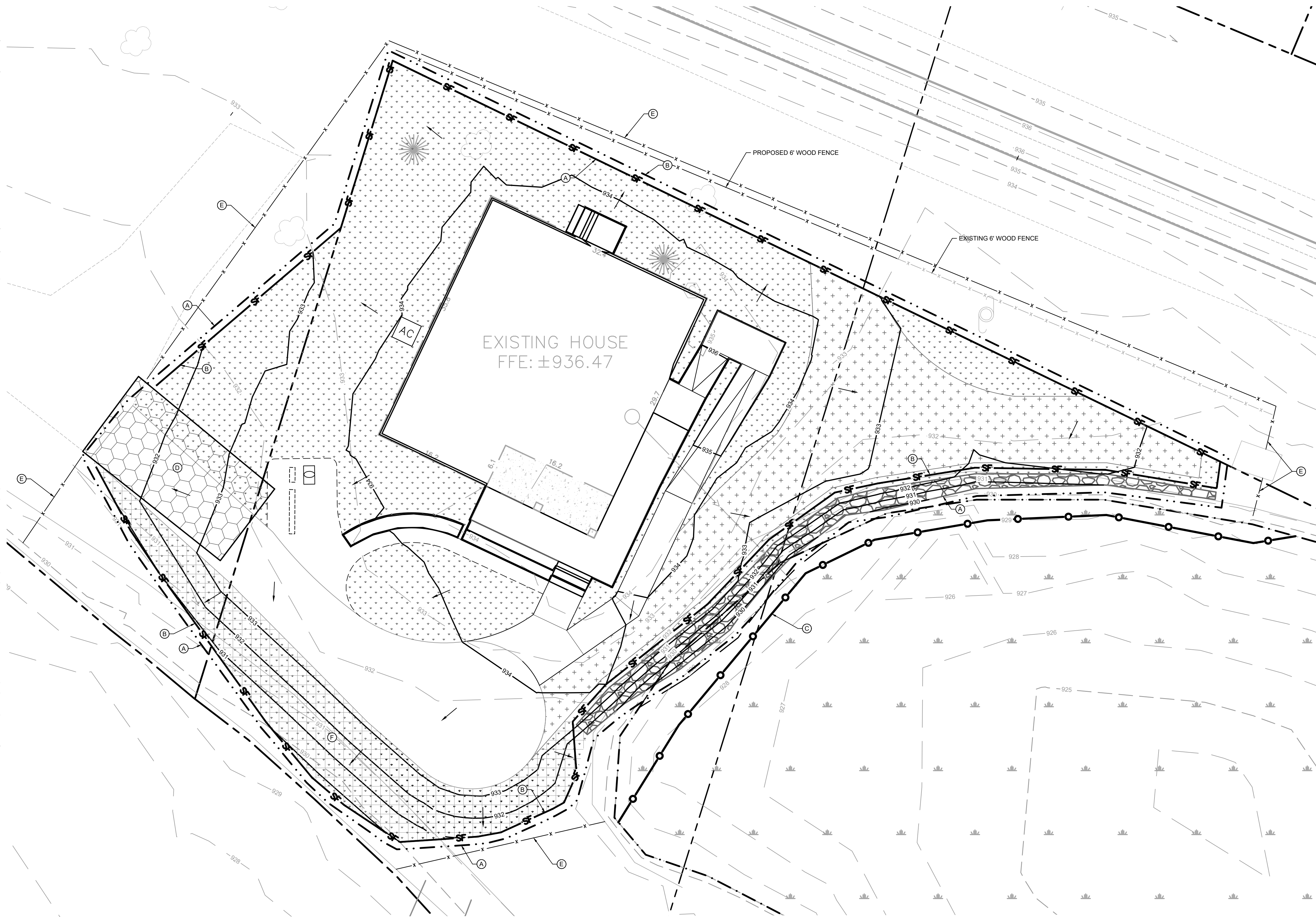
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787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-454-1977  
WWW.KIMLEY-HORN.COM

**Kimley»Horn**

SHEET NUMBER  
**C300**

REVISIONS

No.	DATE	BY
1	7/29/2022	CPH



**LEGEND**

	EXISTING WETLAND / STORMWATER MANAGEMENT AREA
	ROCK ENTRANCE
	EROSION CONTROL BLANKET
	INLET PROTECTION
	SILT FENCE
	LIMITS OF DISTURBANCE
	SAFETY FENCE
	SILTATION CURTAIN

**KEYNOTE LEGEND**

(A)	DISTURBANCE LIMITS
(B)	SILT FENCE
(C)	SILTATION CURTAIN
(D)	CONSTRUCTION ENTRANCE
(E)	CONSTRUCTION FENCE
(F)	EROSION CONTROL BLANKET

PH. 2 BMP QUANTITIES TABLE	
CONSTRUCTION FENCE	±240 LF
SILT FENCE	±385 LF
ROCK CONSTRUCTION ENTRANCE	1 EA.
SUBMERGED SILTATION CURTAIN	±110 LF
EROSION CONTROL BLANKET	±650 LF

**EROSION CONTROL PLAN NOTES**

- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
- THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
- REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
- IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

**SEQUENCE OF CONSTRUCTION:**

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:

- INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1), CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
- PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
- START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION. DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF WAYZATA GRADING PERMIT.

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**EROSION AND  
SEDIMENT  
CONTROL PLAN -  
PHASE 2**

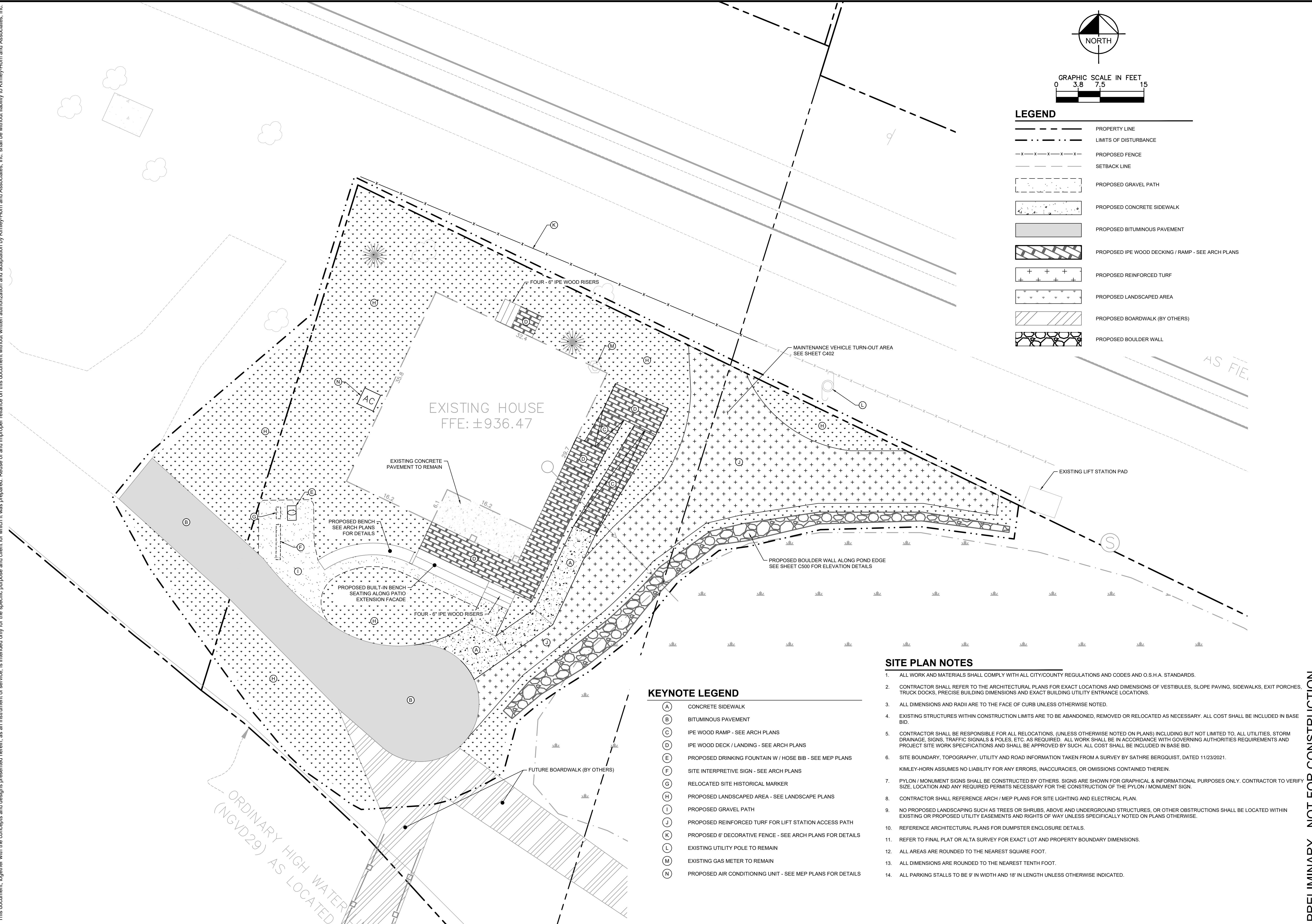
**SECTION FOREMAN  
HOUSE REHAB  
PREPARED FOR  
CUSHING TERRELL**

WAYZATA MN  
SHEET NUMBER  
**C301**

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**LEGEND**

	PROPERTY LINE
	LIMITS OF DISTURBANCE
	PROPOSED FENCE
	SETBACK LINE
	PROPOSED GRAVEL PATH
	PROPOSED CONCRETE SIDEWALK
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED IPE WOOD DECKING / RAMP - SEE ARCH PLANS
	PROPOSED REINFORCED TURF
	PROPOSED LANDSCAPED AREA
	PROPOSED BOARDWALK (BY OTHERS)
	PROPOSED BOULDER WALL

**KEYNOTE LEGEND**

(A)	CONCRETE SIDEWALK
(B)	BITUMINOUS PAVEMENT
(C)	IPE WOOD RAMP - SEE ARCH PLANS
(D)	IPE WOOD DECK / LANDING - SEE ARCH PLANS
(E)	PROPOSED DRINKING FOUNTAIN W / HOSE BIB - SEE MEP PLANS
(F)	SITE INTERPRETIVE SIGN - SEE ARCH PLANS
(G)	RELOCATED SITE HISTORICAL MARKER
(H)	PROPOSED LANDSCAPED AREA - SEE LANDSCAPE PLANS
(I)	PROPOSED GRAVEL PATH
(J)	PROPOSED REINFORCED TURF FOR LIFT STATION ACCESS PATH
(K)	PROPOSED 6" DECORATIVE FENCE - SEE ARCH PLANS FOR DETAILS
(L)	EXISTING UTILITY POLE TO REMAIN
(M)	EXISTING GAS METER TO REMAIN
(N)	PROPOSED AIR CONDITIONING UNIT - SEE MEP PLANS FOR DETAILS

- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY SATHRE BERGQUIST, DATED 11/23/2021. KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
  - PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
  - CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
  - NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
  - REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
  - REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
  - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
  - ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
  - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.

ORDINARY HIGH WATER (NGVD29) AS LOCATED

PRELIMINARY - NOT FOR CONSTRUCTION

SECTION FOREMAN HOUSE REHAB PREPARED FOR CUSHING TERRELL

WAYZATA MN

SHEET NUMBER C400

KHA PROJECT 160145001

DATE 7/29/2022

SCALE AS SHOWN

DESIGNED BY CPH

DRAWN BY CPH

CHECKED BY JFJ

No. REVISIONS DATE BY

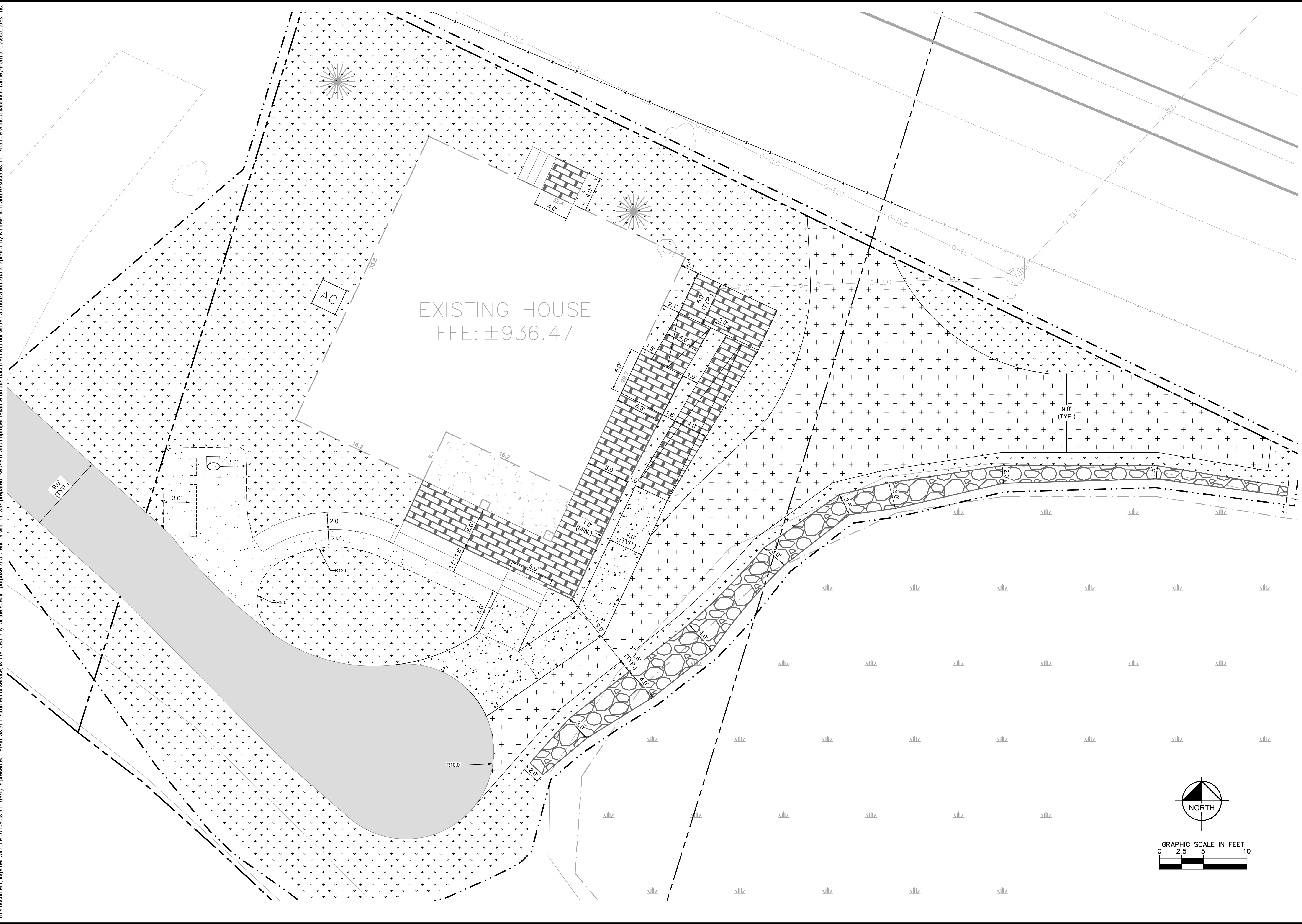
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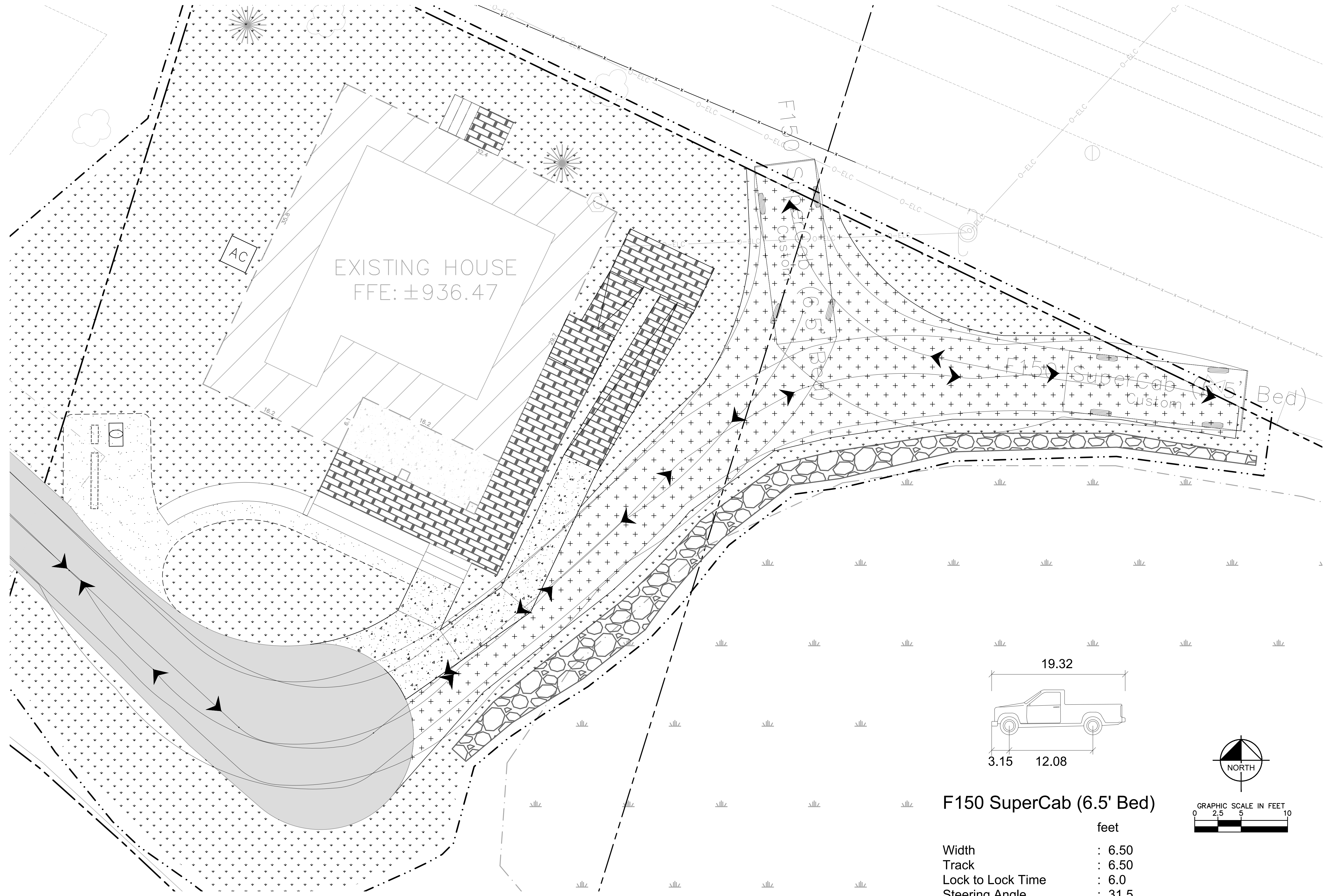
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HOUSE REHAB  
PREPARED FOR  
CUSHING TERRELL  
WAYZATA MN

**SITE  
DIMENSIONING  
PLAN**

KHA PROJECT	160145001
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SCALE	AS SHOWN
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F150 SuperCab (6.5' Bed)

- Width : 6.50
- Track : 6.50
- Lock to Lock Time : 6.0
- Steering Angle : 31.5

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SECTION FOREMAN  
HOUSE REHAB  
PREPARED FOR  
CUSHING TERRELL

LIFT STATION  
ACCESS PLAN

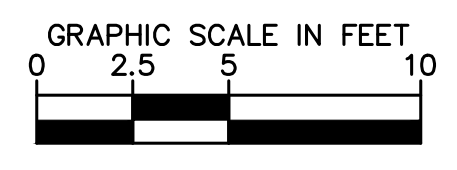
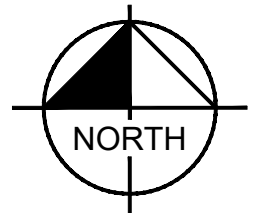
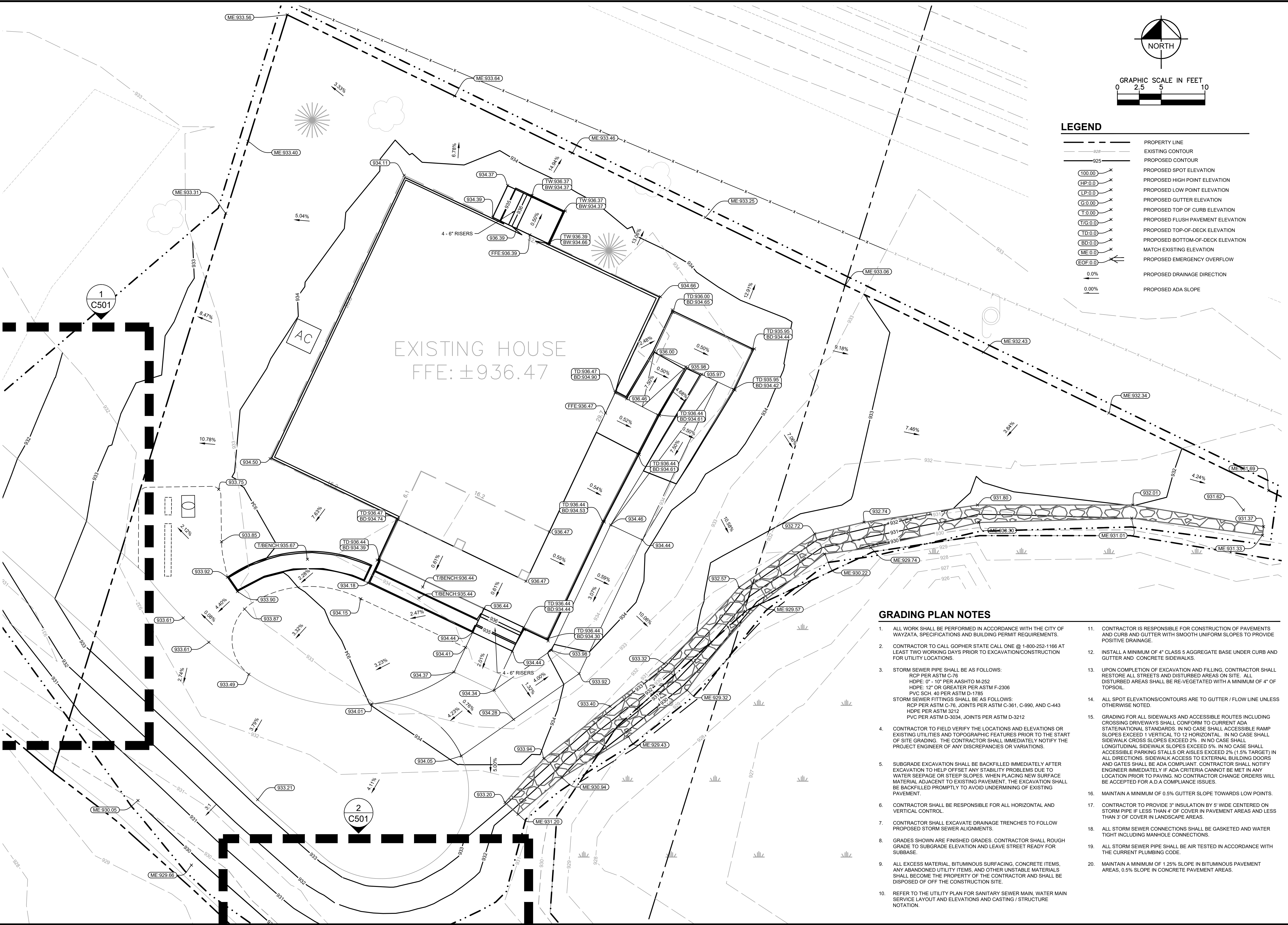
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**LEGEND**

---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
100.00 x	PROPOSED SPOT ELEVATION
HP:0.0 x	PROPOSED HIGH POINT ELEVATION
LP:0.0 x	PROPOSED LOW POINT ELEVATION
G:0.0 x	PROPOSED GUTTER ELEVATION
T:0.0 x	PROPOSED TOP OF CURB ELEVATION
T/G:0.0 x	PROPOSED FLUSH PAVEMENT ELEVATION
TD:0.0 x	PROPOSED TOP-OF-DECK ELEVATION
BD:0.0 x	PROPOSED BOTTOM-OF-DECK ELEVATION
ME:0.0 x	MATCH EXISTING ELEVATION
EOF:0.0 x	PROPOSED EMERGENCY OVERFLOW
0.0%	PROPOSED DRAINAGE DIRECTION
0.00%	PROPOSED ADA SLOPE

EXISTING HOUSE  
FFE: ±936.47

**GRADING PLAN NOTES**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF WAYZATA, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE AS FOLLOWS:  
RCP PER ASTM C-76  
HDPE: 0' - 10' PER AASHTO M-252  
PVC: 12' OR GREATER PER ASTM F-2306  
PVC SCH. 40 PER ASTM D-1785  
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:  
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443  
HDPE PER ASTM 3212  
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
- INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
- ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- CONTRACTOR TO PROVIDE 3" INSULATION BY 5' WIDE CENTERED ON STORM PIPE IF LESS THAN 4' OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.

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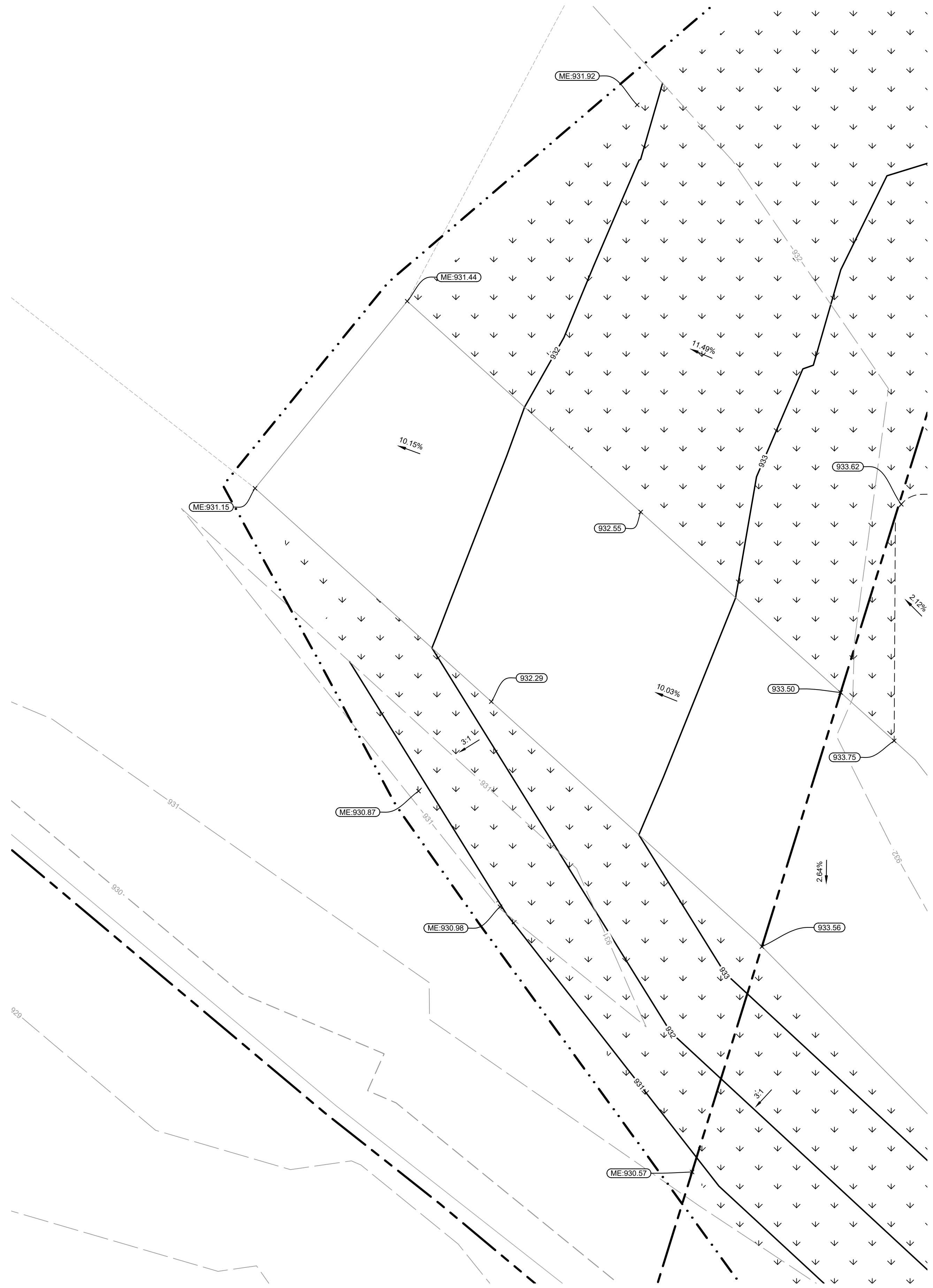
**SECTION FOREMAN**  
**HOUSE REHAB**  
PREPARED FOR  
**CUSHING TERRELL**  
WAYZATA MN

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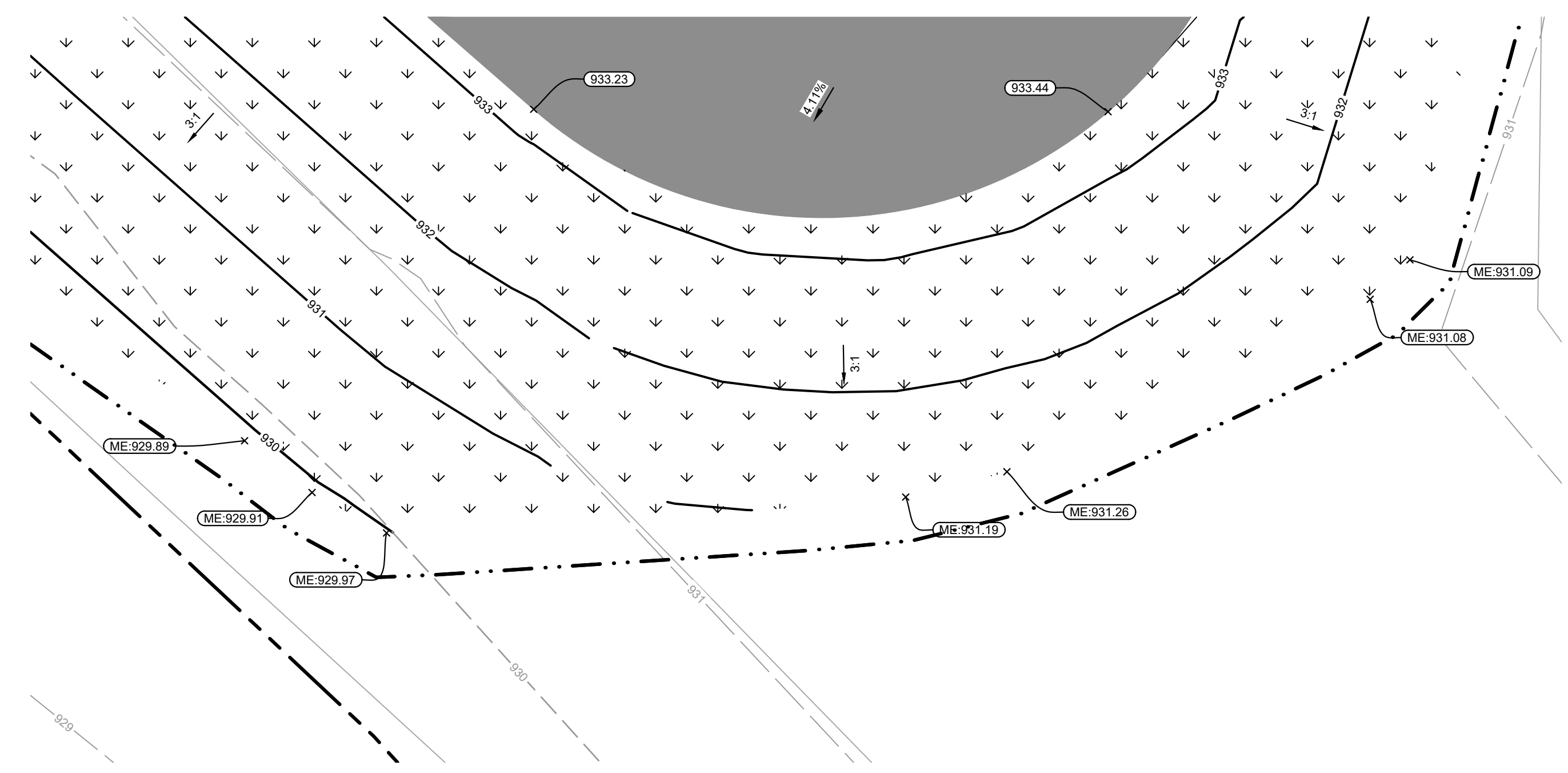
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DATE	7/29/2022
SCALE	AS SHOWN
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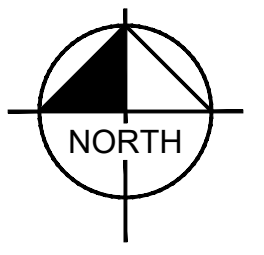
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**C500**



**1 TRAIL CONNECTION**  
SCALE: 1" = 2.5'



**2 SOUTH BOUNDARY**  
SCALE: 1" = 2.5'



**LEGEND**

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLUSH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERTFLOW
- PROPOSED DRAINAGE DIRECTION
- PROPOSED ADA SLOPE

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**SECTION FOREMAN  
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**CUSHING TERRELL**  
WAYZATA MN

**GRADING  
ENLARGEMENTS**

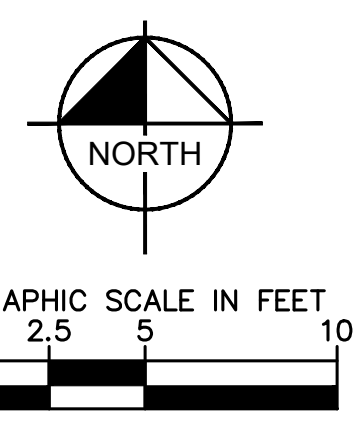
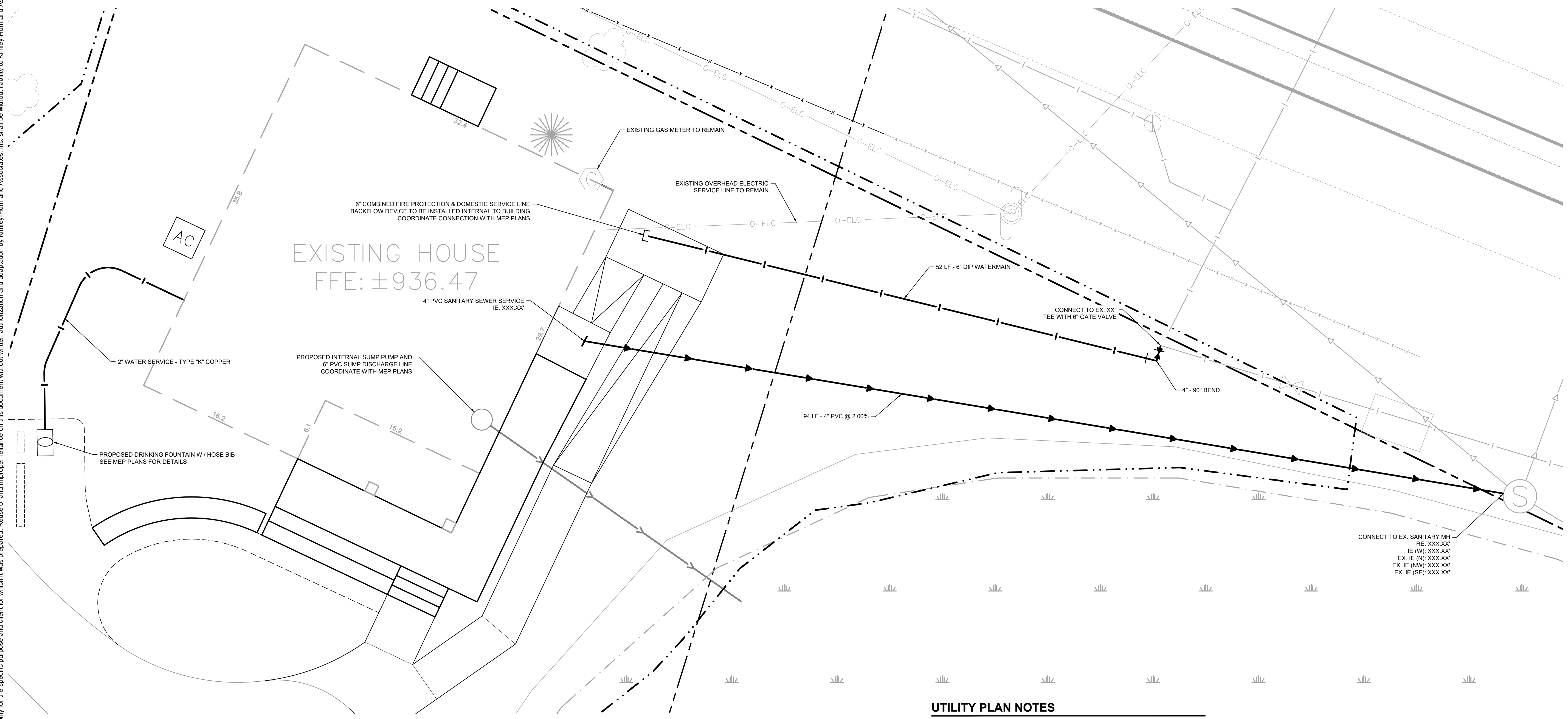
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LEGEND		
EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN

**NOTE:**  
COORDINATE ALL UTILITY CONNECTIONS W/MEP PLANS

**UTILITY PLAN NOTES**

- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:  
8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP  
8" PVC SDR26 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
- WATER LINES SHALL BE AS FOLLOWS:  
6" AND LARGER, PVC C-900 PER ASTM D 2241  
CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150  
4" AND LARGER DUCTILE IRON PIPE PER AWWA C150  
SMALLER THAN 3" PIPING SHALL BE COPPER TUBE TYPE "K" PER ANSI 816.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-5" COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
- ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF WAYZATA AND/OR STATE OF MN WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
- ALL ONSITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
- ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

PRELIMINARY - NOT FOR CONSTRUCTION

**SECTION FOREMAN**  
**HOUSE REHAB**  
PREPARED FOR  
**CUSHING TERRELL**

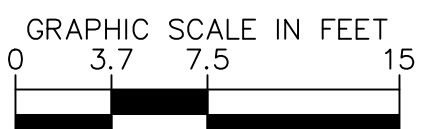
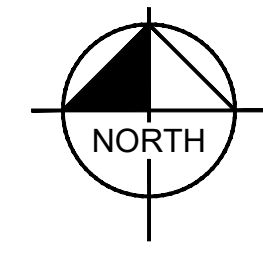
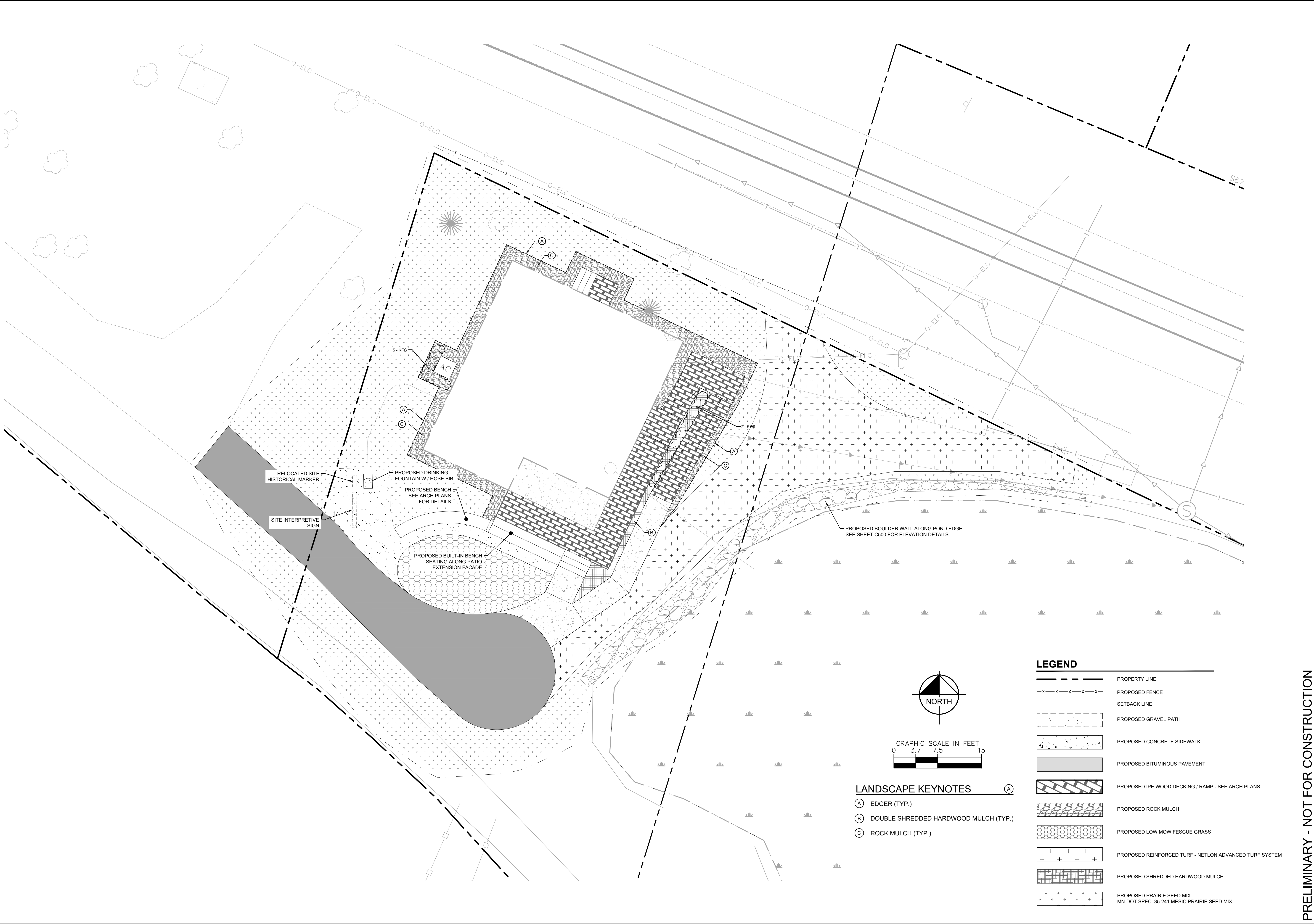
**UTILITY PLAN**

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**C600**

No.	REVISIONS	DATE	BY
1	100% DD SET	7/29/2022	CPT

**Kimley»Horn**  
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787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-454-1977  
WWW.KIMLEY-HORN.COM

KHA PROJECT	160145001
DATE	7/29/2022
SCALE	AS SHOWN
DESIGNED BY	CPT
DRAWN BY	CPT
CHECKED BY	JFJ



- LANDSCAPE KEYNOTES**
- (A) EDGER (TYP.)
  - (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
  - (C) ROCK MULCH (TYP.)

**LEGEND**

	PROPERTY LINE
	PROPOSED FENCE
	SETBACK LINE
	PROPOSED GRAVEL PATH
	PROPOSED CONCRETE SIDEWALK
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED IPE WOOD DECKING / RAMP - SEE ARCH PLANS
	PROPOSED ROCK MULCH
	PROPOSED LOW MOW FESCUE GRASS
	PROPOSED REINFORCED TURF - NETLON ADVANCED TURF SYSTEM
	PROPOSED SHREDDED HARDWOOD MULCH
	PROPOSED PRAIRIE SEED MIX MN-DOT SPEC. 35-241 MESIC PRAIRIE SEED MIX

PRELIMINARY - NOT FOR CONSTRUCTION

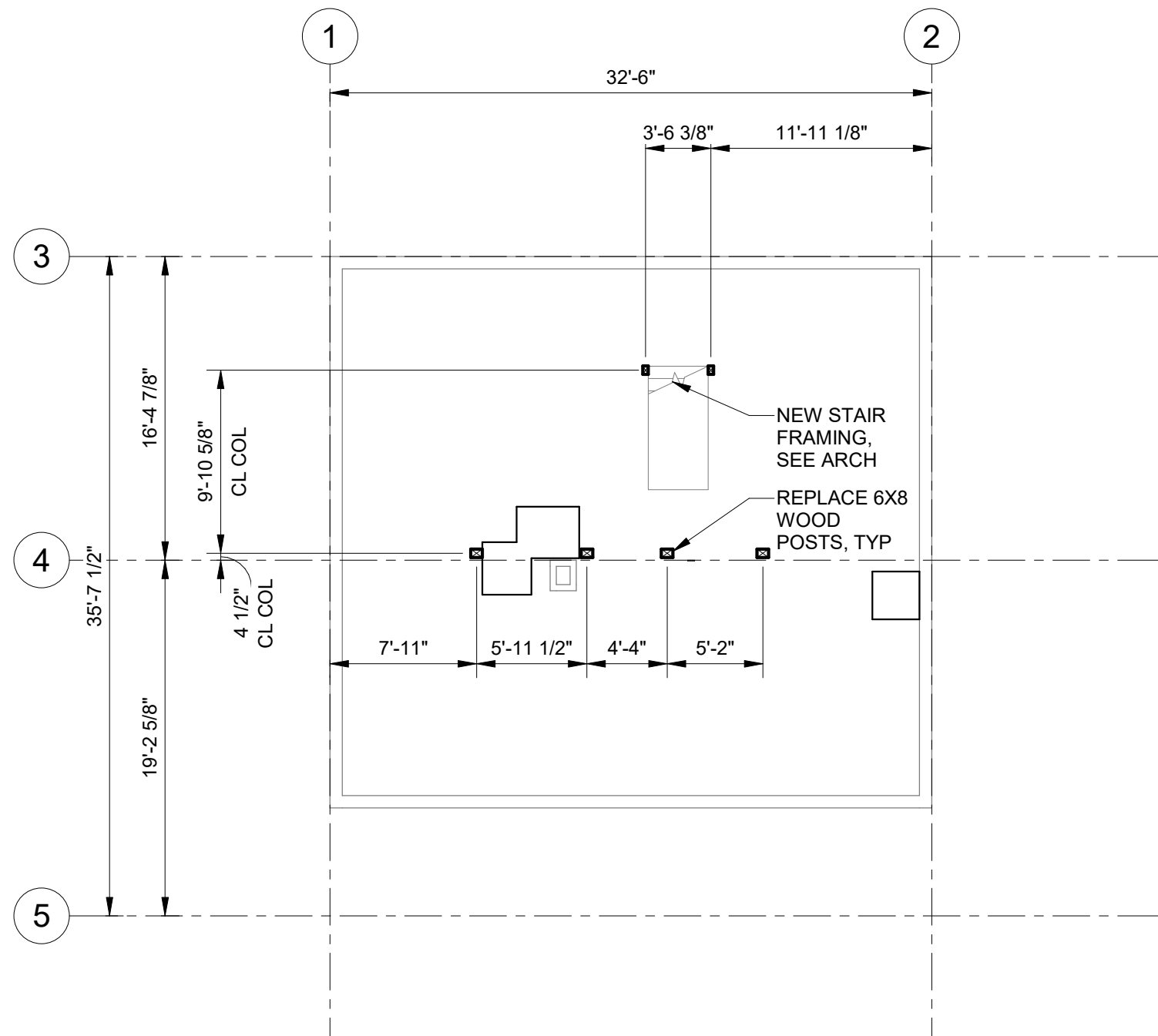
**SECTION FOREMAN  
HOUSE REHAB**  
PREPARED FOR  
**CUSHING TERRELL**  
WAYZATA MN

**LANDSCAPE PLAN**

KHA PROJECT 160145001	DATE 7/29/2022
SCALE AS SHOWN	DESIGNED BY KHA
DRAWN BY KHA	CHECKED BY MGC

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PHONE: 651-452-4197  
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No.	REVISIONS	DATE	BY
1	100% DD SET	7/29/2022	CPT



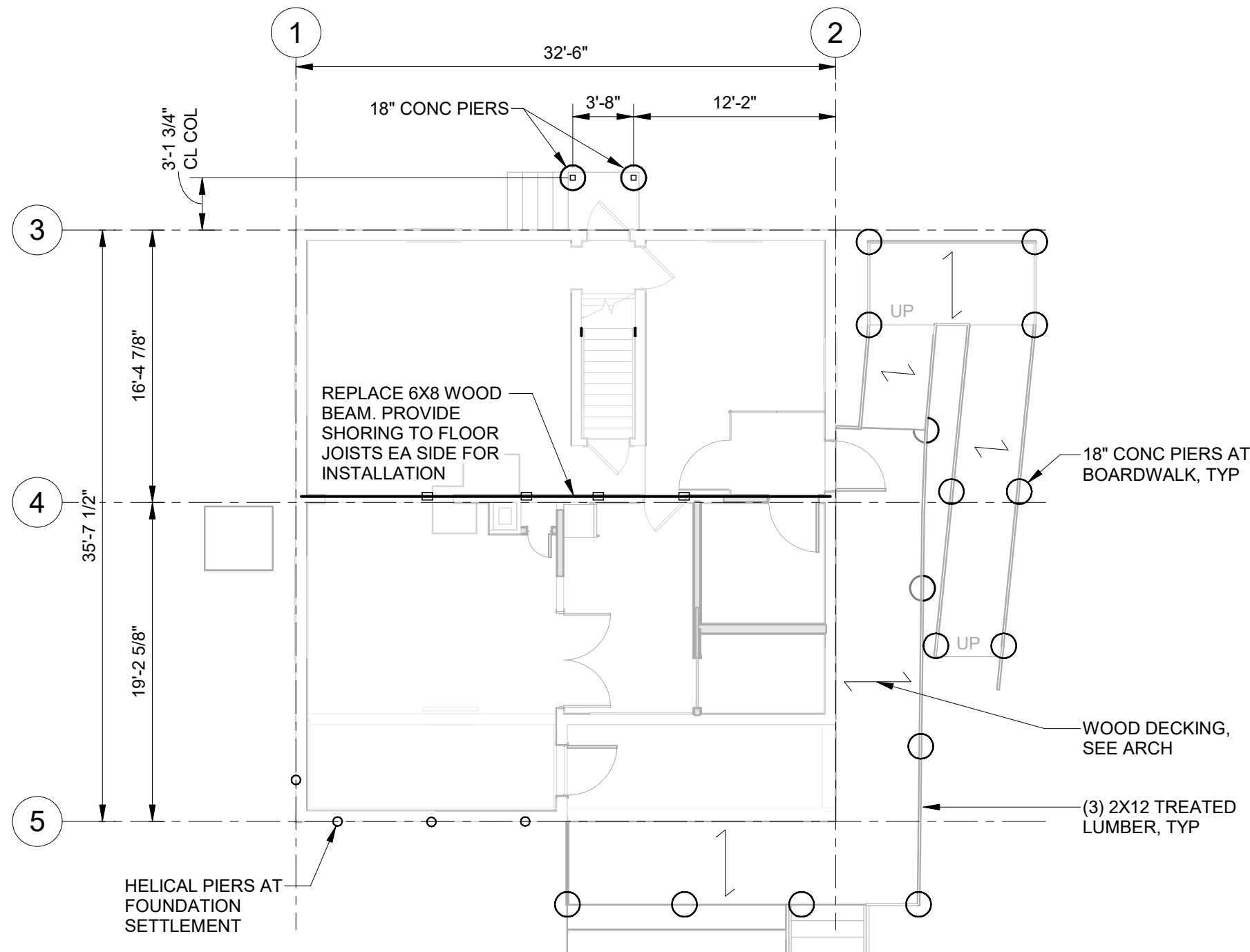
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**BASEMENT PLAN**  
 S100 SCALE: 1/8" = 1'-0"

100% DESIGN  
 DEVELOPMENT  
 07.29.2022

DRAWN BY  
 CGA  
 CHECKED BY  
 BES

BASEMENT  
 PLAN

SHEET  
**S100**



**1**  
**S101**  
**LEVEL 1 FRAMING PLAN**  
 SCALE: 1/8" = 1'-0"

100% DESIGN  
 DEVELOPMENT  
 07.29.2022

DRAWN BY  
 CGA  
 CHECKED BY  
 BES

LEVEL 1  
 FRAMING PLAN

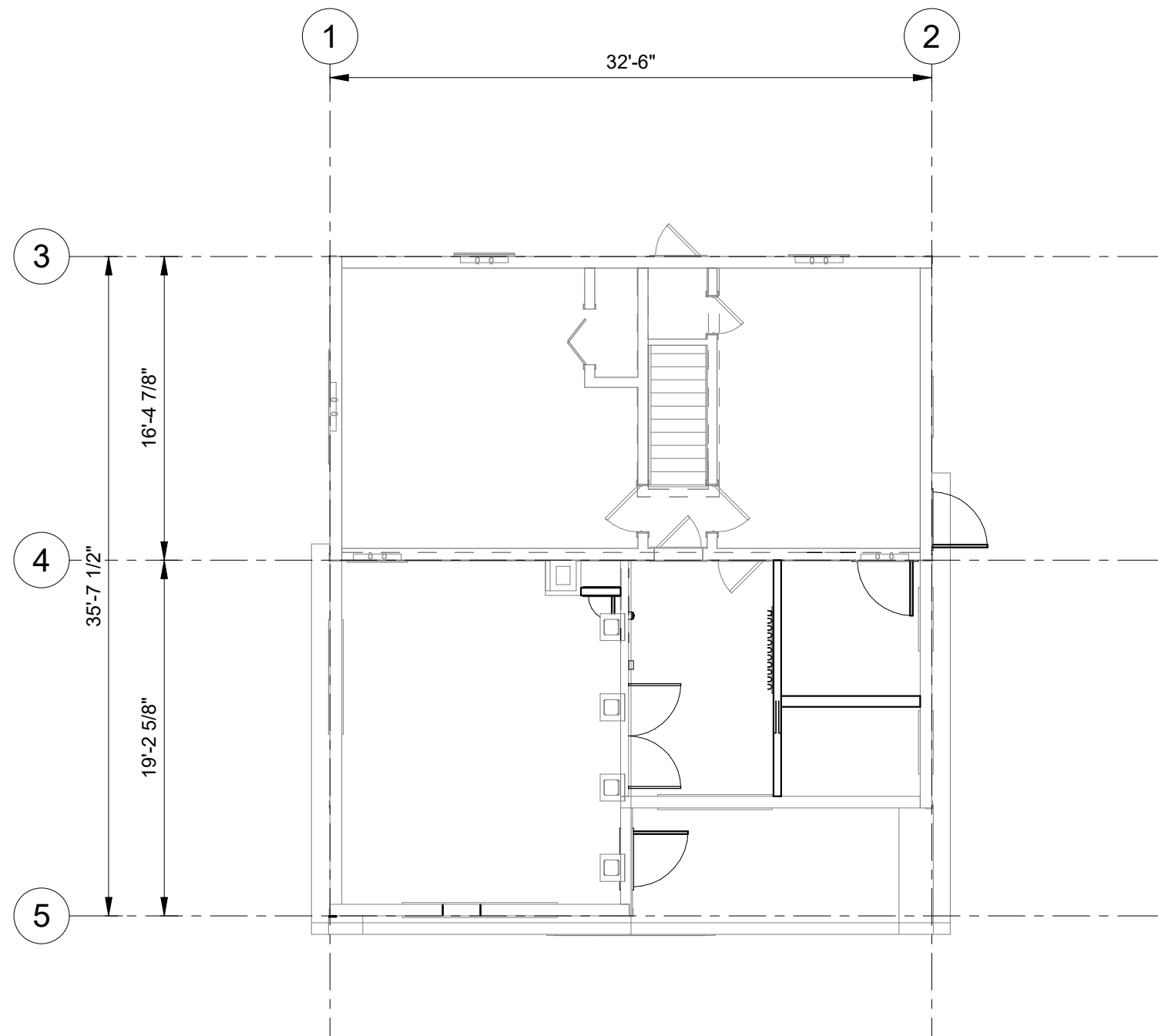
SHEET  
**S101**

100% DESIGN  
DEVELOPMENT  
07.29.2022

DRAWN BY  
CGA  
CHECKED BY  
BES

LEVEL 2  
FRAMING PLAN

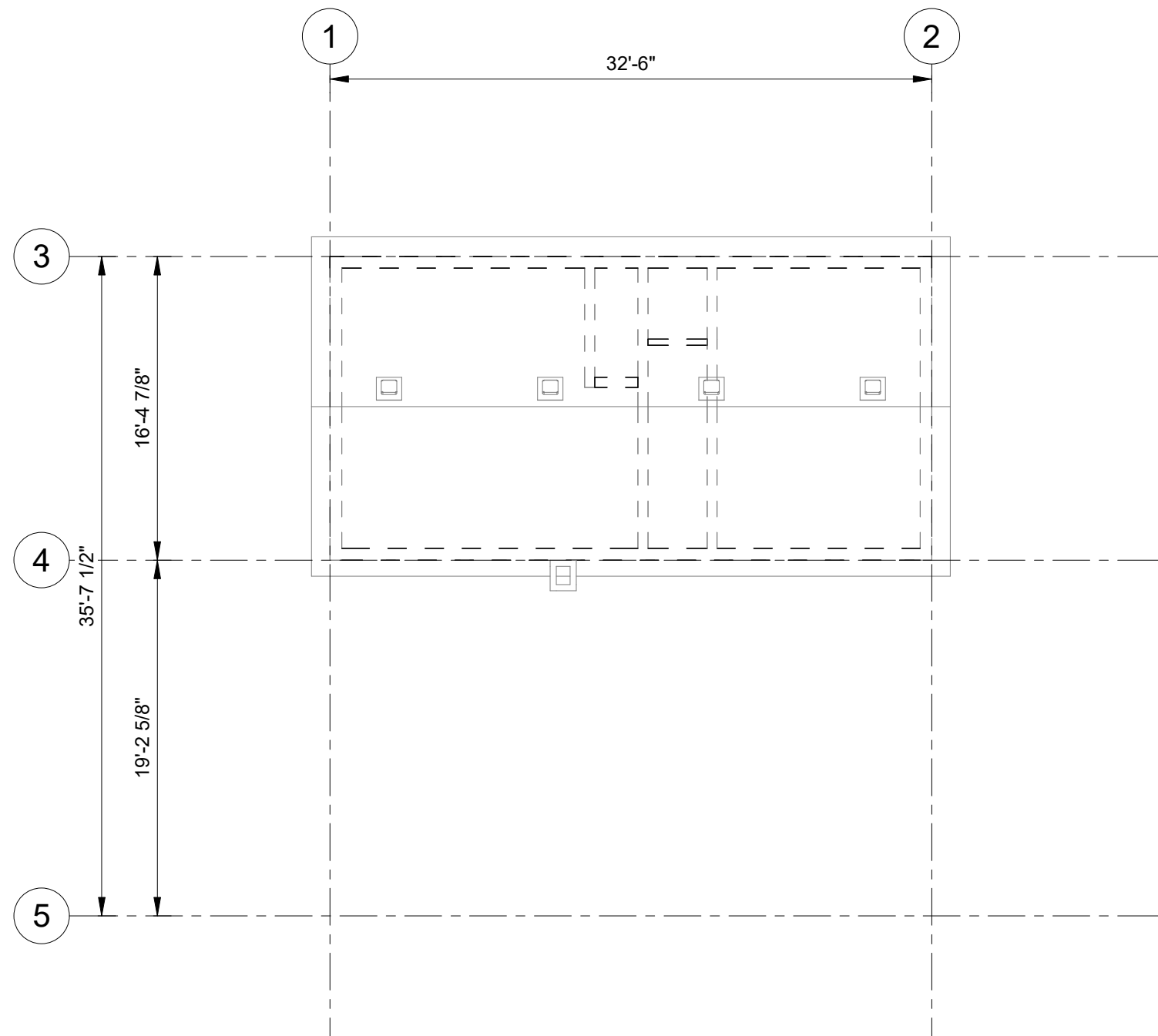
SHEET  
**S102**



1  
S102

# LEVEL 2 FRAMING PLAN

SCALE: 1/8" = 1'-0"



1  
S103

# ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

100% DESIGN  
DEVELOPMENT  
07.29.2022

DRAWN BY  
CGA  
CHECKED BY  
BES

ROOF FRAMING  
PLAN

SHEET  
**S103**



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



NORTH REF

# CONSTRUCTION KEYNOTES

- 1 REPAIR EXISTING WINDOW. SEE A600s FOR SCHEDULE AND DETAILS.
- 2 INSTALL STRUCTURAL WOOD POST. REF STRUCTURAL.
- 3 REPOINT DETERIORATED MORTAR JOINTS AT HISTORIC BRICK CHIMNEY. ASSUME 25% OF JOINTS ON ALL SIDE REQUIRE REPOINTING.
- 4 CONCRETE PAD FOR EQUIPMENT. REF MECHANICAL AND ELECTRICAL.
- 5 INSTALL STRUCTURAL BEAM ABOVE. REF STRUCTURAL.
- 6 INSTALL NEW CORRUGATED METAL WINDOW WELL TO MATCH EXISTING. REF CIVIL.
- 7 INSTALL STAIR. SEE DETAIL 2/A401.

# DEMOLITION KEYNOTES

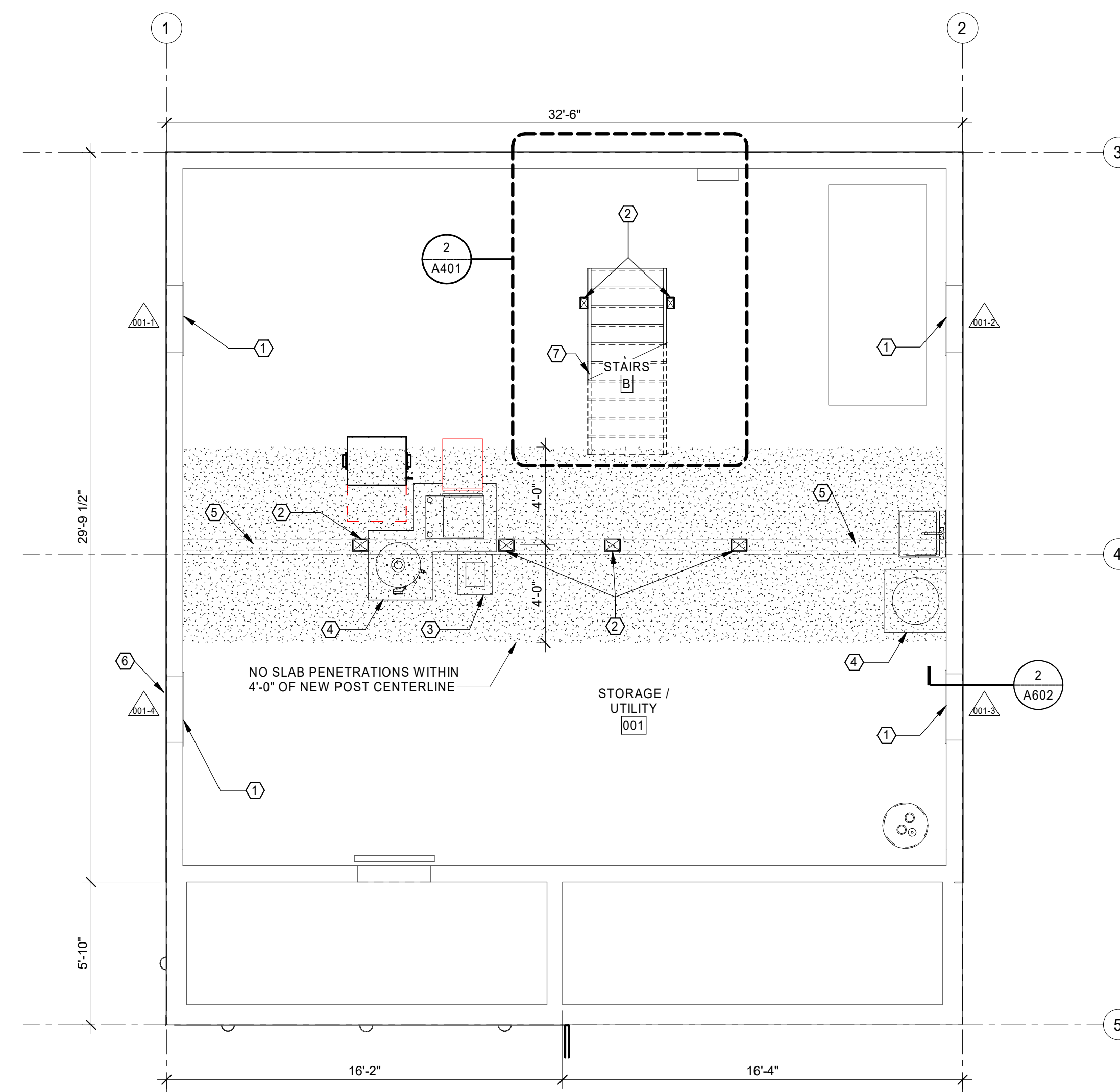
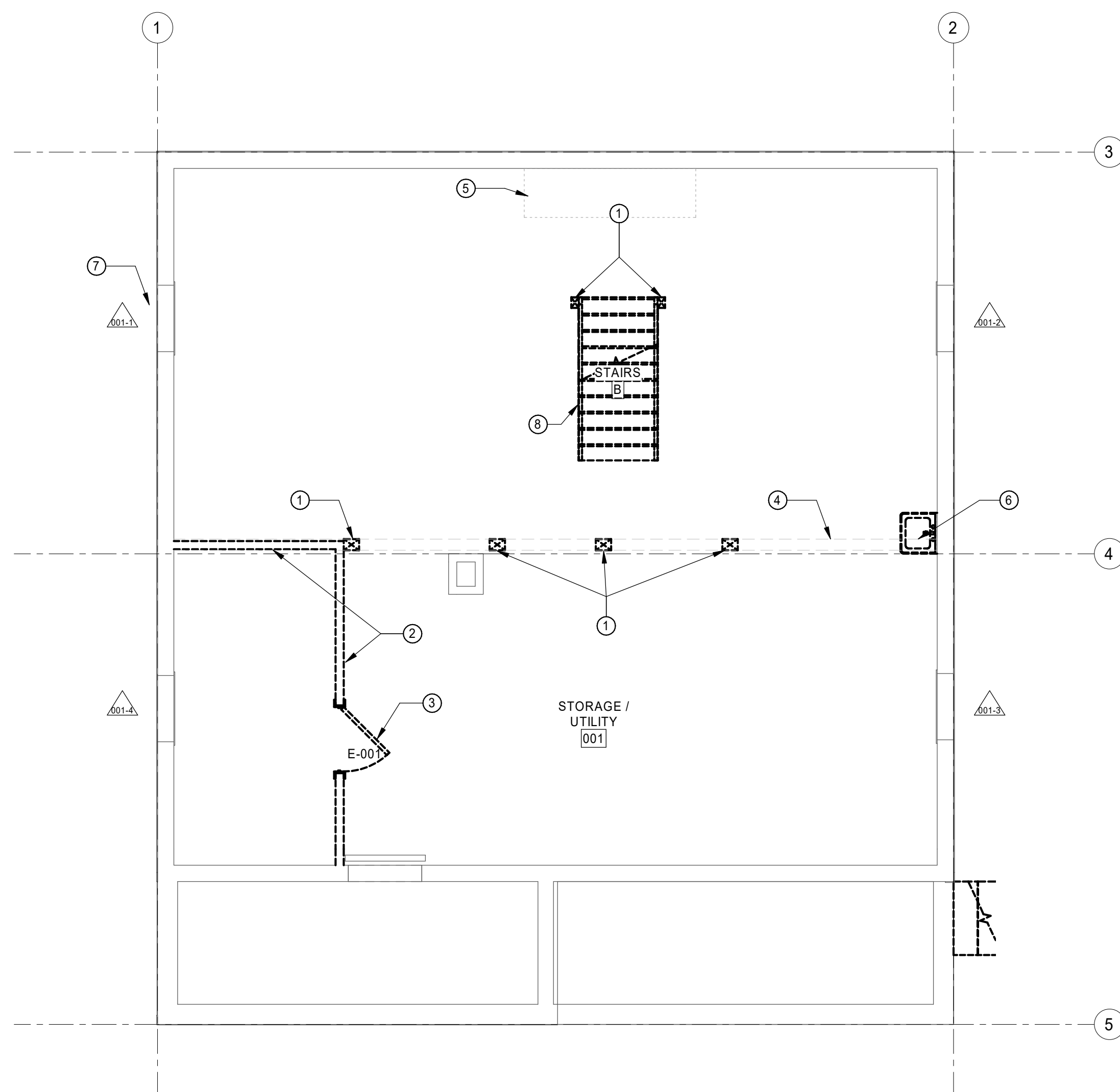
- 1 REMOVE DETERIORATED STRUCTURAL POST. REF STRUCTURAL.
- 2 REMOVE DETERIORATED WOOD-PLANK WALL.
- 3 REMOVE PANELED DOOR. PROTECT AND RETAIN FOR REUSE.
- 4 REMOVE BEAM. REF STRUCTURAL.
- 5 REMOVE CABINETRY
- 6 REMOVE SINK
- 7 REMOVE CORRUGATED METAL AT WINDOW WELL
- 8 REMOVE STAIR.

GENERAL NOTES

- A. SEE GENERAL PROJECT NOTES ON COVER SHEET.
- B. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
- C. SEE FLOOR PLAN FOR NOTES ON WINDOW REPAIR, WINDOW REPLACEMENT, DOOR REPLACEMENT AND ROOF REPLACEMENT.

PLAN LEGEND

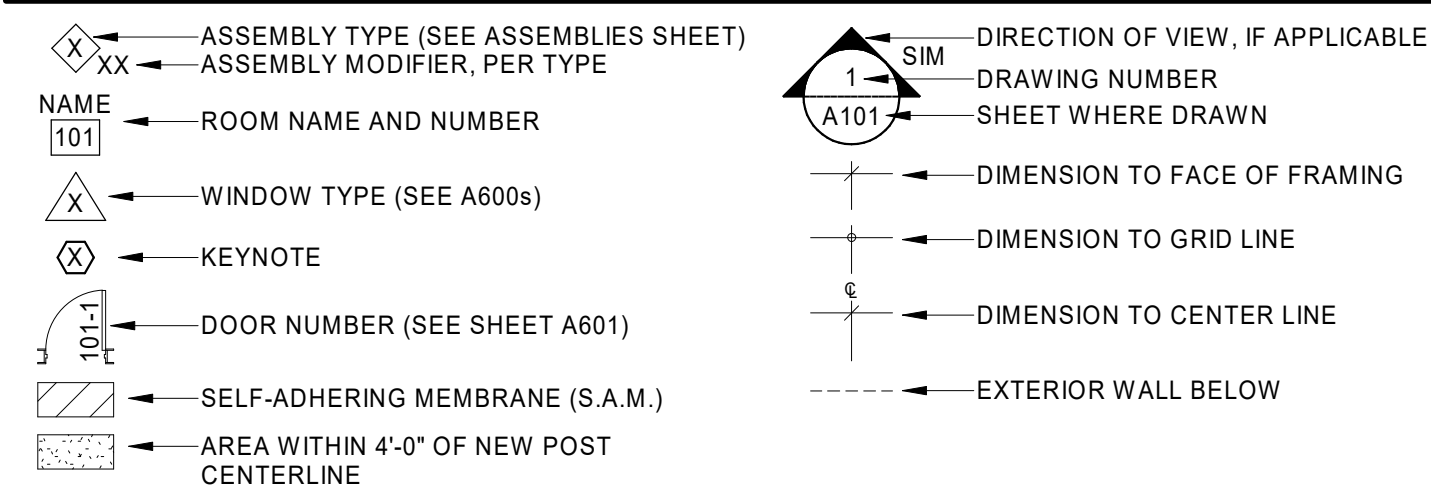
- ASSEMBLY TYPE (SEE ASSEMBLIES SHEET)
- ASSEMBLY MODIFIER, PER TYPE
- ROOM NAME AND NUMBER
- WINDOW TYPE (SEE A600s)
- KEYNOTE
- DOOR NUMBER (SEE SHEET A601)
- SELF-ADHERING MEMBRANE (S.A.M.)
- AREA WITHIN 4'-0" OF NEW POST CENTERLINE
- DIRECTION OF VIEW, IF APPLICABLE
- DRAWING NUMBER
- SHEET WHERE DRAWN
- DIMENSION TO FACE OF FRAMING
- DIMENSION TO GRID LINE
- DIMENSION TO CENTER LINE
- EXTERIOR WALL BELOW



1 DEMOLITION PLAN - BASEMENT  
A101 1/4" = 1'-0"

2 FLOOR PLAN - BASEMENT  
A101 1/4" = 1'-0"

PLAN LEGEND

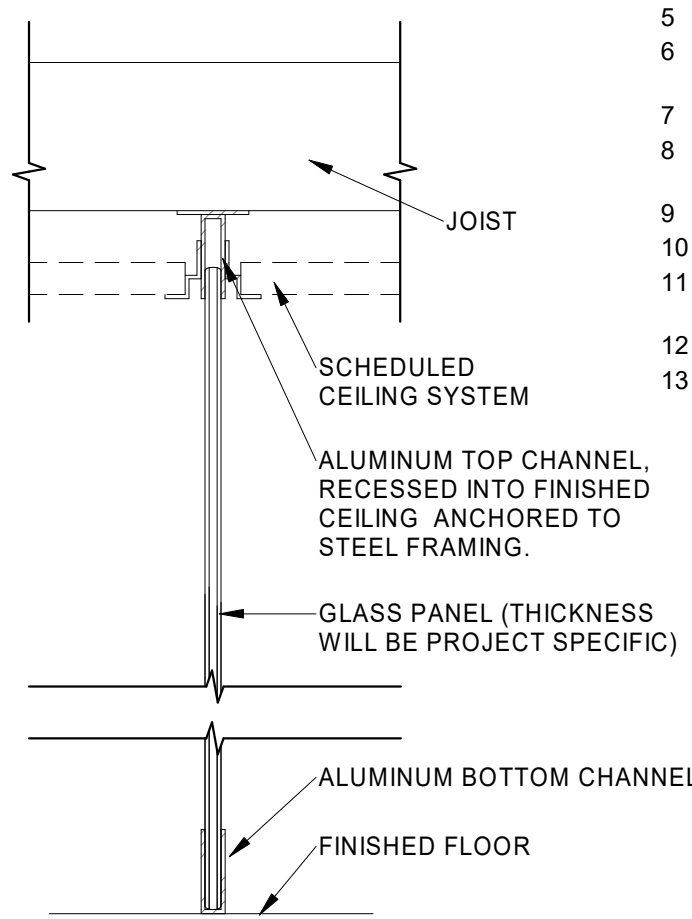
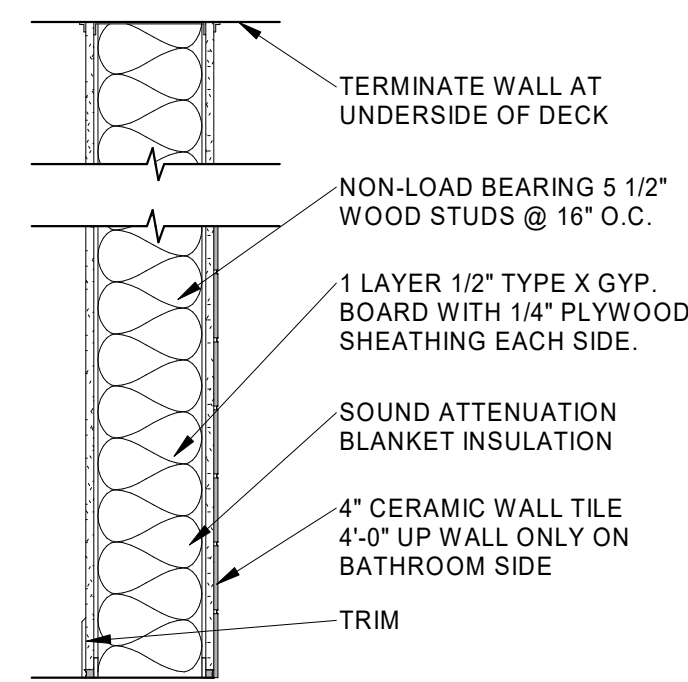
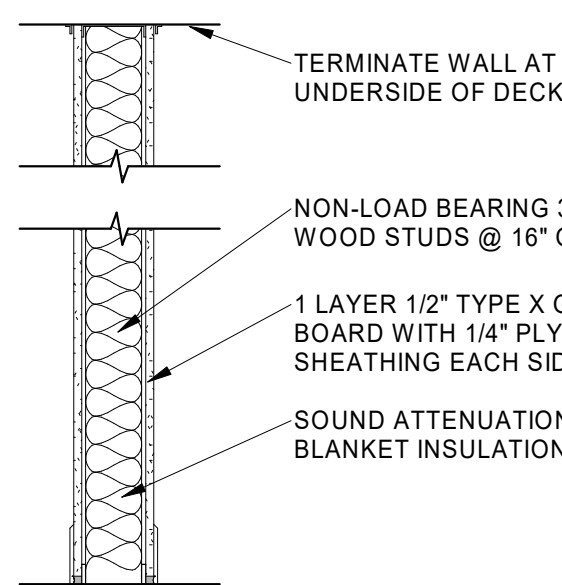


WALL TYPE LEGEND

SCALE: 1" = 1'-0"

GENERAL WALL TYPE NOTES:

- A. PROVIDE BLOCKING AS REQUIRED TO SECURE WALL HUNG COMPONENTS.
- B. EXTEND ALL COMPONENTS TO UNDERSIDE OF DECK, UNLESS NOTED OTHERWISE.



GENERAL NOTES

- A. SEE GENERAL PROJECT NOTES ON COVER SHEET.
- B. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
- C. SEE FLOOR PLAN FOR NOTES ON WINDOW REPAIR, WINDOW REPLACEMENT, DOOR REPLACEMENT AND ROOF REPLACEMENT.

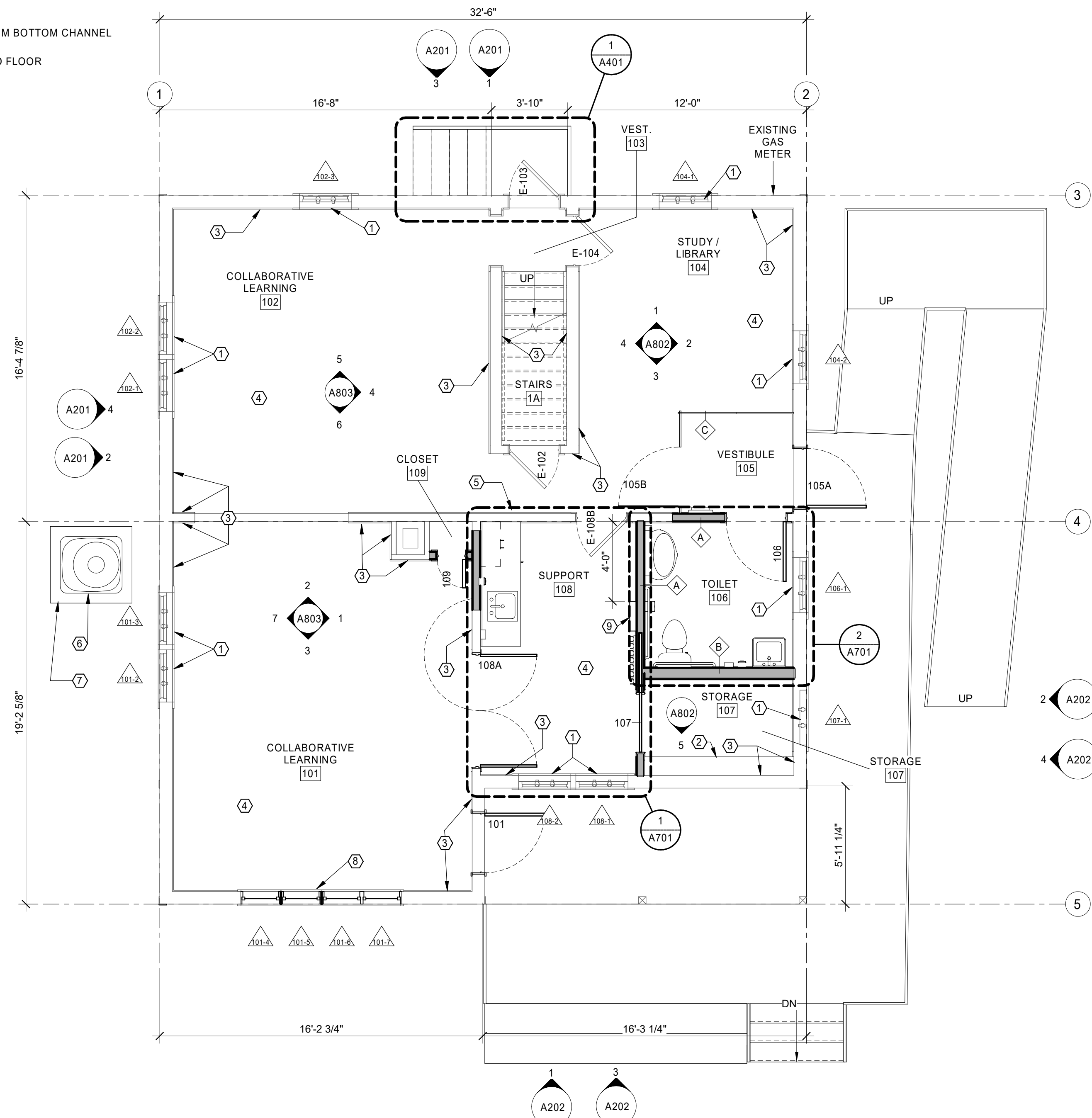
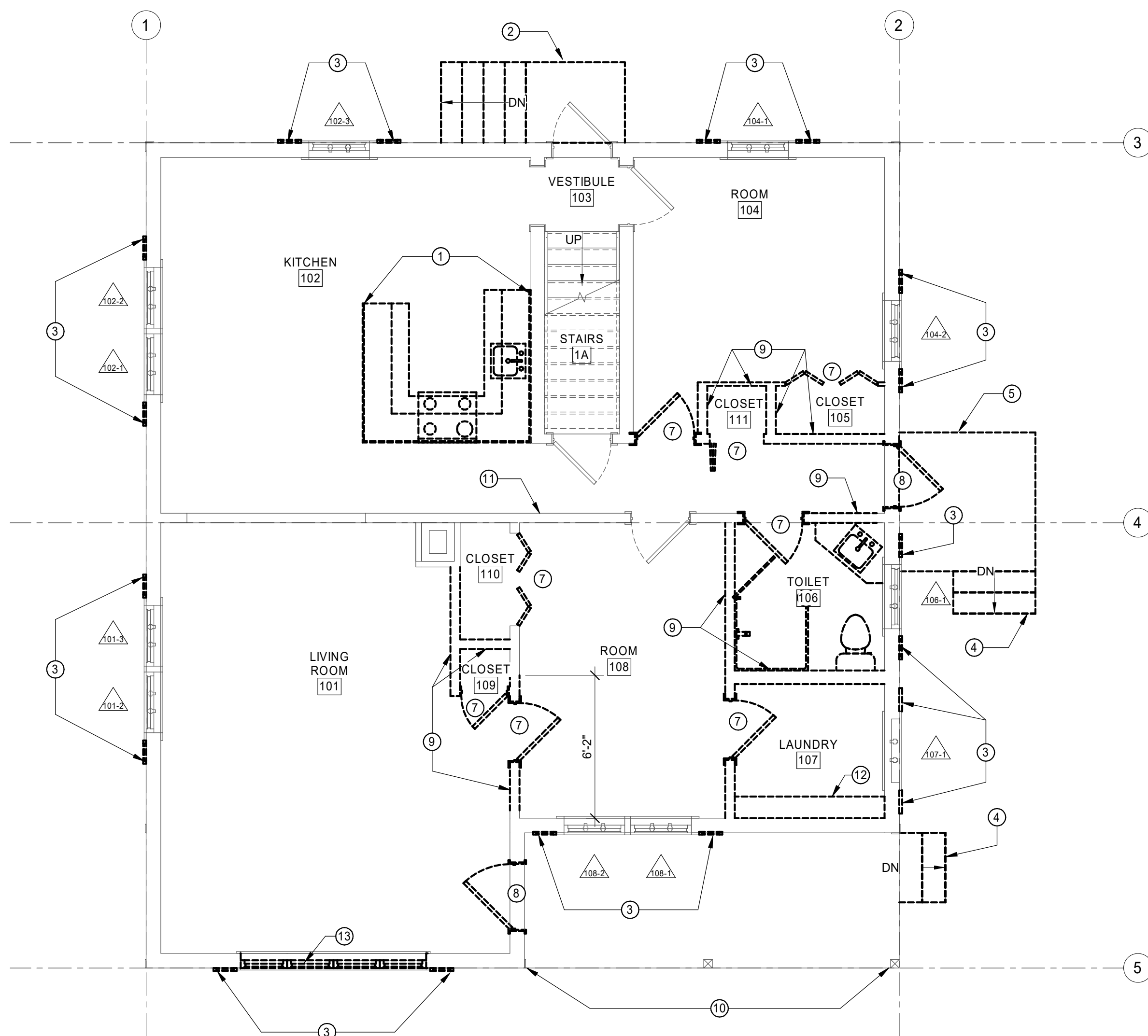
DEMOLITION KEYNOTES

- 1 REMOVE EXISTING NON-HISTORIC KITCHEN CABINETS, SINK, AND STOVE.
- 2 REMOVE EXISTING WOOD EXTERIOR STAIRS AND LANDING.
- 3 REMOVE EXISTING NON-HISTORIC WINDOW SHUTTERS.
- 4 REMOVE EXISTING NON-HISTORIC CONCRETE STEPS.
- 5 REMOVE EXISTING NON-HISTORIC CONCRETE STOOP.
- 6 REMOVE ALL NON-HISTORIC BATHROOM FIXTURES INCLUDING SINK, CABINETS, TOILET, AND SHOWER.
- 7 REMOVE EXISTING NON-HISTORIC DOOR.
- 8 REMOVE EXISTING DOOR AND WIDEN EXISTING NON-HISTORIC OPENING TO ACCOMMODATE 36" DOOR.
- 9 REMOVE EXISTING WALLS.
- 10 REMOVE EXISTING NON-HISTORIC RAILING.
- 11 REMOVE FIBERBOARD ON LOWER HALF OF FRAMED WALL. SALVAGE WOOD BASE FOR REUSE.
- 12 REMOVE EXISTING WOOD SHELVES. EXISTING WOOD CLEATS TO REMAIN.
- 13 REMOVE EXISTING NON-HISTORIC WINDOW.

CONSTRUCTION KEYNOTES

- 1 REPAIR EXISTING WINDOW. SEE A600s FOR SCHEDULE AND DETAILS.
- 2 EXPAND EXISTING WOOD CLEATS FOR THE TWO-TIERED SHELVING. PROVIDE NEW PAINTED WOOD SHELVES TO FIT LENGTH.
- 3 PATCH, REPAIR AND PAINT FIBERBOARD, WALL BASE AND QUARTER ROUND.
- 4 PATCH AND REPAIR EXISTING WOOD FLOOR. REFINISH WITH CLEAR FINISH.
- 5 INSTALL GYPSUM BOARD WHERE MISSING AT EXPOSED WALL FRAMING MATCHING EXISTING ADJACENT GYPSUM BOARD. INSTALL SALVAGED WALL BASE AND QUARTER ROUND.
- 6 AC UNIT. COORDINATE LOCATION AND CONNECTIONS WITH MECHANICAL AND ELECTRICAL. SCREEN WITH PLANTINGS. SEE LANDSCAPE ARCHITECTURE DRAWINGS.
- 7 CONCRETE PAD FOR EQUIPMENT. SEE MECHANICAL AND ELECTRICAL.
- 8 INSTALL WINDOW. SEE A600s FOR SCHEDULE AND DETAILS.
- 9 INSTALL WATER BOTTLE FILLER.

ADDITIONS TO EXISTING BUILDING SYSTEMS WILL BE CONCEALED WITHIN EXISTING STRUCTURE TO THE GREATEST EXTENT POSSIBLE. WHERE REQUIRED, SOFFITS OR OTHER NEW BUILDING ELEMENTS WILL BE A MINIMAL SIZE AND LOCATED AT THE PERIPHERY OF ROOMS ACCESSIBLE TO THE PUBLIC.





PLAN LEGEND

- ASSEMBLY TYPE (SEE ASSEMBLIES SHEET)
- ASSEMBLY MODIFIER, PER TYPE
- NAME
- ROOM NAME AND NUMBER
- WINDOW TYPE (SEE A600s)
- KEYNOTE
- DOOR NUMBER (SEE SHEET A601)
- SELF-ADHERING MEMBRANE (S.A.M.)
- AREA WITHIN 4'-0" OF NEW POST CENTERLINE
- DIRECTION OF VIEW, IF APPLICABLE
- DRAWING NUMBER
- SHEET WHERE DRAWN
- DIMENSION TO FACE OF FRAMING
- DIMENSION TO GRID LINE
- DIMENSION TO CENTER LINE
- EXTERIOR WALL BELOW

GENERAL NOTES

- A. SEE GENERAL PROJECT NOTES ON COVER SHEET.
- B. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
- C. SEE FLOOR PLAN FOR NOTES ON WINDOW REPAIR, WINDOW REPLACEMENT, DOOR REPLACEMENT AND ROOF REPLACEMENT.

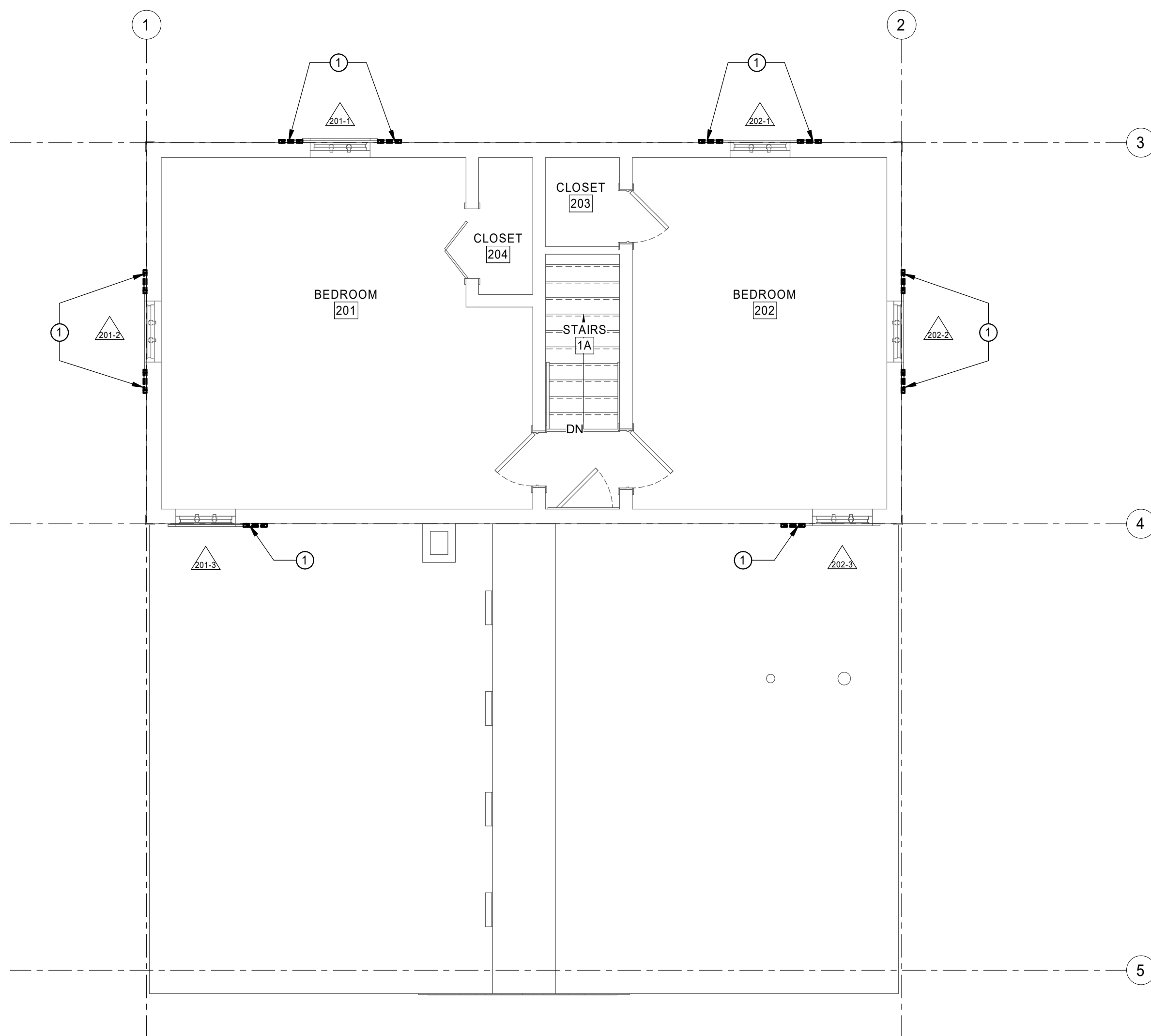
DEMOLITION KEYNOTES

- 1 REMOVE EXISTING NON-HISTORIC WINDOW SHUTTERS.

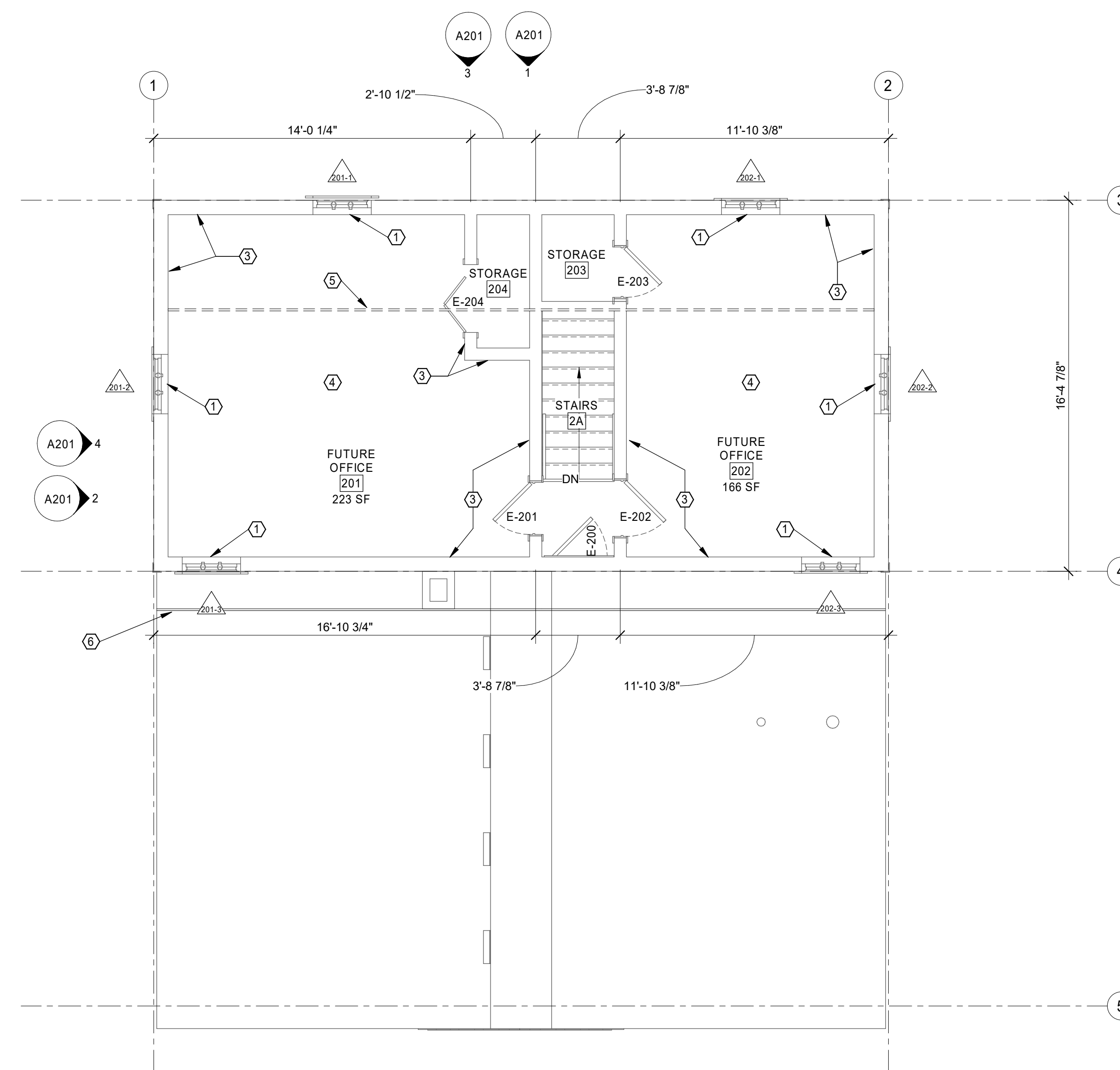
CONSTRUCTION KEYNOTES

- 1 REPAIR EXISTING WINDOW. SEE A600s FOR SCHEDULE AND DETAILS.
- 3 PATCH, REPAIR AND PAINT FIBERBOARD, WALL BASE AND QUARTER ROUND.
- 4 PATCH AND REPAIR EXISTING WOOD FLOOR. REFINISH WITH CLEAR FINISH.
- 5 SPRINKLER PIPING ABOVE PAINTED TO MATCH CEILING. REF FIRE PROTECTION
- 6 SPRINKLER PIPING

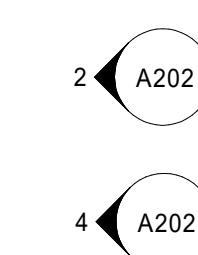
ADDITIONS TO EXISTING BUILDING SYSTEMS WILL BE CONCEALED WITHIN EXISTING STRUCTURE TO THE GREATEST EXTENT POSSIBLE. WHERE REQUIRED, SOFFITS OR OTHER NEW BUILDING ELEMENTS WILL BE A MINIMAL SIZE AND LOCATED AT THE PERIPHERY OF ROOMS ACCESSIBLE TO THE PUBLIC.



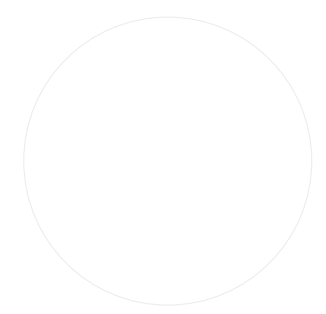
2 DEMOLITION PLAN - SECOND FLOOR  
A103 1/4" = 1'-0"



1 FLOOR PLAN - SECOND FLOOR  
A103 1/4" = 1'-0"



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100% DD SUBMISSION  
07.29.2022  
PROJECT# | WAYZATA\_FORE  
CHECKED BY | Checker  
DRAWN BY | Author  
REVISIONS

ROOF PLAN

**A104**

**PLAN LEGEND**

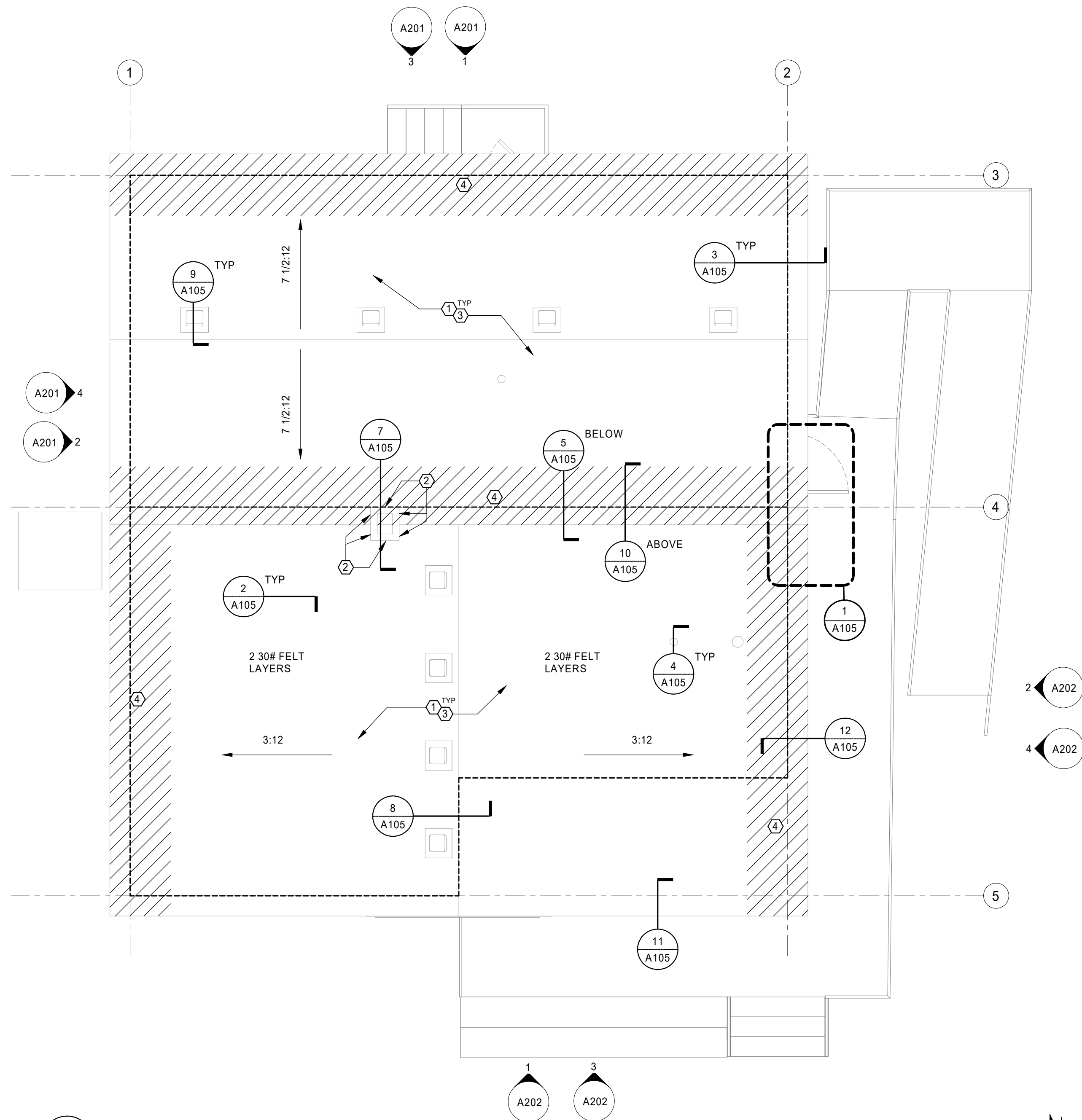
- ◆ ASSEMBLY TYPE (SEE ASSEMBLIES SHEET)
- XX ASSEMBLY MODIFIER, PER TYPE
- NAME
- 101 ROOM NAME AND NUMBER
- X WINDOW TYPE (SEE A600s)
- X KEYNOTE
- 101-1 DOOR NUMBER (SEE SHEET A601)
- SELF-ADHERING MEMBRANE (S.A.M.)
- AREA WITHIN 4'-0" OF NEW POST CENTERLINE
- 1 SIM DIRECTION OF VIEW, IF APPLICABLE
- A101 DRAWING NUMBER
- SHEET WHERE DRAWN
- DIMENSION TO FACE OF FRAMING
- DIMENSION TO GRID LINE
- DIMENSION TO CENTER LINE
- EXTERIOR WALL BELOW

**GENERAL NOTES**

- A. SEE GENERAL PROJECT NOTES ON COVER SHEET.
- B. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
- C. SEE FLOOR PLAN FOR NOTES ON WINDOW REPAIR, WINDOW REPLACEMENT, DOOR REPLACEMENT AND ROOF REPLACEMENT.

**KEYNOTES**

- 1 REMOVE ALL EXISTING NON-HISTORIC ASPHALT SHINGLE ROOFING LAYERS AND ROOFING FELT DOWN TO ROOF SHEATHING.
- 2 REMOVE EXISTING NON-HISTORIC FLASHING AS REQUIRED FOR INSTALLATION OF NEW ROOFING SHINGLES.
- 3 PROVIDE ASPHALT SINGLE ROOFING TO MATCH EXISTING ON 30# ROOFING FELT (PROVIDE TWO LAYERS OF FELT WHERE NOTED).
- 4 PROVIDE SELF-ADHERING MEMBERANE AS SHOWN HATCHED AT EAVES (PER IBC CODE SECTION 1507.1.2).

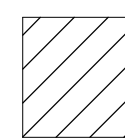

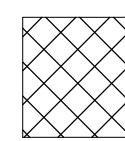
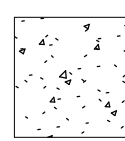


**1 ROOF PLAN**  
A104 1/4" = 1'-0"



NORTH REF

MATERIALS LEGEND

-  REPLACE SIDING TO MATCH EXISTING - SEE DETAIL #A###
-  REPLACE DECKING, STAIR, AND RAIL TO MATCH EXISTING
-  REPAIR FASCIA AND MOLDING TO MATCH EXISTING - SEE DETAIL #A###
-  CONCRETE STOOP AND STAIR

GENERAL NOTES

- A. SEE GENERAL PROJECT NOTES ON COVER SHEET.
- B. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
- C. SEE FLOOR PLAN FOR NOTES ON WINDOW REPAIR, WINDOW REPLACEMENT, DOOR REPLACEMENT AND ROOF REPLACEMENT.

DEMOLITION KEYNOTES

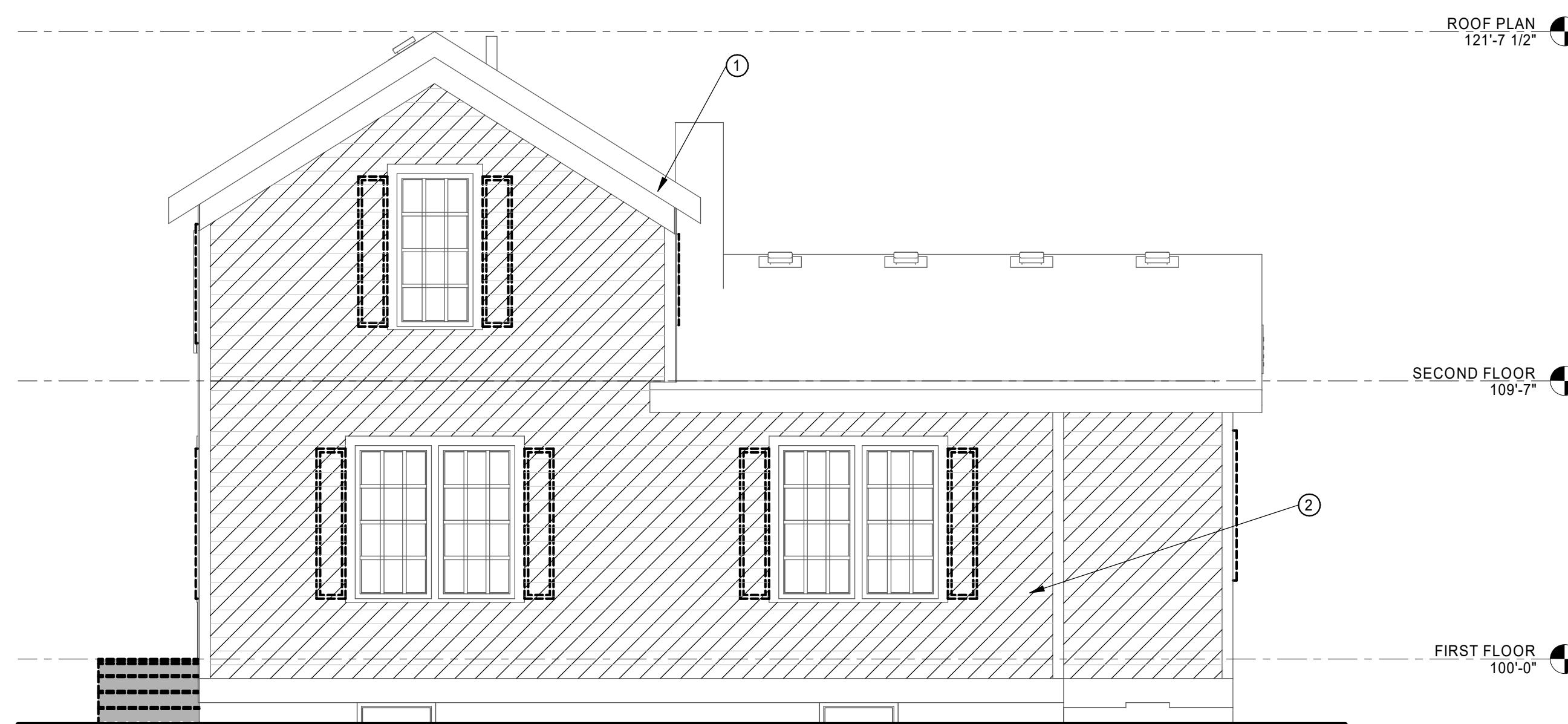
- 1 REMOVE MOLDING WHERE ROTTED.
- 2 REMOVE FASCIA BOARD WHERE ROTTED.
- 3 REMOVE EXISTING SHUTTERS

CONSTRUCTION KEYNOTES

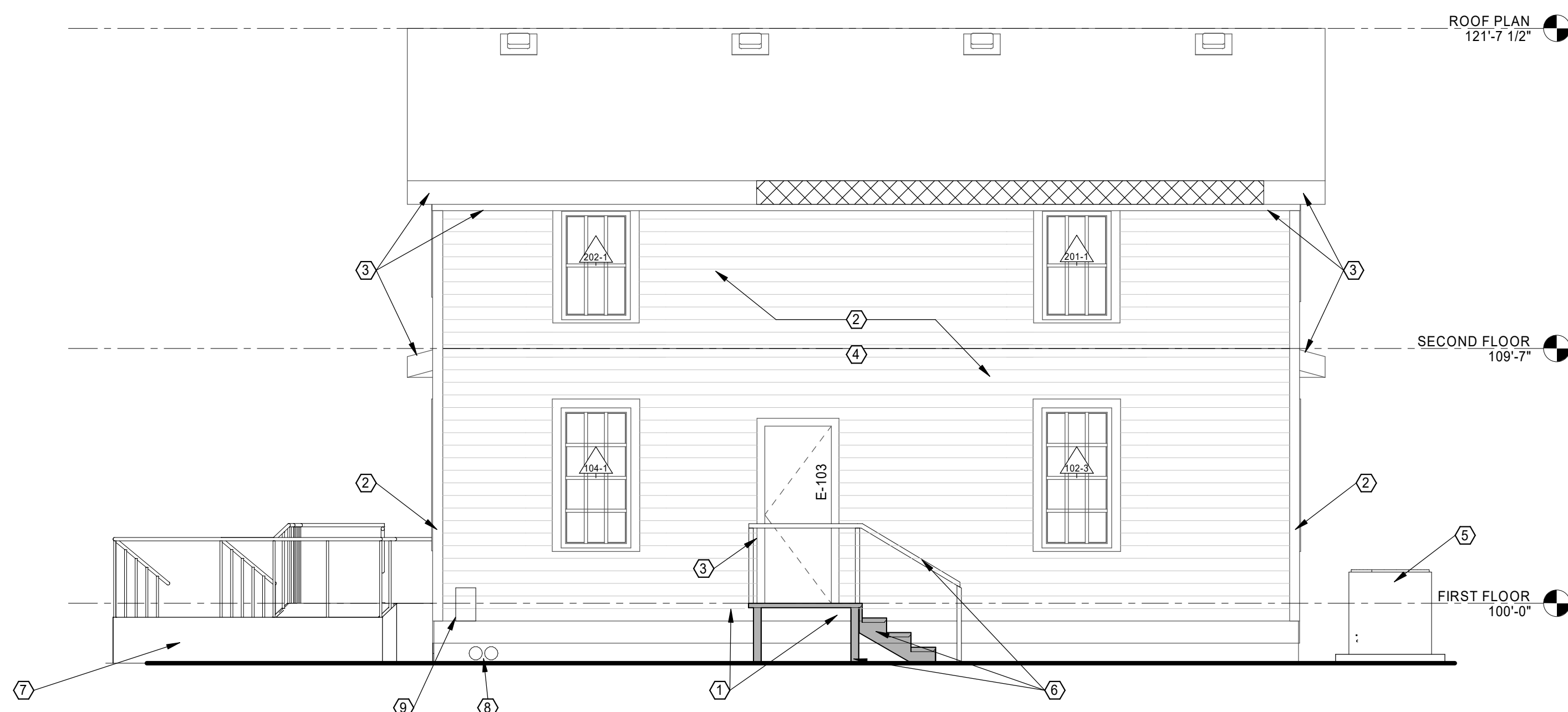
- 1 UNIT PRICING: REMOVE AND REPLACE ROTTED WOOD SIDING BACK TO EXISTING FRAMING. MATCH EXISTING ADJACENT SIDING. UNIT PRICE PER L.F.
- 2 PAINT EXTERIOR SIDING AND VERTICAL TRIM. COLOR TO BE XXX. SEE SPEC SECTION 099113 FOR SURFACE PREPARATION.
- 3 PAINT FASCIA, MOLDING, SOFFIT AND DOOR TRIM. COLOR TO BE XXX. SEE SPEC SECTION 099113 FOR SURFACE PREPARATION.
- 4 RESET INTACT AND STRUCTURALLY SOUND LOOSE WOOD SIDING.
- 5 AC UNIT. COORDINATE LOCATION AND CONNECTIONS WITH MECHANICAL AND ELECTRICAL. SCREEN WITH PLANTINGS. SEE LANDSCAPE ARCHITECTURE DRAWINGS.
- 6 REPLACE EXISTING DETERIORATED STAIR, LANDING AND RAILING. REBUILD TO MATCH DIMENSIONS IN NEW CONDITION.
- 7 INSTALL RAMP, STAIR AND PORCH. REF CIVIL AND X/XXX
- 8 MECHANICAL AND FIRE PROTECTION PENETRATIONS. REF MECHANICAL AND FIRE PROTECTION
- 9 GAS METER TO REMAIN
- 10 RECEPTACLE AND DISCONNECT. REF ELECTRICAL



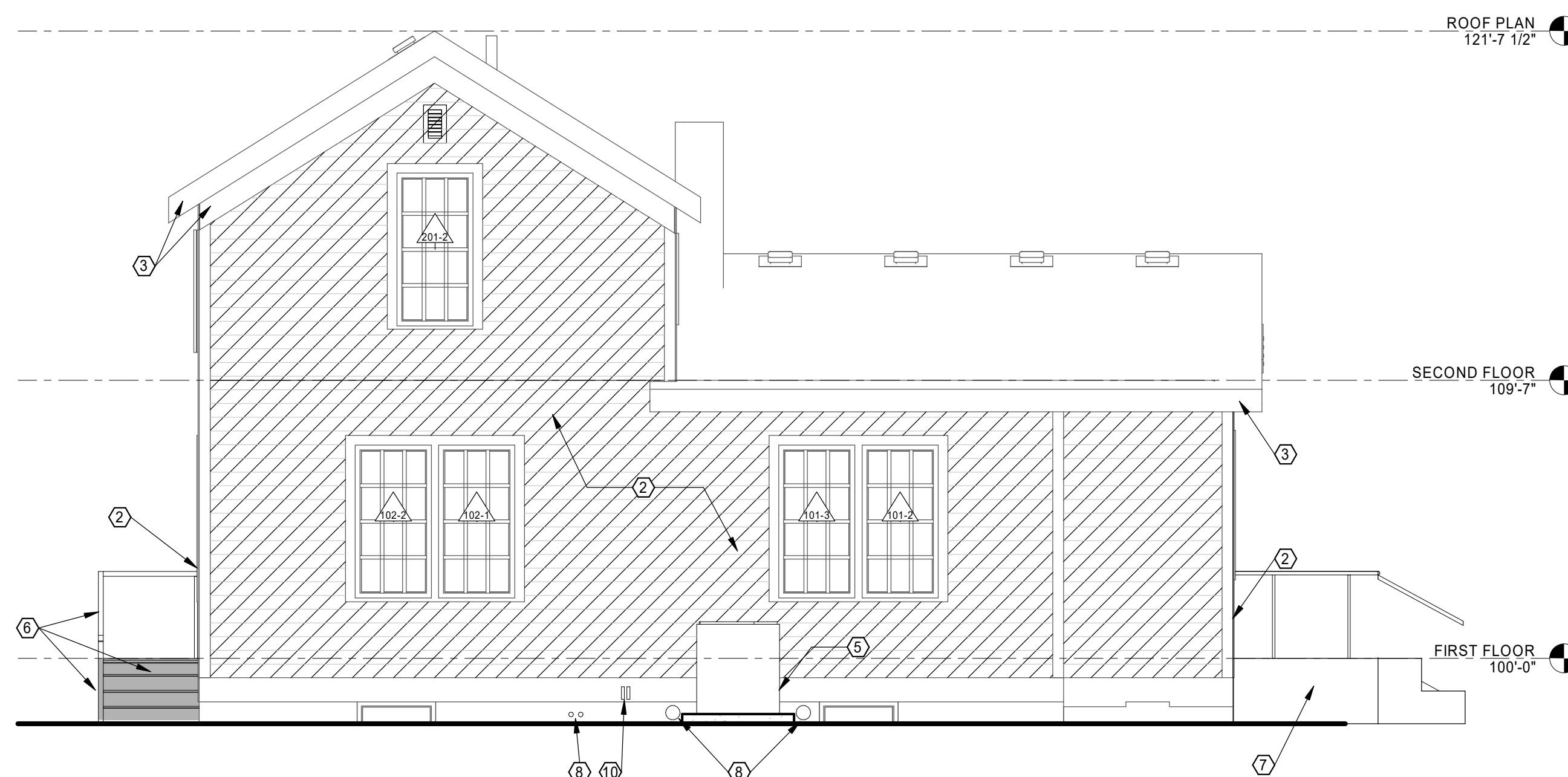
3 DEMO EXTERIOR ELEVATION - NORTH  
A201 1/4" = 1'-0"



4 DEMO EXTERIOR ELEVATION - WEST  
A201 1/4" = 1'-0"

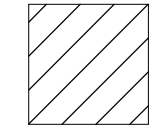
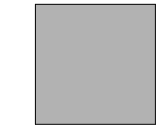
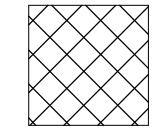
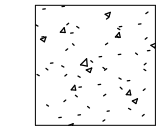


1 EXTERIOR ELEVATION - NORTH  
A201 1/4" = 1'-0"



2 EXTERIOR ELEVATION - WEST  
A201 1/4" = 1'-0"

**MATERIALS LEGEND**

- |   |   |   |  |
|---|---|---|--|
|  | REPLACE SIDING TO MATCH EXISTING - SEE DETAIL #A####            |  | REPLACE DECKING, STAIR, AND RAIL TO MATCH EXISTING |
|  | REPAIR FASCIA AND MOLDING TO MATCH EXISTING - SEE DETAIL #A#### |  | CONCRETE STOOP AND STAIR                           |

**GENERAL NOTES**

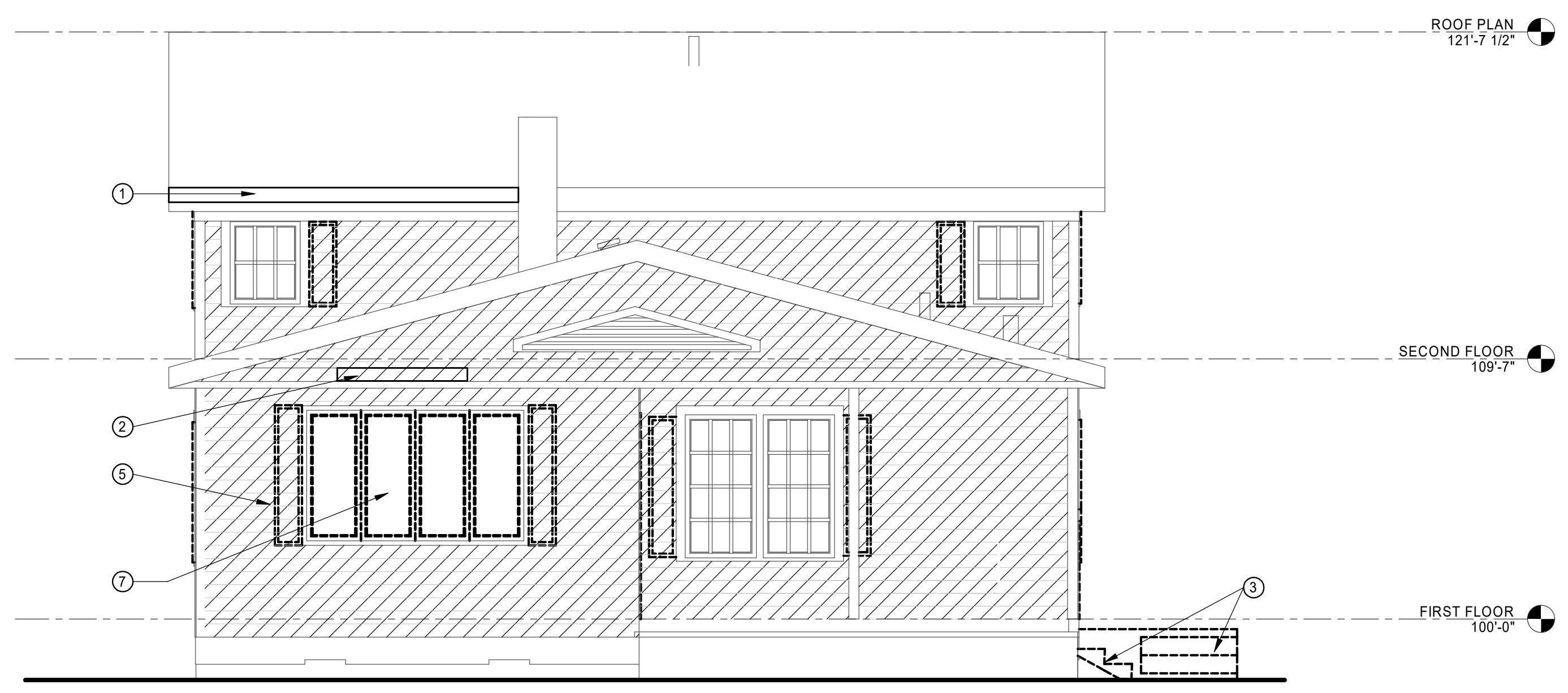
- A. SEE GENERAL PROJECT NOTES ON COVER SHEET.  
 B. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.  
 C. SEE FLOOR PLAN FOR NOTES ON WINDOW REPAIR, WINDOW REPLACEMENT, DOOR REPLACEMENT AND ROOF REPLACEMENT.

**DEMOLITION KEYNOTES**

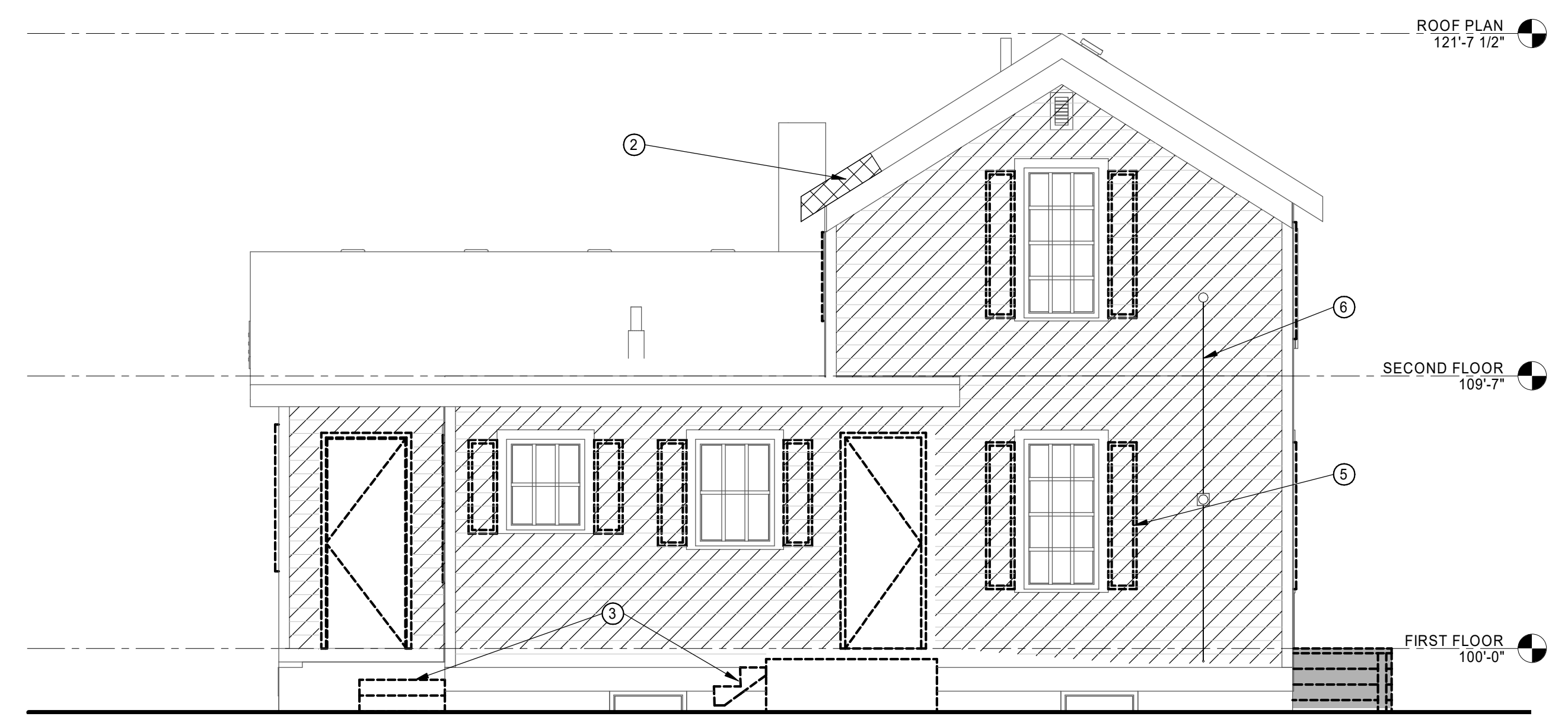
- 1 REMOVE MOLDING WHERE ROTTED.
- 2 REMOVE FASCIA BOARD WHERE ROTTED.
- 3 REMOVE EXISTING CONCRETE STEPS.
- 5 REMOVE EXISTING SHUTTERS
- 6 REMOVE ELECTRICAL METER. REF ELECTRICAL.
- 7 REMOVE EXISTING NON-HISTORIC WINDOW.

**CONSTRUCTION KEYNOTES**

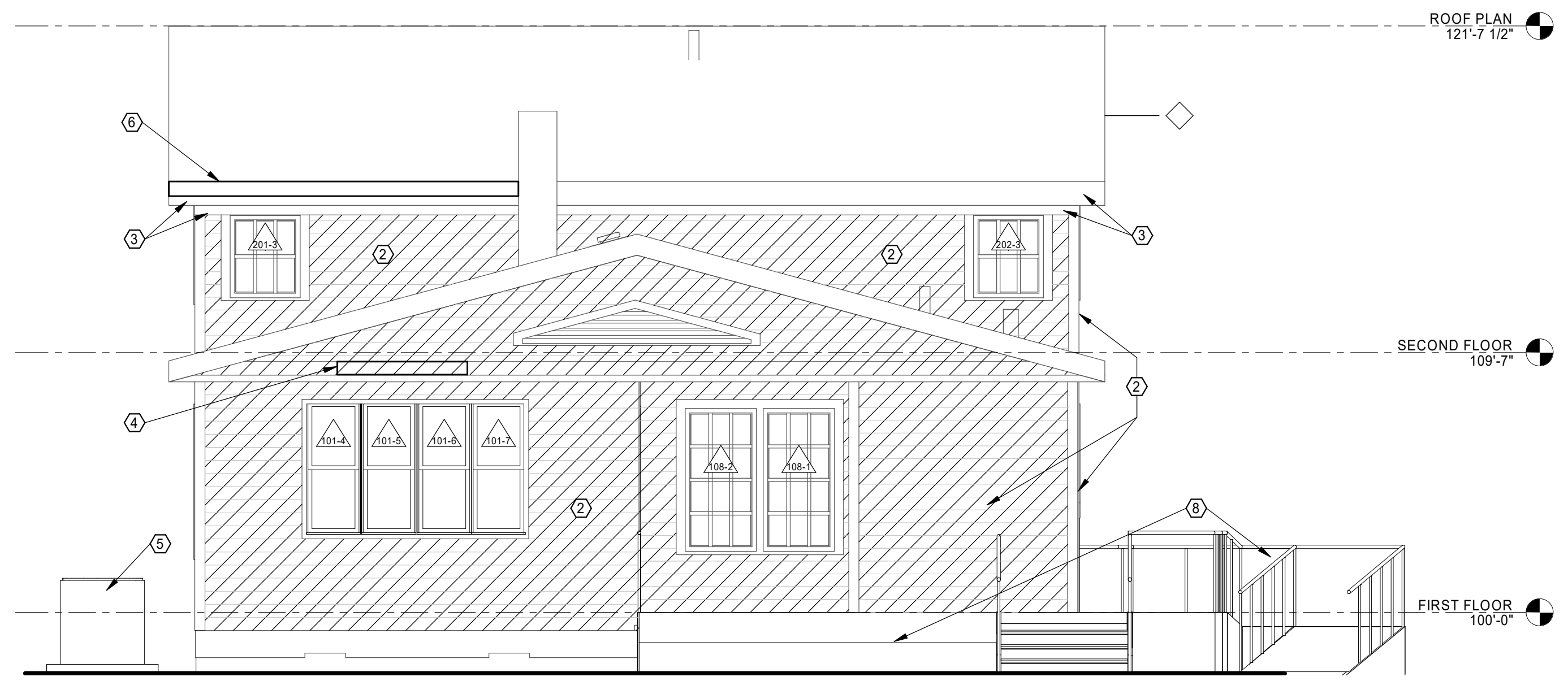
- 1 NEW WOOD FRAMED RAMP. COORDINATE WITH LANDSCAPE DRAWINGS. BOARD MATERIAL TO BE XXX AND FINISH COLOR XXX.
- 2 PAINT EXTERIOR SIDING AND VERTICAL TRIM. COLOR TO BE XXX. SEE SPEC SECTION 099113 FOR SURFACE PREPARATION.
- 3 PAINT FASCIA, MOLDING, SOFFIT AND DOOR TRIM. COLOR TO BE XXX. SEE SPEC SECTION 099113 FOR SURFACE PREPARATION.
- 4 REPLACE FASCIA BOARD WHERE ROTTED.
- 5 AC UNIT. COORDINATE LOCATION AND CONNECTIONS WITH MECHANICAL AND ELECTRICAL. SCREEN WITH PLANTINGS; SEE LANDSCAPE ARCHITECTURE DRAWINGS. GC TO PROVIDE CONCRETE PAD
- 6 REPLACE MOLDING WHERE ROTTED.
- 7 REPLACE EXISTING DETERIORATED STAIR, LANDING AND RAILING. REBUILD TO MATCH DIMENSIONS IN NEW CONDITION.
- 8 INSTALL RAMP, STAIR AND PORCH. REF CIVIL AND X/XXXX
- 9 TELECOM AND ELECTRICAL PENETRATION. REF ELECTRICAL.



**3 DEMO EXTERIOR ELEVATION - SOUTH**  
 A202 1/4" = 1'-0"



**4 DEMO EXTERIOR ELEVATION - EAST**  
 A202 1/4" = 1'-0"



**1 EXTERIOR ELEVATION - SOUTH**  
 A202 1/4" = 1'-0"



**2 EXTERIOR ELEVATION - EAST**  
 A202 1/4" = 1'-0"

CITY OF WAYZATA  
**SECTION FOREMAN HOUSE REHABILITATION**  
 NOT FOR CONSTRUCTION - PRELIMINARY DESIGN  
 © 2021 | ALL RIGHTS RESERVED  
 NOT FOR CONSTRUCTION  
 100% DD SUBMISSION  
 07.29.2022  
 PROJECT# | WAYZATA\_FORE  
 CHECKED BY | MUCHOW  
 DRAWN BY | MCCOY  
 REVISIONS  
 EXTERIOR ELEVATIONS - SOUTH & EAST  
**A202**

PLAN LEGEND

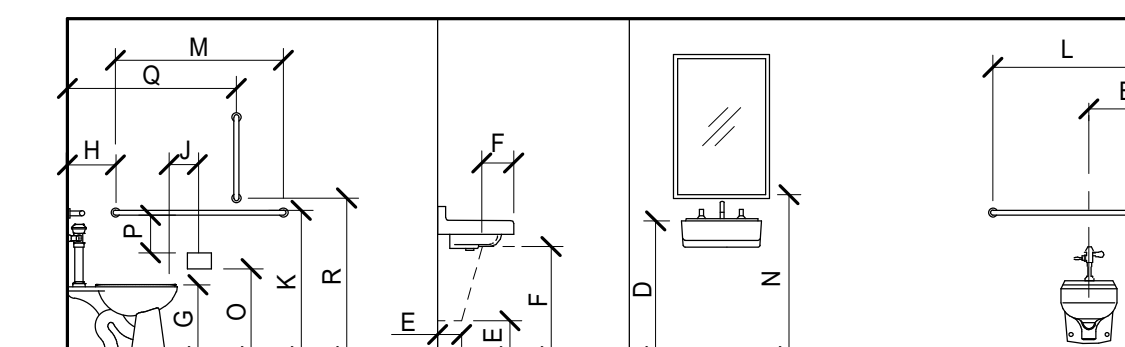
- ◊ ASSEMBLY TYPE (SEE ASSEMBLIES SHEET)
- XX ASSEMBLY MODIFIER, PER TYPE
- NAME ROOM NAME AND NUMBER
- △ WINDOW TYPE (SEE A600s)
- ⊗ KEYNOTE
- 101-1 DOOR NUMBER (SEE SHEET A601)
- ▨ SELF-ADHERING MEMBRANE (S.A.M.)
- ◻ AREA WITHIN 4'-0" OF NEW POST CENTERLINE
- DIRECTION OF VIEW, IF APPLICABLE
- 1 SIM DRAWING NUMBER
- A101 SHEET WHERE DRAWN
- DIMENSION TO FACE OF FRAMING
- DIMENSION TO GRID LINE
- DIMENSION TO CENTER LINE
- EXTERIOR WALL BELOW

GENERAL NOTES

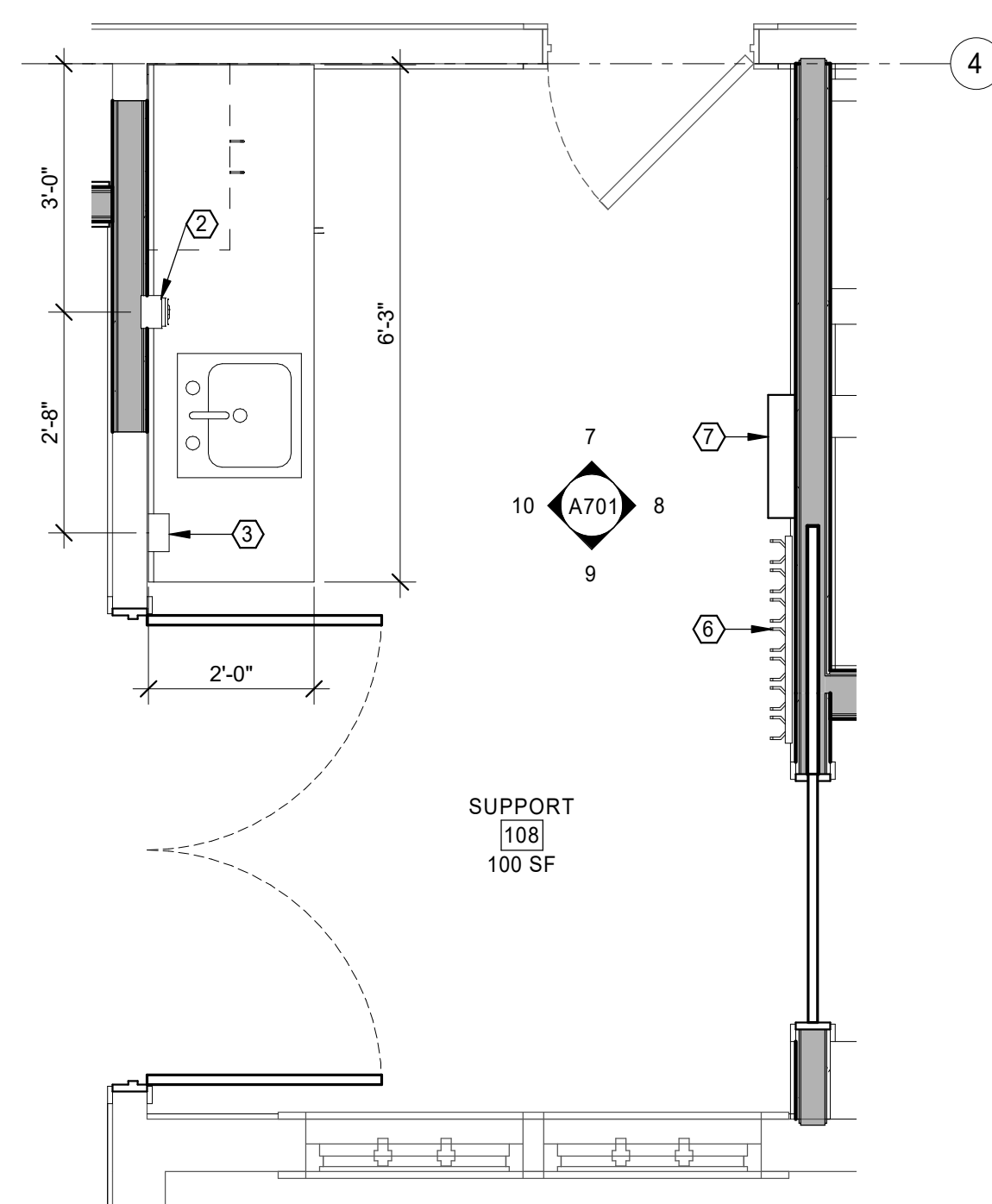
- A. SEE GENERAL PROJECT NOTES ON COVER SHEET.
- B. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
- C. SEE FLOOR PLAN FOR NOTES ON WINDOW REPAIR, WINDOW REPLACEMENT, DOOR REPLACEMENT AND ROOF REPLACEMENT.

KEYNOTES

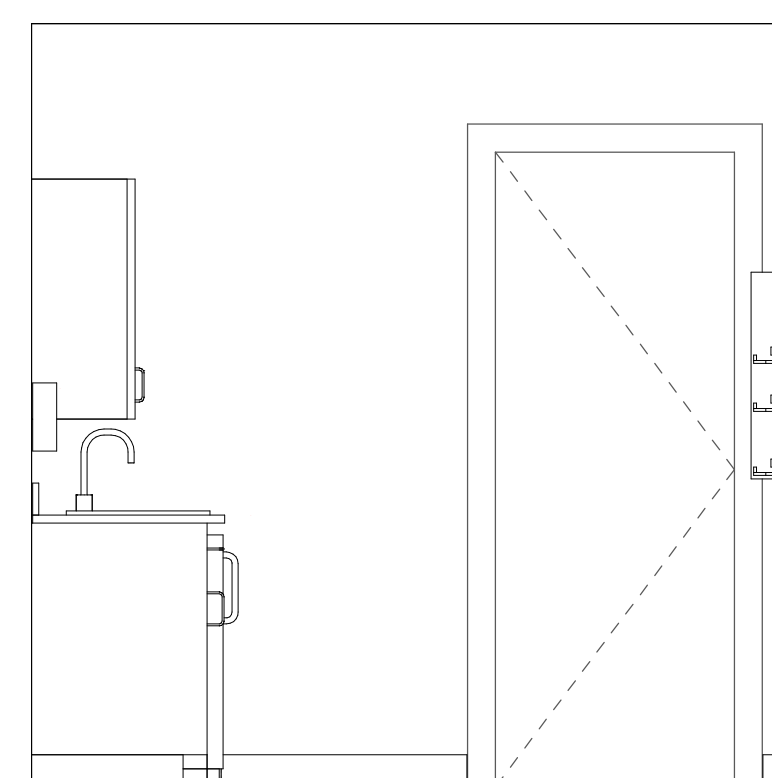
- 1 INSTALL WALL-MOUNTED MIRROR
- 2 INSTALL WALL-MOUNTED SOAP DISPENSER
- 3 INSTALL WALL-MOUNTED PAPER TOWEL DISPENSER
- 4 INSTALL WALL-MOUNTED TOILET PAPER DISPENSER
- 5 INSTALL WALL-MOUNTED BABY-CHANGING TABLE
- 6 INSTALL WALL-MOUNTED COAT RACK
- 7 INSTALL WATER BOTTLE FILLER
- 8 ART.



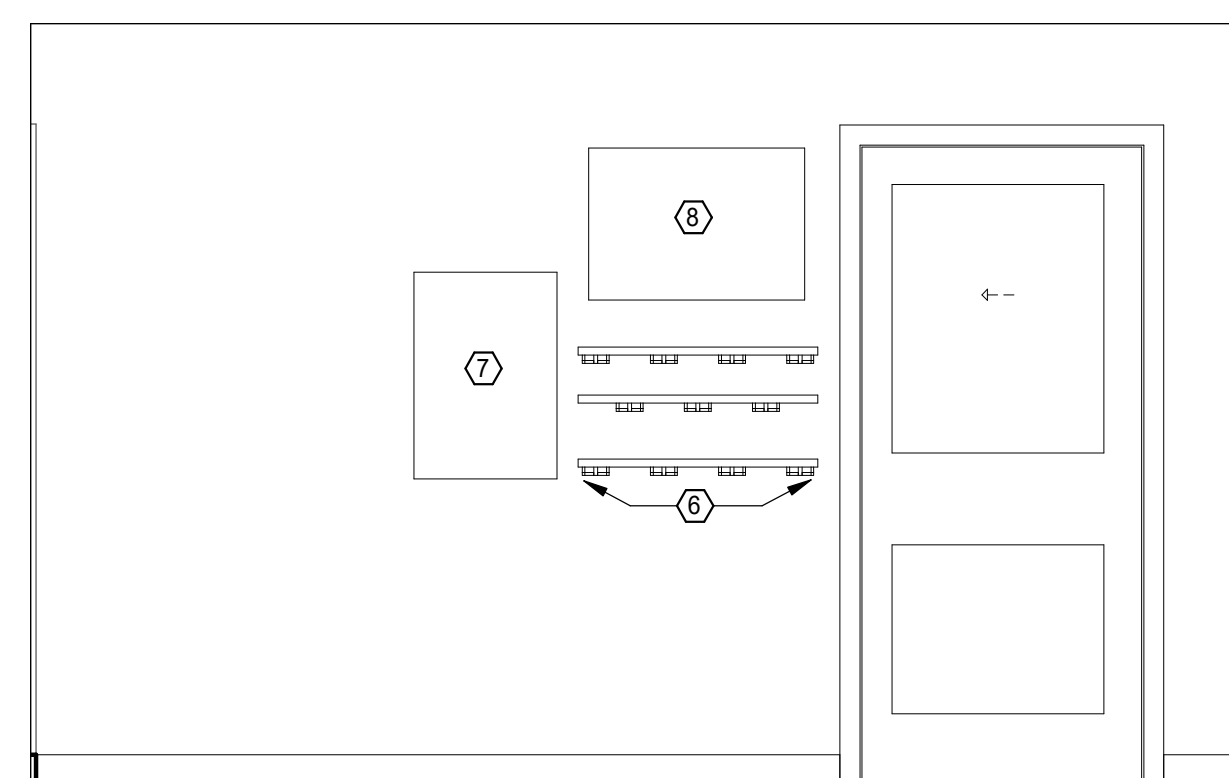
FIXTURE	DIM#	MOUNTING HEIGHT
GRAB BAR	A	6" TO CENTER FROM ADJACENT WALL
TOILET (ADA)	B	18" TO CENTER FROM ADJACENT WALL
SINK (ADA)	D	34" MAX TO SINK RIM ABOVE FINISH FLOOR
SINK (ADA)	E	9" HIGH X 8" DEEP TOE CLEARANCE
SINK (ADA)	F	27" MIN X 8" DEEP KNEE CLEARANCE
TOILET	G	14" TO TOP OF SEAT
TOILET (ADA)	G	17" - 19" TOP OF SEAT
GRAB BAR (ADA)	H	12" TO CENTER FROM ADJACENT WALL
TOILET PAPER HOLDER	J	7" - 9" TO CENTERLINE FROM TOILET
GRAB BAR	K	33" - 36" TO TOP A.F.F.
GRAB BAR	L	36" OUTSIDE TO OUTSIDE
GRAB BAR	M	42" OUTSIDE TO OUTSIDE
MIRROR	N	40" MAX TO BOT OF MIRROR SURFACE
TOILET PAPER HOLDER	O	19" MIN. TO CENTER ABOVE FINISH FLOOR
TOILET PAPER HOLDER	P	1 1/2" MIN. FROM BOTTOM OF GRAB BAR
18" VERTICAL GRAB BAR	Q	39" - 41" FROM WALL
18" VERTICAL GRAB BAR	R	39" - 41" FROM FLOOR



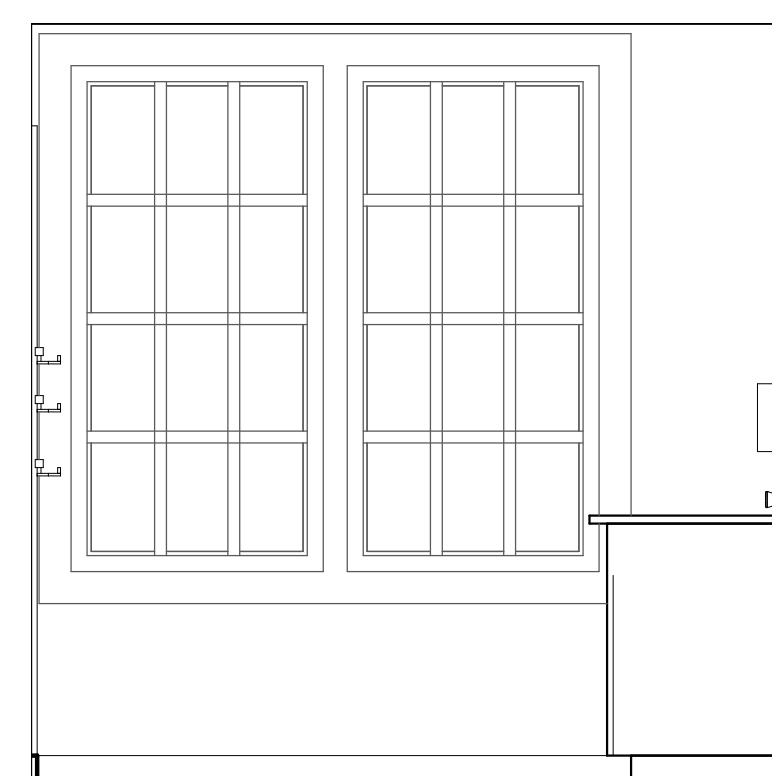
1 ENLARGED PLAN - SUPPORT  
A701 1/2" = 1'-0"  
NORTH REF



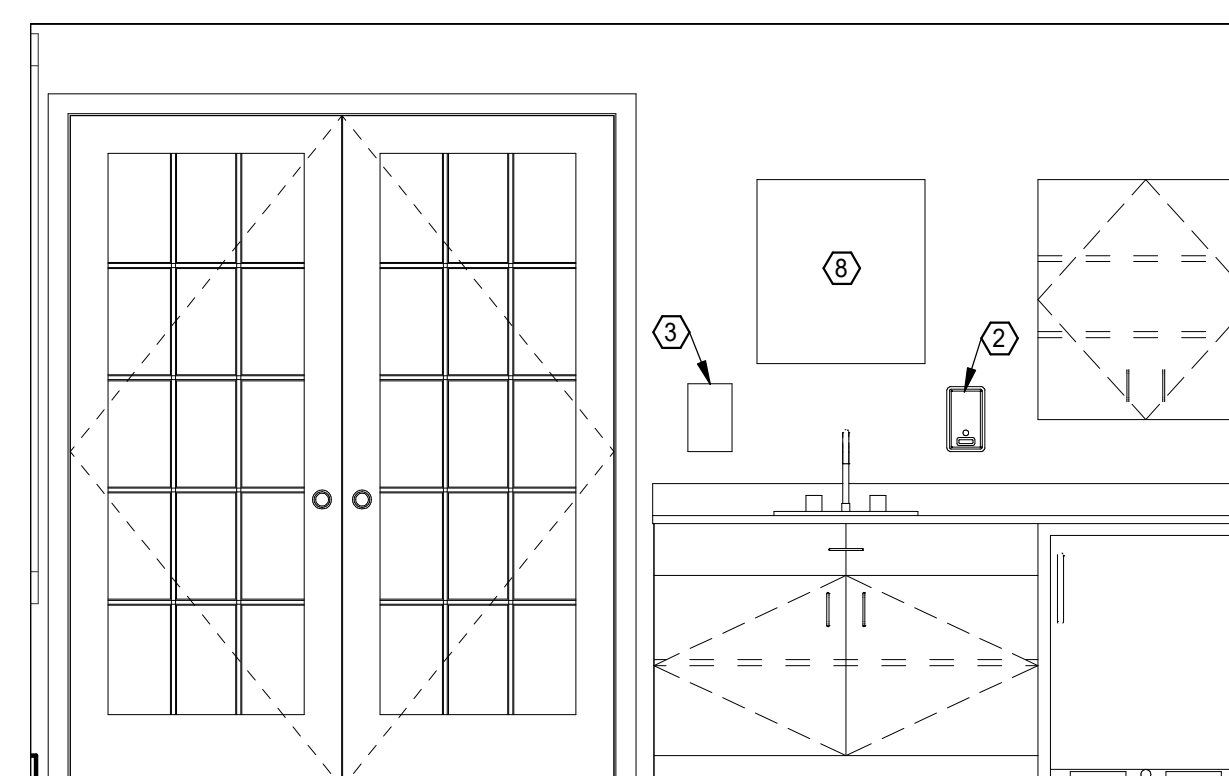
7 SUPPORT - NORTH ELEVATION  
A701 1/2" = 1'-0"



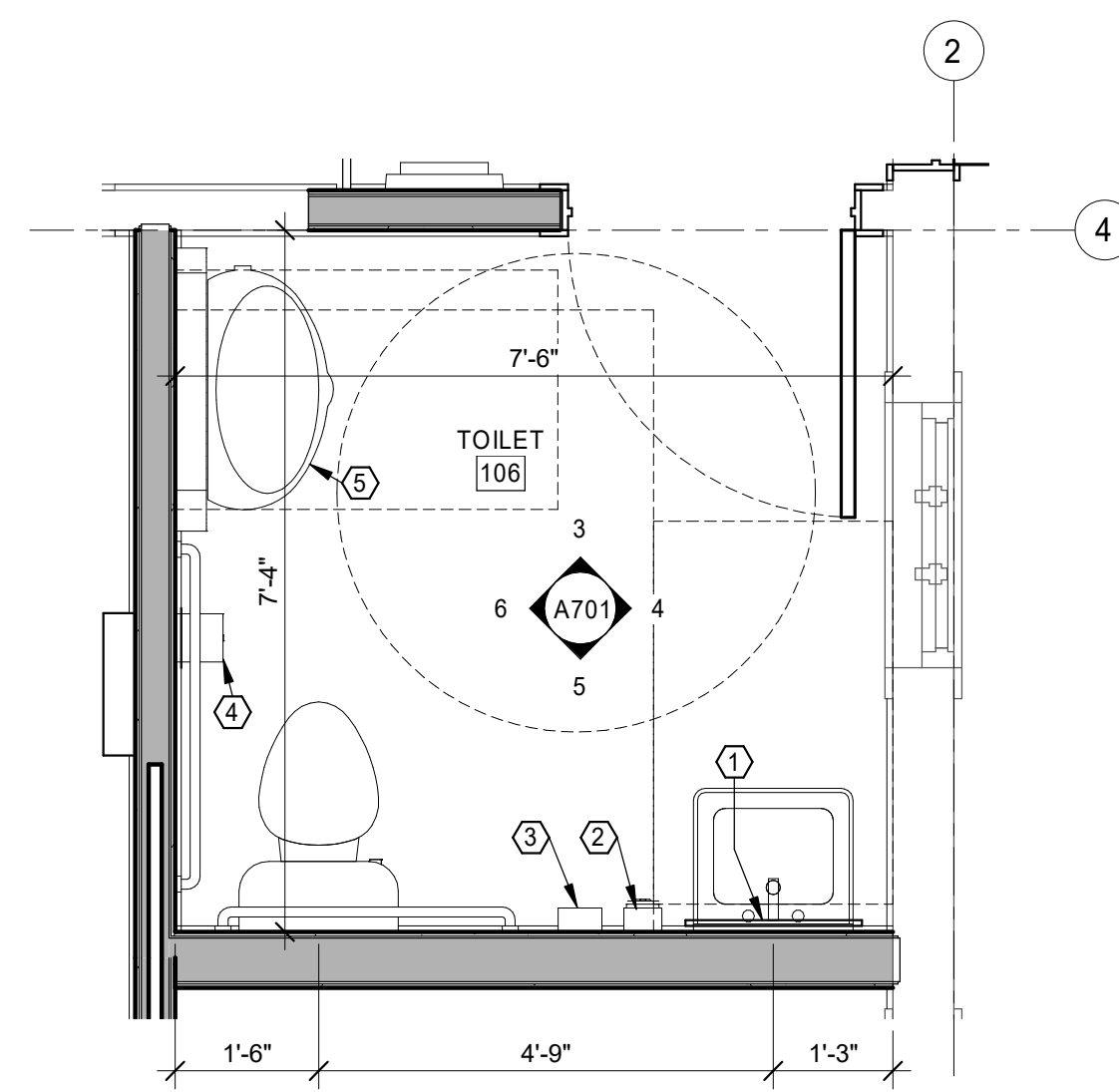
8 SUPPORT - EAST ELEVATION  
A701 1/2" = 1'-0"



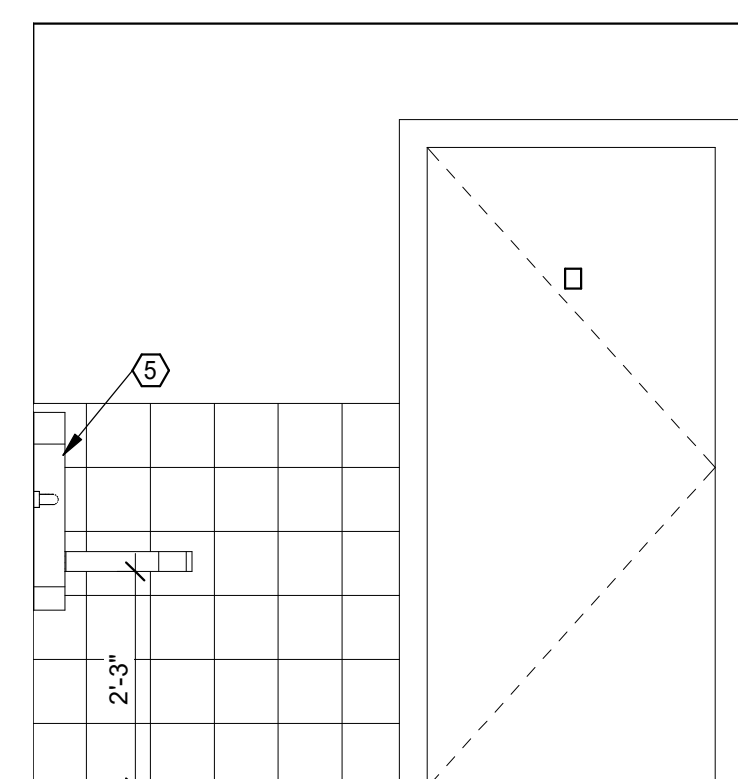
9 SUPPORT - SOUTH ELEVATION  
A701 1/2" = 1'-0"



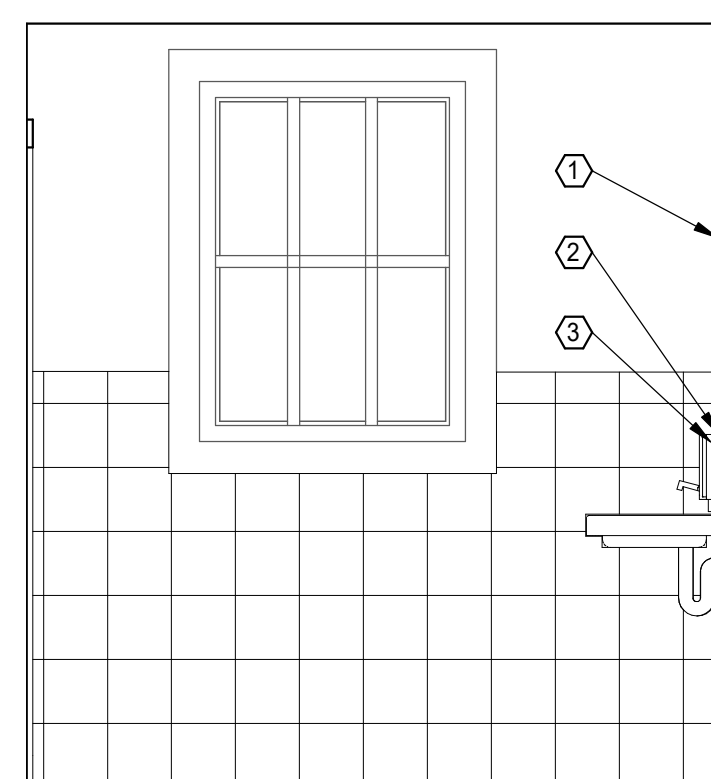
10 SUPPORT - WEST ELEVATION  
A701 1/2" = 1'-0"



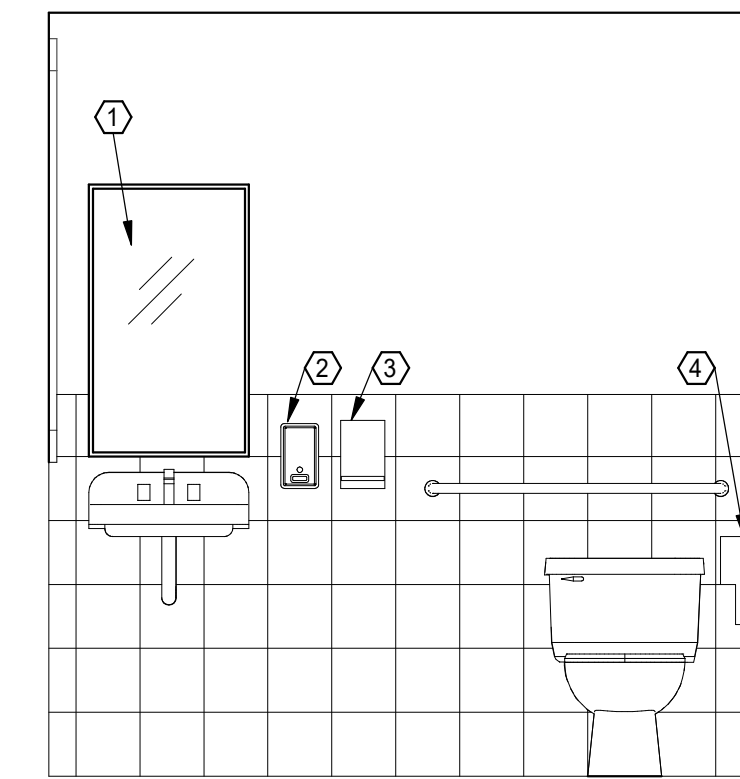
2 ENLARGED PLAN - TOILET  
A701 1/2" = 1'-0"  
NORTH REF



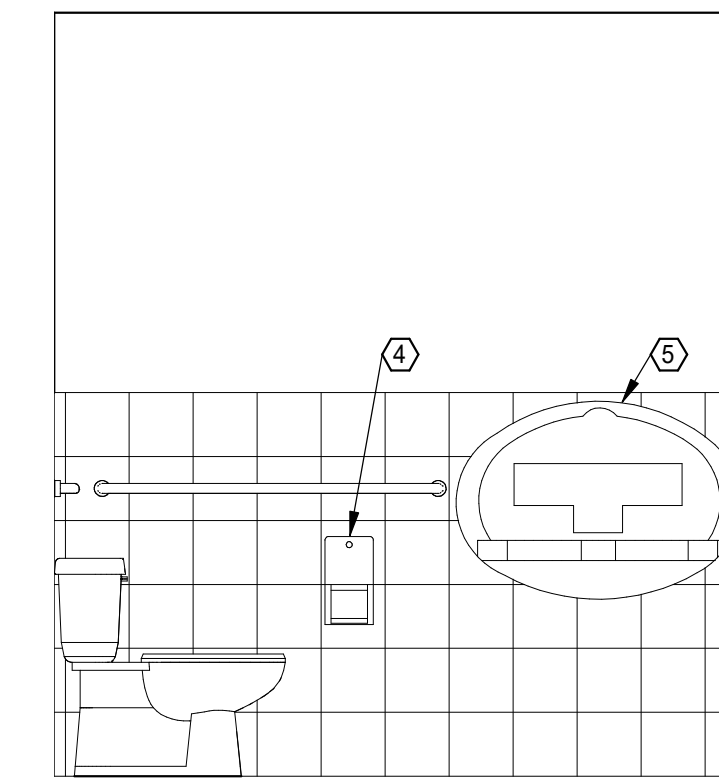
3 TOILET - NORTH ELEVATION  
A701 1/2" = 1'-0"



4 TOILET - EAST ELEVATION  
A701 1/2" = 1'-0"



5 TOILET - SOUTH ELEVATION  
A701 1/2" = 1'-0"



6 TOILET - WEST ELEVATION  
A701 1/2" = 1'-0"

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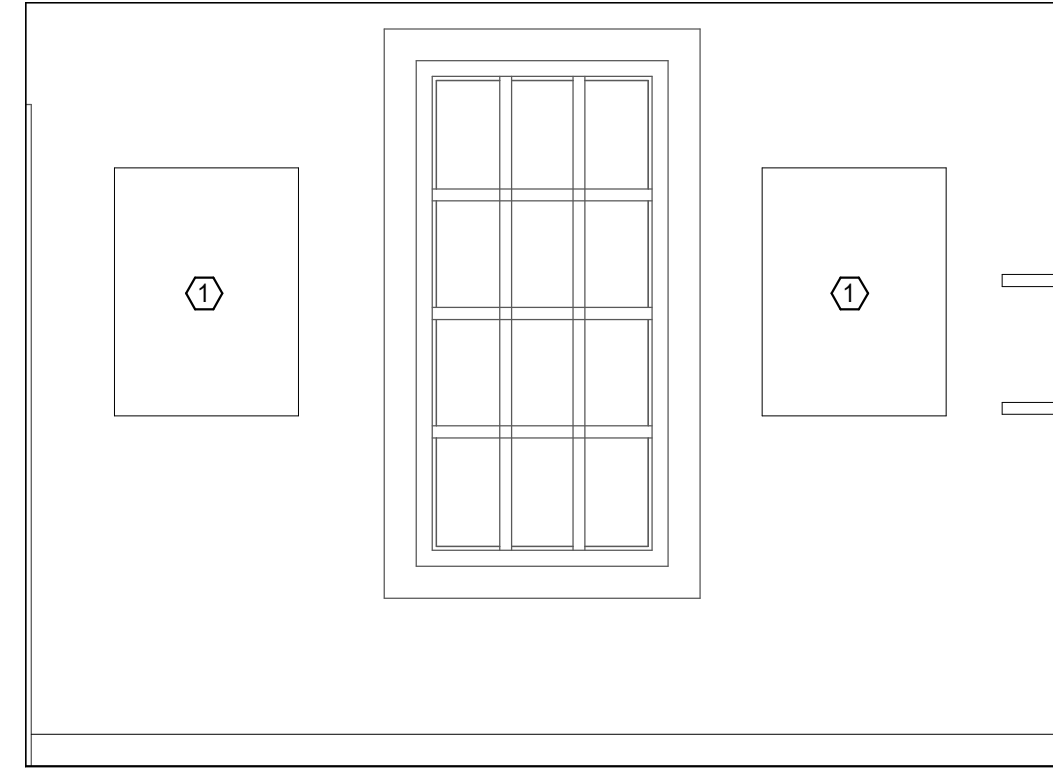
100% DD SUBMISSION  
07.29.2022  
PROJECT# | WAYZATA\_FORE  
CHECKED BY | MUCHOW  
DRAWN BY | MCCOY  
REVISIONS

ENLARGED PLANS AND ELEVATIONS

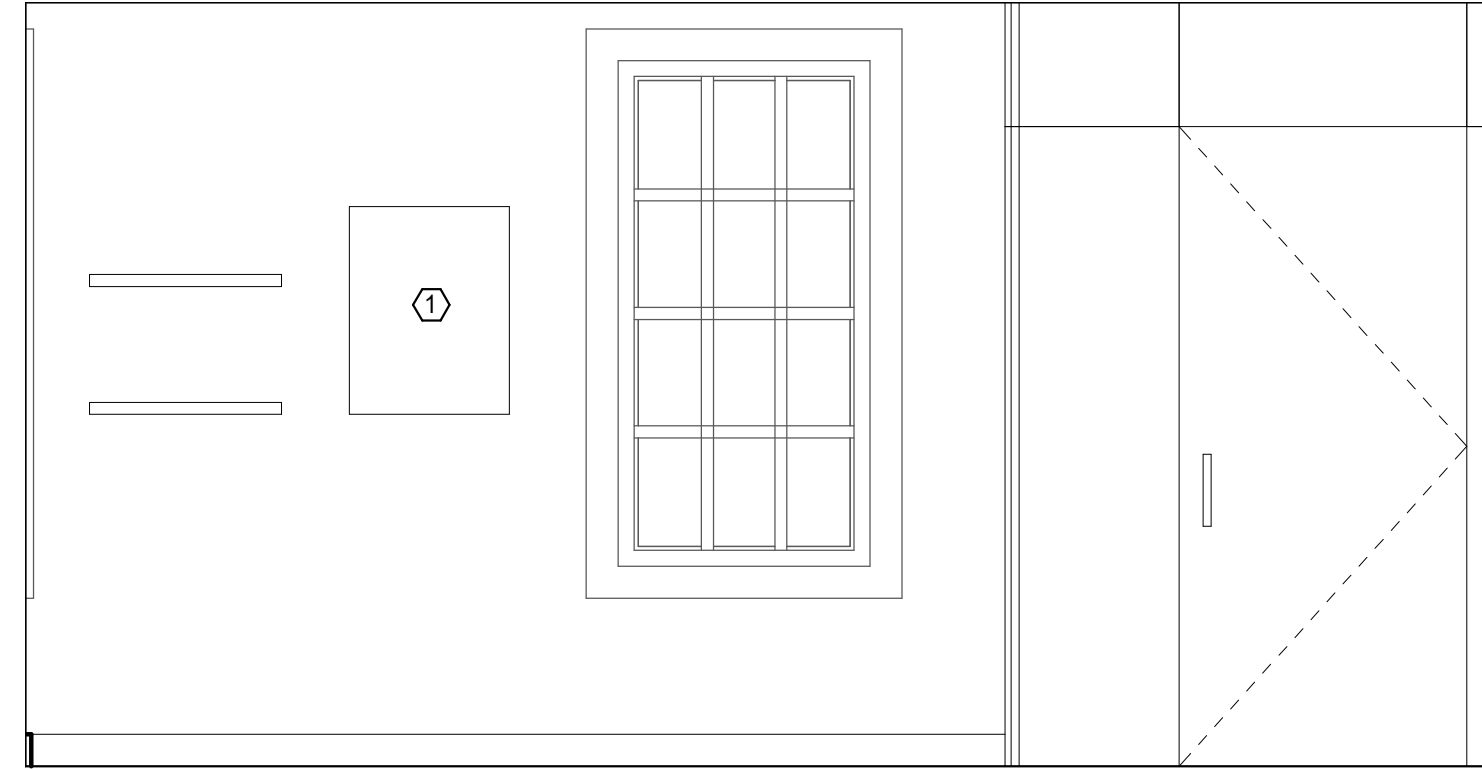
A701

# KEYNOTES

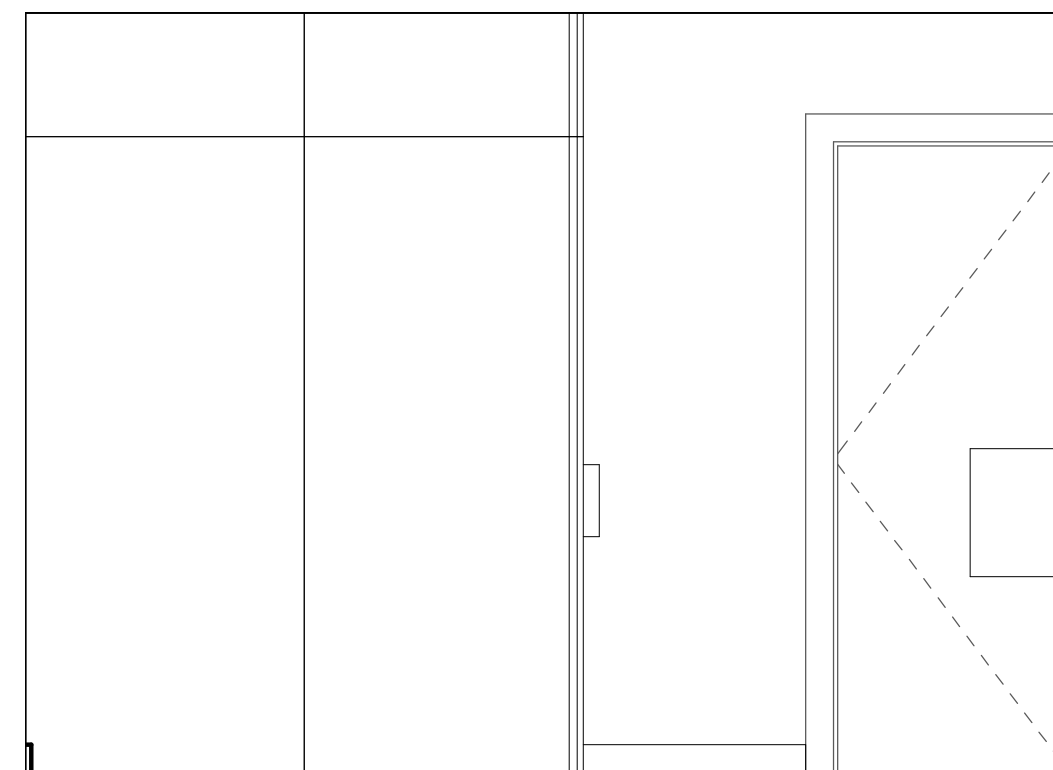
- 1 PHOTO FRAME.
- 2 WALL GRAPHIC.
- 3 EXPAND EXISTING WOOD CLEATS FOR THE TWO-TIERED SHELVING. PROVIDE NEW PAINTED WOOD SHELVES TO FIT LENGTH.



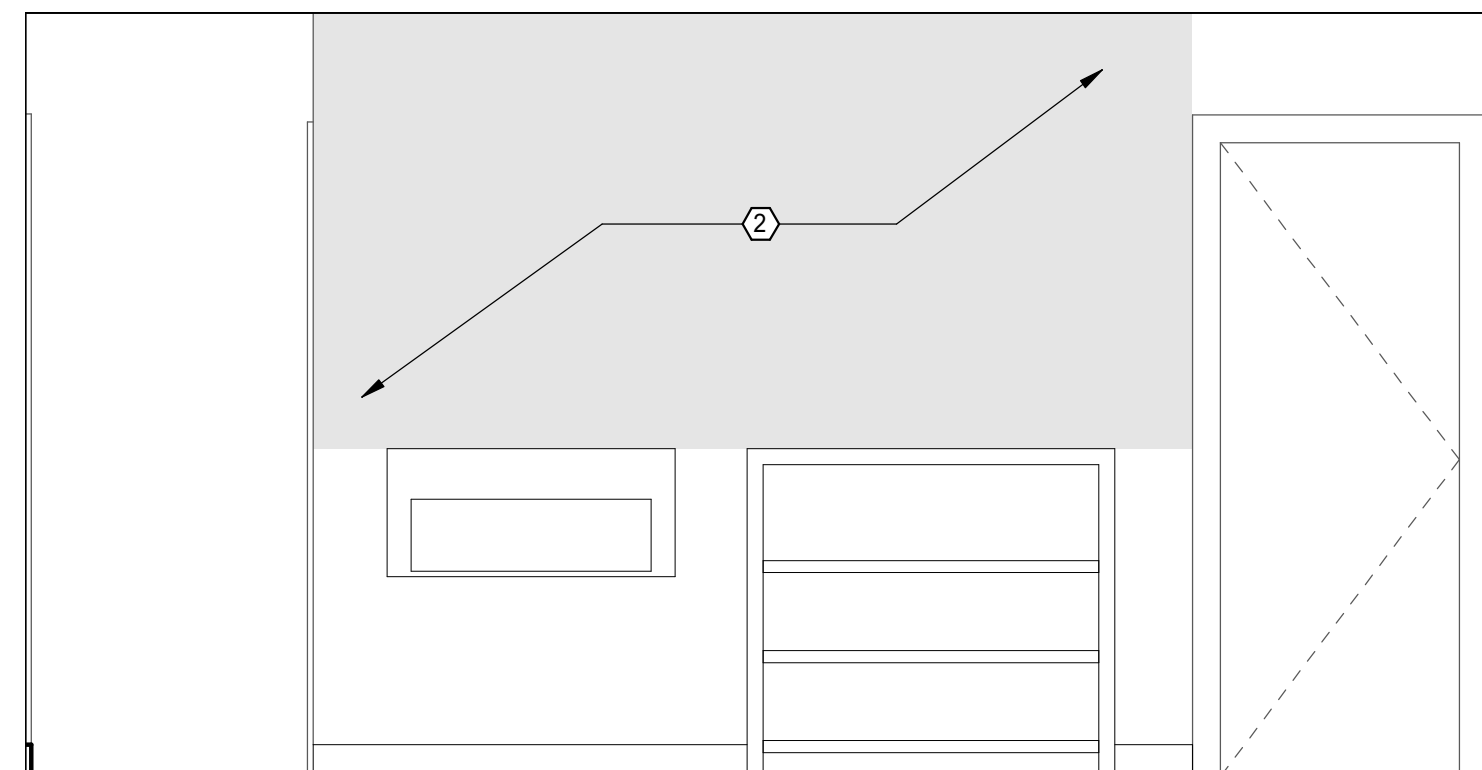
1 STUDY 104 - NORTH ELEVATION  
A802 1/2" = 1'-0"



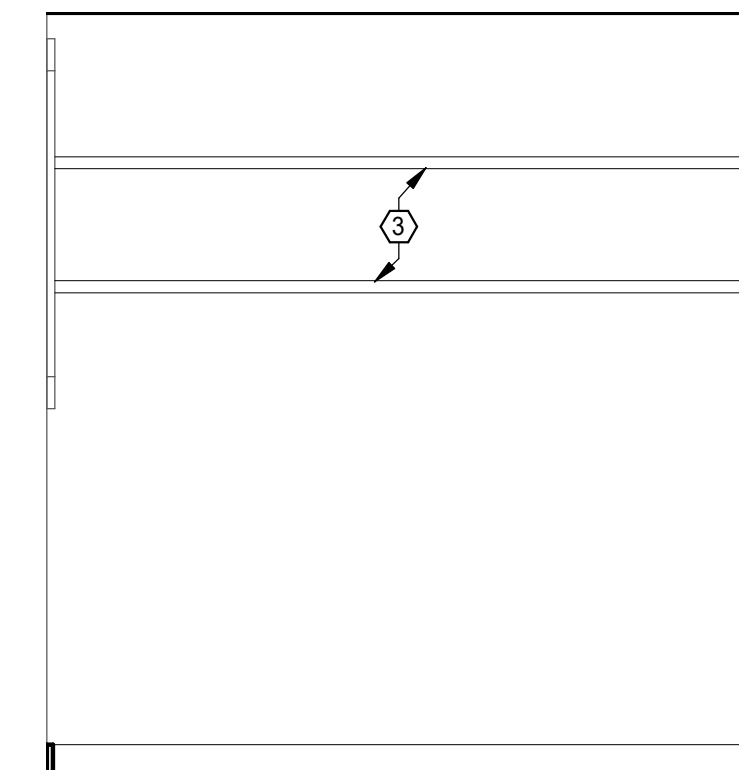
2 STUDY 104 - EAST ELEVATION  
A802 1/2" = 1'-0"



3 STUDY 104 - SOUTH ELEVATION  
A802 1/2" = 1'-0"



4 STUDY 104 - WEST ELEVATION  
A802 1/2" = 1'-0"

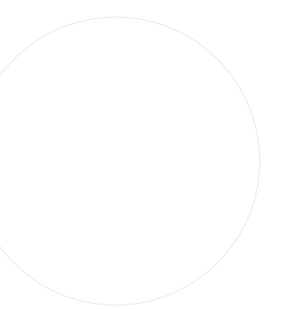


5 STORAGE 107 - SOUTH ELEVATION  
A802 1/2" = 1'-0"

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CITY OF WAYZATA

SECTION FOREMAN HOUSE REHABILITATION



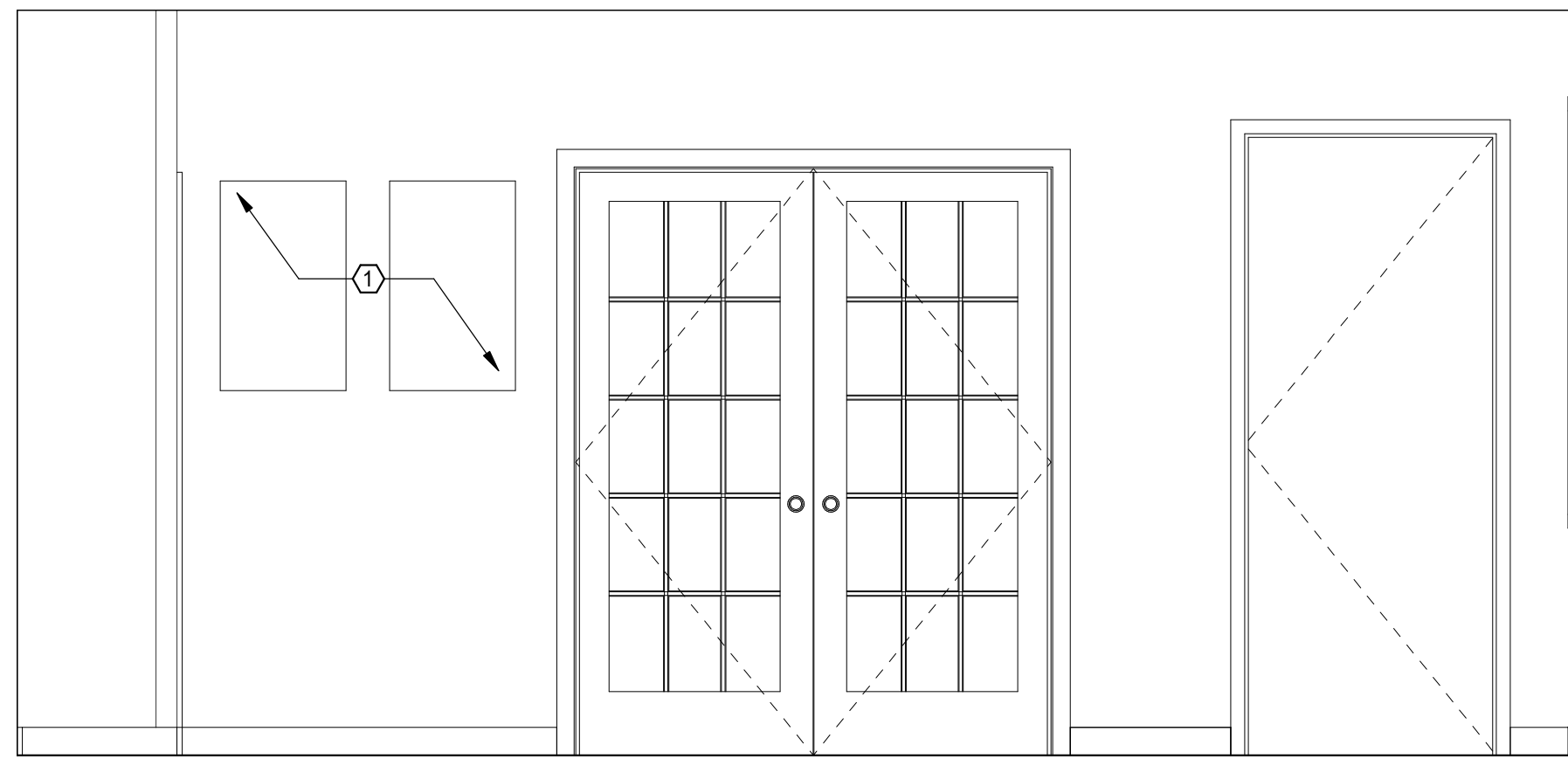
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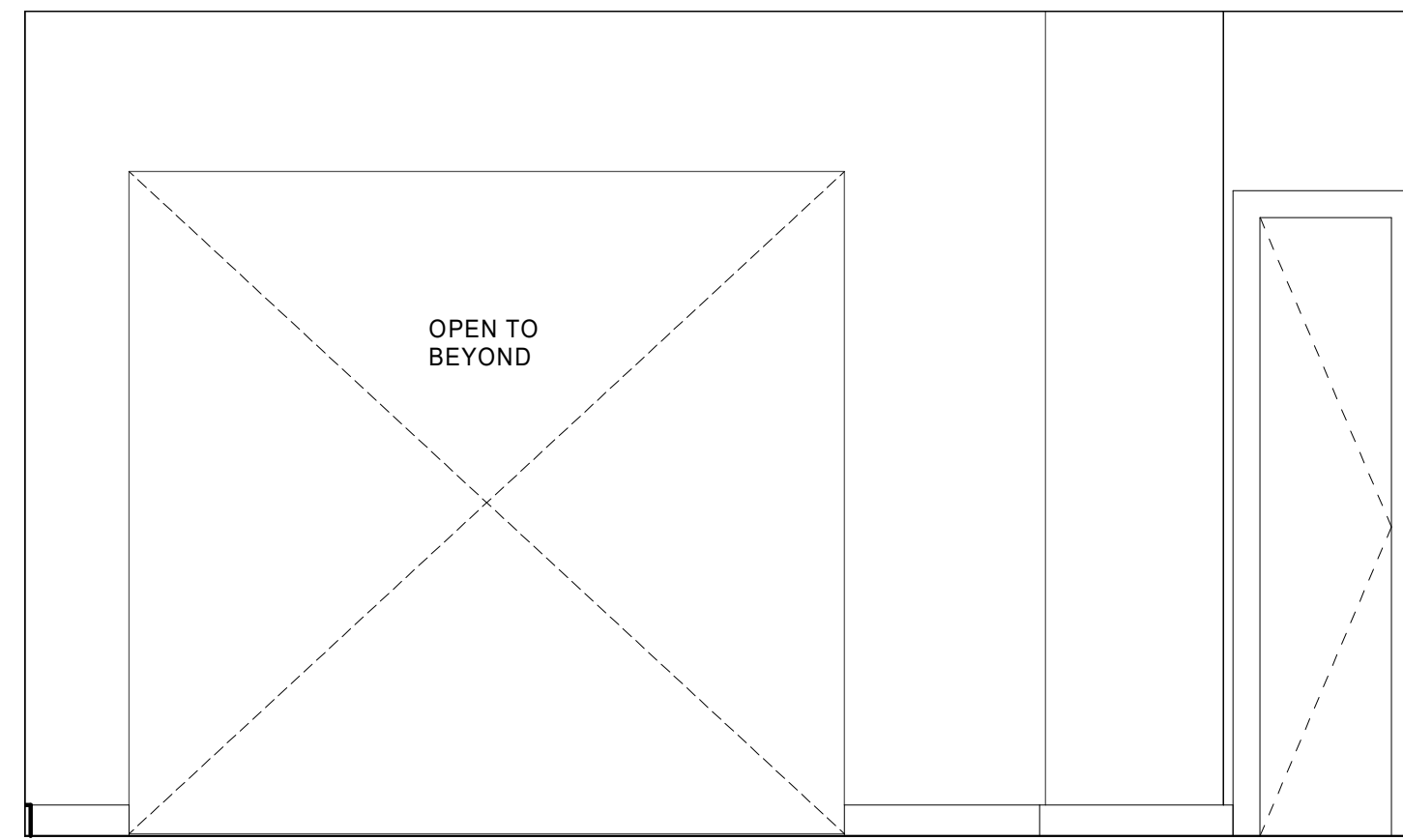
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INTERIOR ELEVATIONS

A802



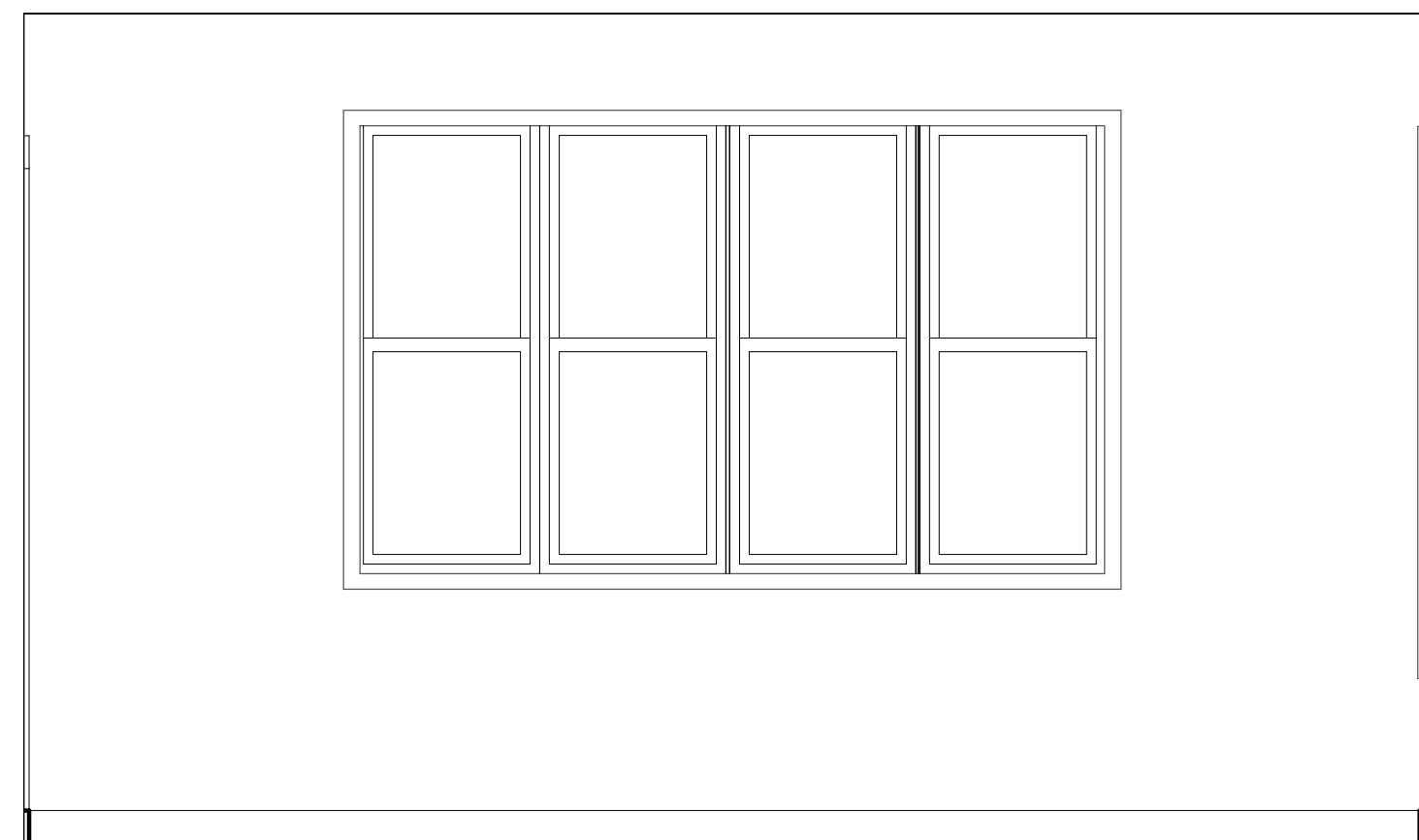
1 COLLAB LEARNING 101 - EAST ELEVATION  
A803 1/2" = 1'-0"



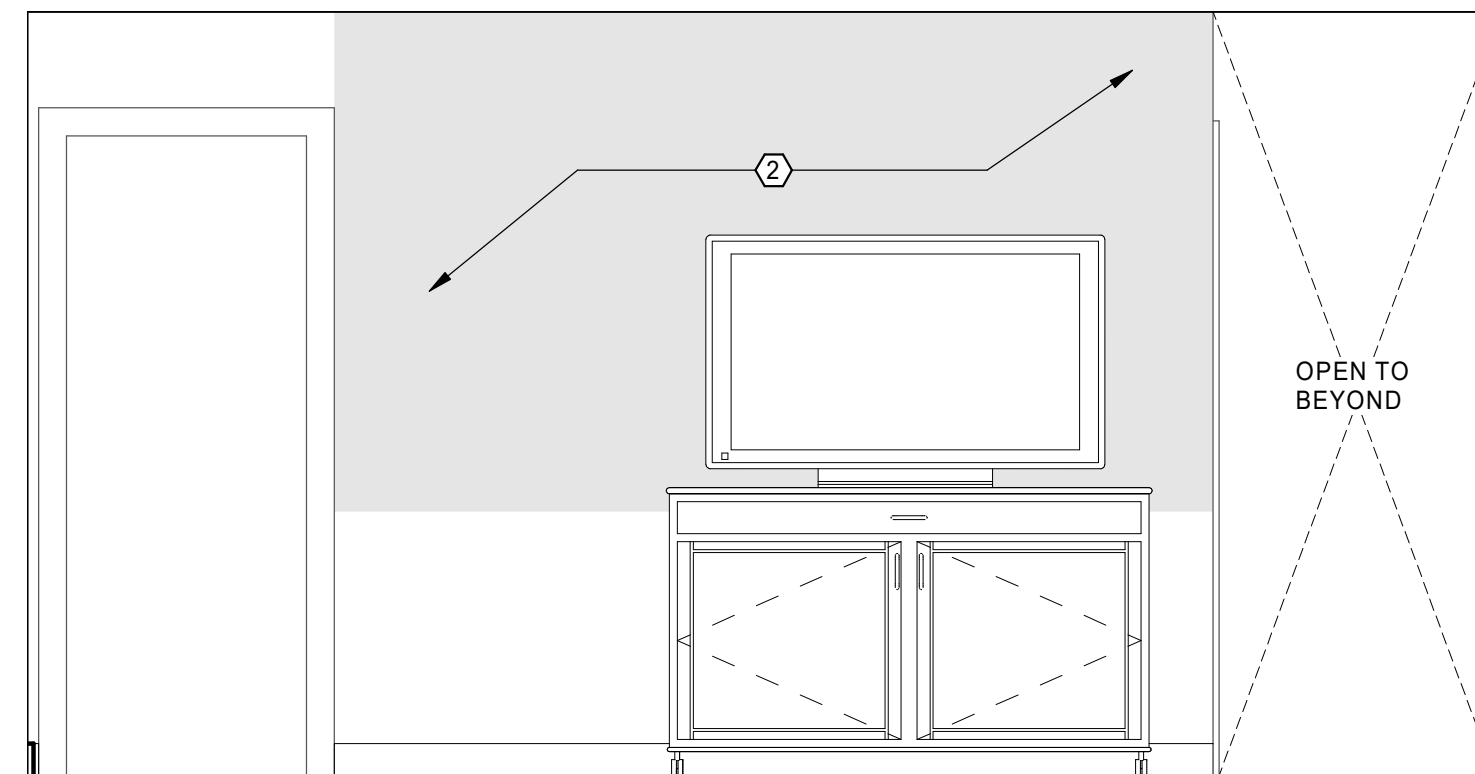
2 COLLAB LEARNING 101 - NORTH ELEVATION  
A803 1/2" = 1'-0"

# KEYNOTES

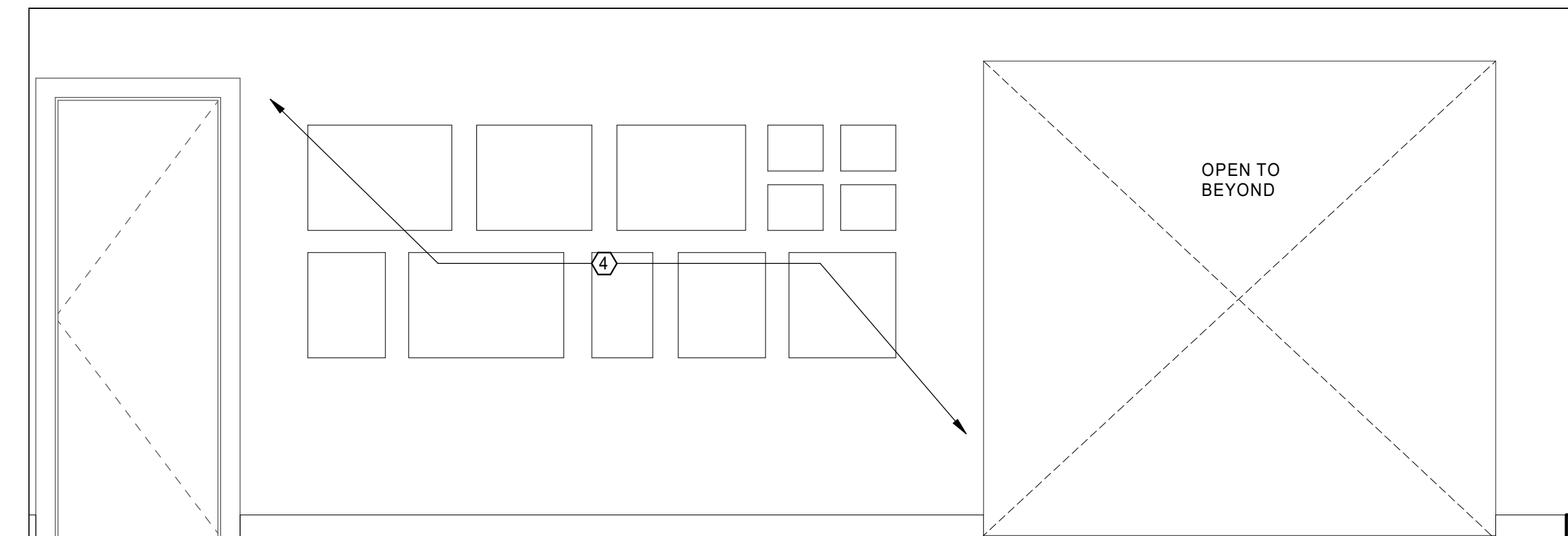
- 1 PHOTO FRAME.
- 2 WALL GRAPHIC.
- 3 ART.
- 4 REPLACE DRYWALL. PROVIDE BLOCKING AS REQUIRED TO SUPPORT DISPLAYS.



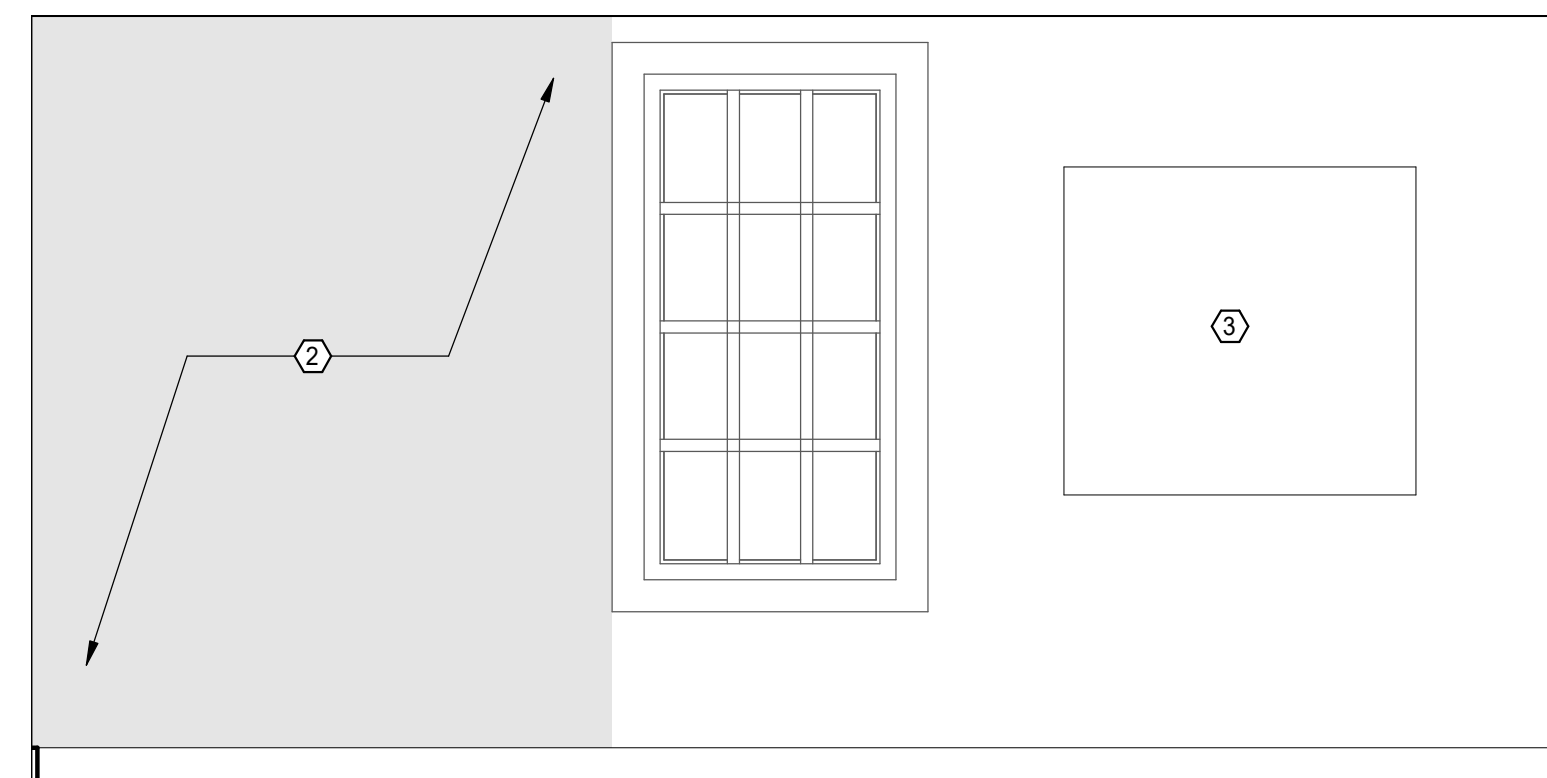
3 COLLAB LEARNING 101 - SOUTH ELEVATION  
A803 1/2" = 1'-0"



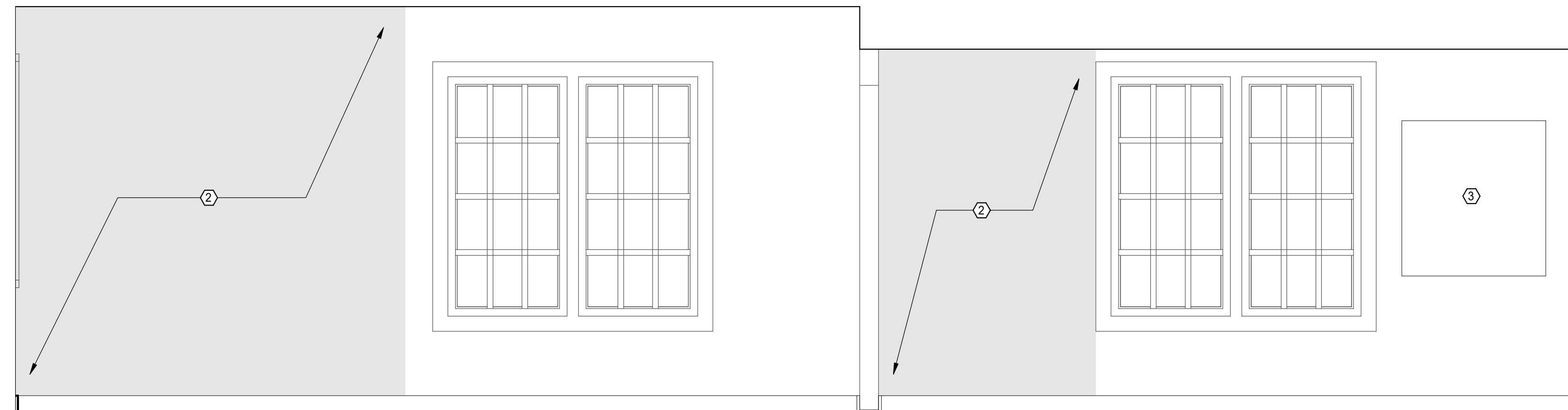
4 COLLAB LEARNING 102 - EAST ELEVATION  
A803 1/2" = 1'-0"



6 COLLAB LEARNING 102 - SOUTH ELEVATION  
A803 1/2" = 1'-0"



5 COLLAB LEARNING 102 - NORTH ELEVATION  
A803 1/2" = 1'-0"



7 COLLABORATIVE LEARNING 101 & 102 - WEST ELEVATION  
A803 1/2" = 1'-0"

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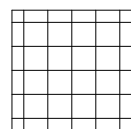
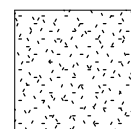
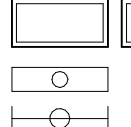
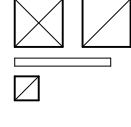
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INTERIOR ELEVATIONS

**A803**

**REFLECTED CEILING LEGEND**

CEILING MATERIAL	ACT	CEILING MATERIAL
CEILING HEIGHT	06'00 00/00"	ACT1 1X1 ACOUSTICAL TILE
ADDITIONAL NOTES	NOTES	GYP GYPSUM BOARD - PAINT
 1X1 ACOUSTICAL CEILING	 GYPSUM BOARD CEILING - PAINT	CEILING HEIGHT
 LIGHTING - SEE ELECTRICAL	 HVAC REGISTERS - SEE MECHANICAL	VAR VARIES
		ADDITIONAL NOTES
		1. NOT USED.
		2. NOT USED.

**GENERAL NOTES**

- A. SEE GENERAL PROJECT NOTES ON COVER SHEET.
- B. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
- C. SEE FLOOR PLAN FOR NOTES ON WINDOW REPAIR, WINDOW REPLACEMENT, DOOR REPLACEMENT AND ROOF REPLACEMENT.

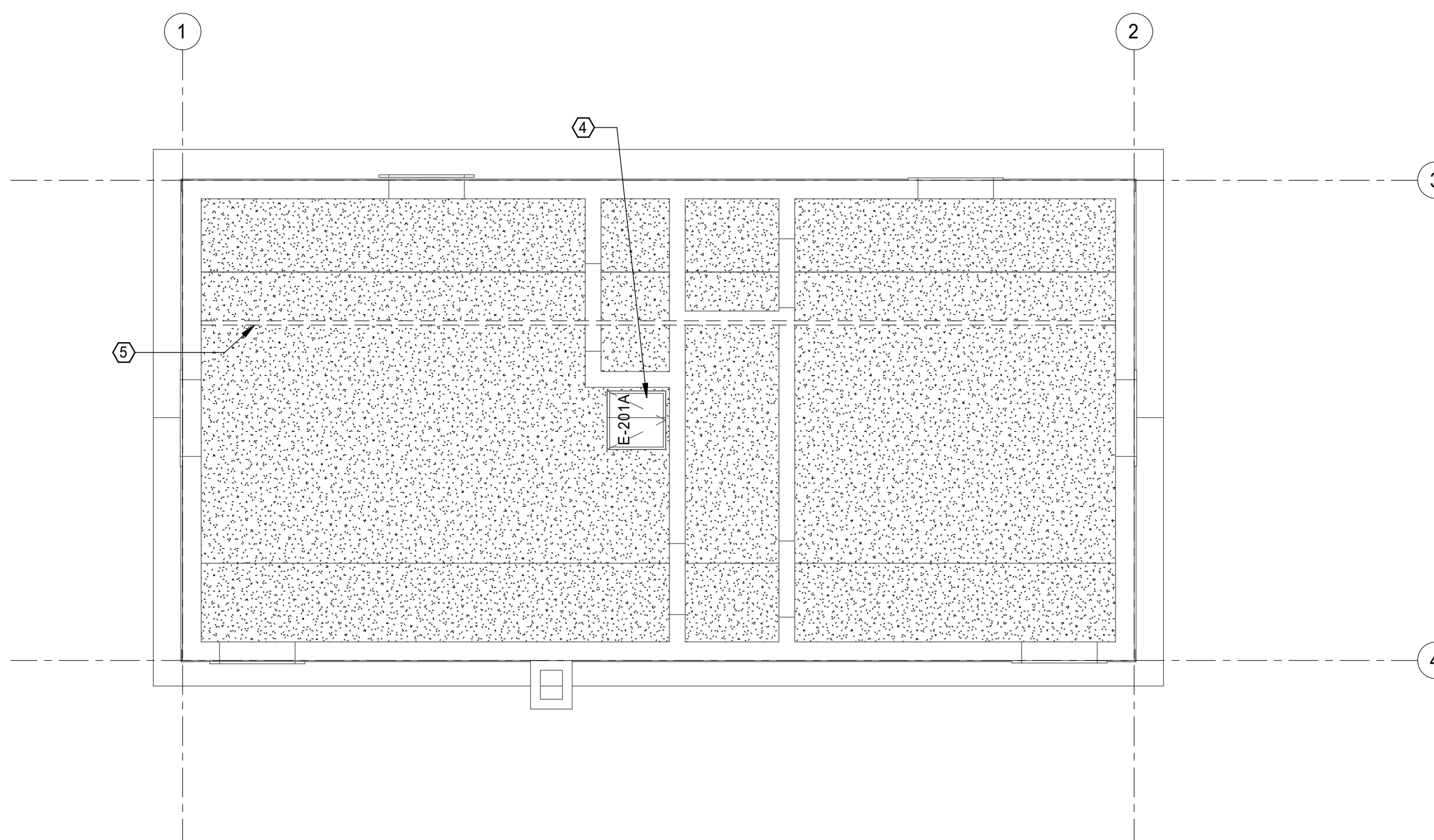
ADDITIONS TO EXISTING BUILDING SYSTEMS WILL BE CONCEALED WITHIN EXISTING STRUCTURE TO THE GREATEST EXTENT POSSIBLE. WHERE REQUIRED, SOFFITS OR OTHER NEW BUILDING ELEMENTS WILL BE A MINIMAL SIZE AND LOCATED AT THE PERIPHERY OF ROOMS ACCESSIBLE TO THE PUBLIC.

**DEMOLITION KEYNOTES**

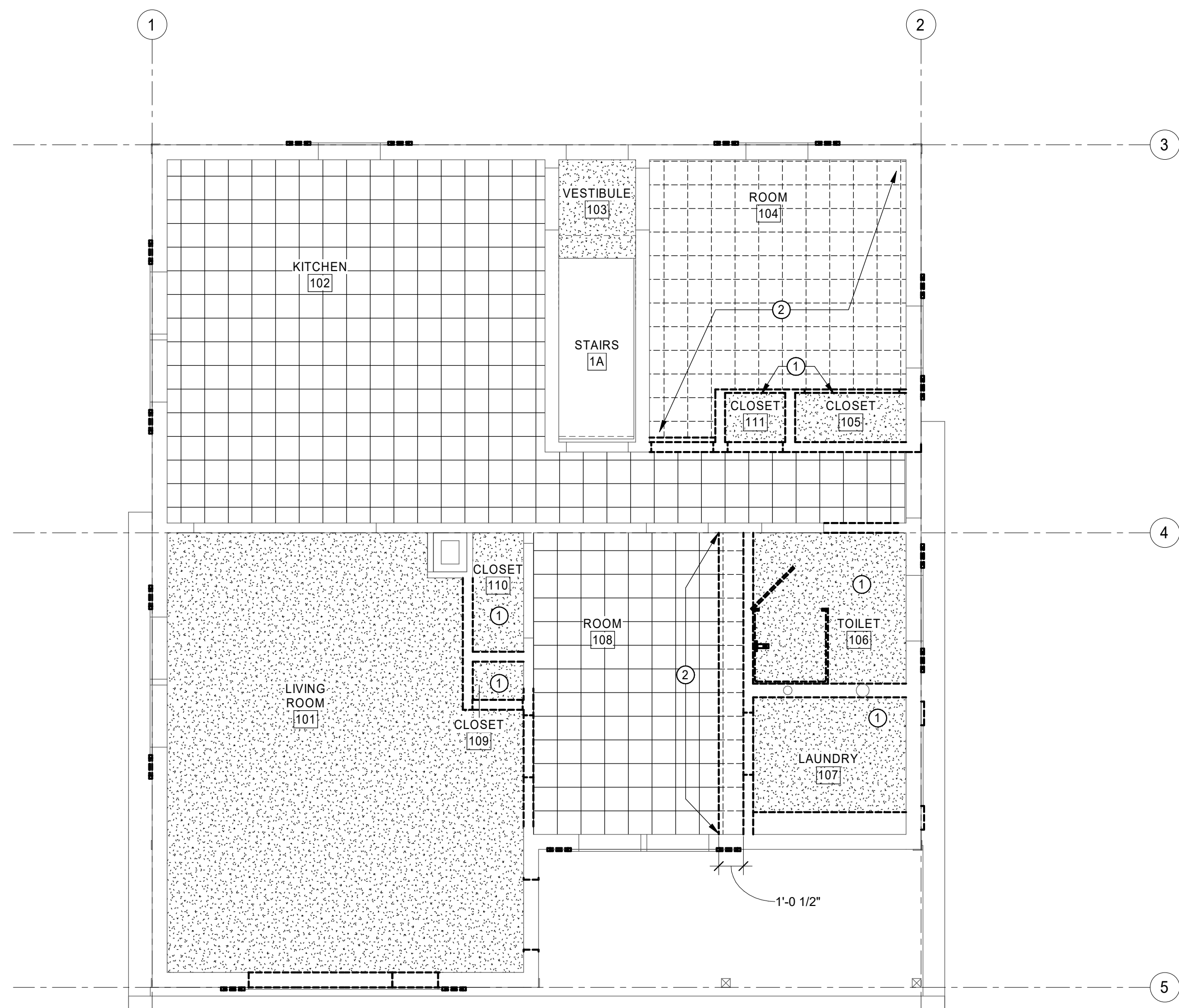
- 1 REMOVE EXISTING GYP CEILING.
- 2 REMOVE EXISTING ACOUSTIC TILE CEILING.

**CONSTRUCTION KEYNOTES**

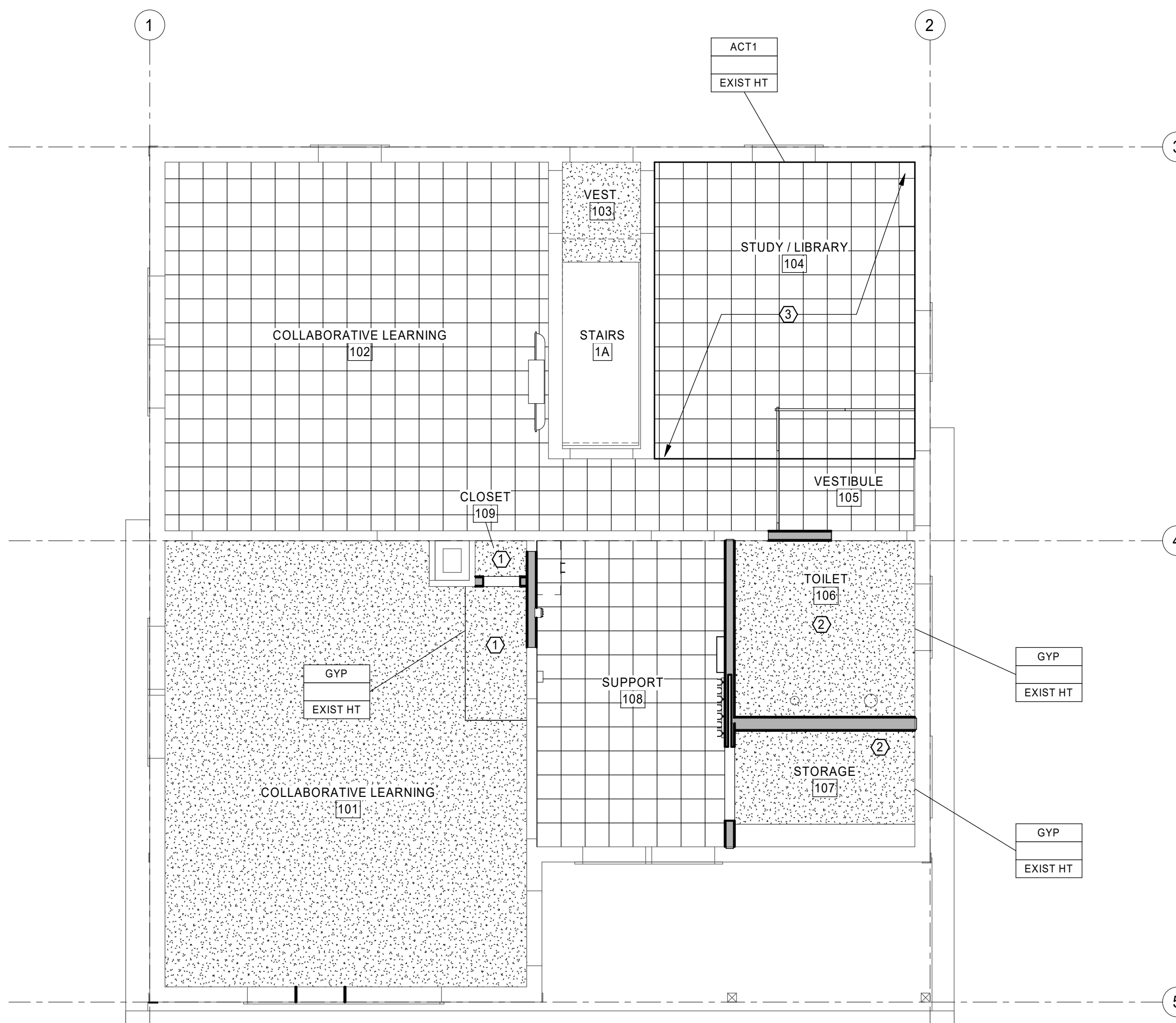
- 1 INSTALL GYP CEILING TO MATCH ADJACENT EXISTING CONDITION.
- 2 INSTALL GYP CEILING TO MATCH PREVIOUS EXISTING CONDITION.
- 3 INSTALL ACOUSTIC TILE CEILING TO MATCH ADJACENT EXISTING CONDITION. ALIGN WITH ADJACENT HEIGHT AND GRID LINES.
- 4 ATTIC HATCH. SEE DOOR SCHEDULE.
- 5 SPRINKLER PIPING ABOVE PAINTED TO MATCH CEILING. REF FIRE PROTECTION



**4 REFLECTED CEILING PLAN - SECOND FLOOR**  
A901 1/4" = 1'-0"



**2 DEMOLITION REFLECTED CEILING PLAN - FIRST FLOOR**  
A901 1/4" = 1'-0"



**1 REFLECTED CEILING PLAN - FIRST FLOOR**  
A901 1/4" = 1'-0"



**GENERAL NOTES**

- A. DESIGN AND INSTALLATION SHALL CONFORM TO NFPA 13, 2016 EDITION, LOCAL FIRE AND BUILDING DEPARTMENTS.
- B. THE SPRINKLER SYSTEM SHOWN IS CONCEPTUAL ONLY. THE CONTRACTOR SHALL PROVIDE A COMPLETE SPRINKLER SYSTEM SHOWING ALL REQUIRED PIPING, OFFSETS, SPRINKLERS, RISERS AND DROPS.
- C. CONTRACTOR SHALL SECURE ALL PERMITS AND PAY ALL FEES REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION AND BUILDING DEPARTMENTS.
- D. PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE FIRE PROTECTION SYSTEMS AS INDICATED ON THE DRAWINGS, AS SPECIFIED AND COMPLYING WITH THE STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION, INDUSTRIAL RISK INSURERS, FACTORY MUTUAL, AND ALL STATE AND LOCAL REGULATIONS.
- E. APPROVAL OF THE COMPLETE SYSTEM SHALL BE OBTAINED FROM THE AUTHORITIES HAVING JURISDICTION, AND A COPY OF SAME SHALL BE DELIVERED TO THE OWNER'S REPRESENTATIVE FOR DELIVERY TO THE OWNER.
- F. RESTORE ALL DEVICES, FINISHES, ETC. DAMAGED OR ALTERED DURING CONSTRUCTION TO AN ACCEPTABLE CONDITION AS DETERMINED BY THE OWNER, ARCHITECT AND/OR ENGINEER.
- G. CONTRACTOR SHALL SCHEDULE ALL SHUTDOWNS THAT AFFECT UTILITIES AND PORTIONS OF THE BUILDING THAT MUST REMAIN IN OPERATION WITH THE OWNER.
- H. PROVIDE AND INSTALL SPRINKLERS OF THE PROPER TEMPERATURE RATING AND TYPE PER NFPA 13.
- I. PROVIDE AND INSTALL VALVES OF THE PROPER TYPE, UL LISTED, AND PRESSURE RATING PER NFPA 13.
- J. PROVIDE AND INSTALL SPARE SPRINKLERS, WRENCH AND CABINET PER NFPA 13.
- K. COORDINATE INSTALLATION OF ALL ELECTRICALLY SUPERVISED VALVES, HORN/STROBE, ETC. WITH THE ELECTRICAL CONTRACTOR.
- L. PROVIDE AND INSTALL A HYDRAULIC PLACARD WITH THE HYDRAULIC DESIGN DATA FOR EACH ZONE RISER OR SYSTEM CALCULATED.
- M. PROVIDE AND INSTALL A SIGN WITH RAISED LETTERS FOR THE FDC PER NFPA 13.
- N. PROVIDE AND INSTALL AUX DRAINS AND VALVES AS REQUIRED FOR PROPER DRAINING OF THE SYSTEM.
- O. COORDINATE SPRINKLERS AND PIPING LOCATIONS WITH DUCTWORK, PIPING, LIGHTING FIXTURES, DIFFUSERS, ETC. AS REQUIRED.
- P. ISOLATE, DRAIN AND REFILL EXISTING PIPING SYSTEM AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW WORK.
- Q. HANGER INSTALLATION AND SPACING SHALL BE IN ACCORDANCE WITH NFPA 13.
- R. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORING AND DRILLING AS REQUIRED.
- S. THE CONTRACTOR SHALL SUBMIT SIZE AND LOCATION OF ALL BEAM PENETRATIONS TO THE STRUCTURAL ENGINEER FOR REVIEW AND DETAIL.
- T. WHERE PIPING PASSES THROUGH FIRE RATED FLOORS OR WALLS, SLEEVES SHALL BE COMPLETELY SEALED WITH A FIRE STOP MATERIAL THAT IS UL LISTED AND ACCEPTED BY THE BUILDING DEPARTMENT AND FIRE DEPARTMENT. THIS MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURER TO MAINTAIN THE FIRE RATING OF THE PENETRATED WALL OR FLOOR.
- U. SLEEVES THROUGH WALL AND FLOOR SHALL BE SCH 10 GALVANIZED AND PACKED WITH NONCOMBUSTIBLE, SMOKEPROOF, AND WATERPROOF FIRE SEALANT.
- V. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF FIRE EXTINGUISHER CABINETS, FIRE HOSE CABINETS, AND SIAMESE CONNECTIONS.
- W. ALL SHUTOFF VALVES IN SPRINKLER, STANDPIPE, AND COMBINED SYSTEMS SHALL BE APPROVED INDICATING TYPE.
- X. COORDINATE SPRINKLER LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS, LIGHTING, AND OTHER CEILING ITEMS AND MAKE MODIFICATIONS TO SUIT.
- Y. SPRINKLERS INSTALLED IN CEILINGS OF FINISHED AREAS SHALL BE SYMMETRICAL IN RELATION TO CEILING SYSTEM COMPONENTS AND CENTERED IN THE CEILING TILE.
- Z. THIS LOCATION IS A SEISMIC DESIGN CATEGORY "A" NO SEISMIC BRACING REQUIRED.
- AA. ALL PIPING 2" AND SMALLER SHALL BE EDDY-THREAD OR SCH 40. PIPING 2 1/2" AND LARGER SHALL BE EDDY-FLOW OR SCH 10 PIPE WITH GROOVED FITTINGS.
- BB. ALL DRY OR PRE-ACTION SYSTEM PIPING SHALL BE GALVANIZED SCHEDULE 40 WITH GALVANIZED THREADED FITTINGS FOR PIPING 2" AND SMALLER. PIPING 2 1/2" AND LARGER SHALL BE GALVANIZED SCHEDULE 10 WITH GALVANIZED GROOVED FITTINGS. GROOVED PIPE COUPLINGS SHALL BE GALVANIZED OR PAINTED.
- CC. ALL DRY SYSTEM PIPING ABOVE GROUND SHALL BE GALVANIZED THREADED FITTINGS AND SCHEDULE 40 PIPE FOR SIZES 2" AND SMALLER. SIZES 2 1/2" AND LARGER SHALL BE SCHEDULE 10 GALVANIZED PIPE AND HOT DIPPED GALVANIZED OR PAINTED DUCTILE IRON FITTINGS. GROOVED PIPE COUPLINGS SHALL BE GALVANIZED OR PAINTED.
- DD. THE CONTRACTOR/INSTALLER SHALL HAVE THE SYSTEM "WORKING PLANS" REVIEWED AND APPROVED BY A THIRD-PARTY FIRE PROTECTION PLAN REVIEWING AGENCY, "FIRE SAFETY CONSULTANTS, INCORPORATED" (FSCI), (1-847-697-1300), (WWW.FIRESAFETYFSCI.COM), TO ENSURE COMPLIANCE WITH ALL LOCAL AND CURRENT NATIONAL FIRE CODES.
- EE. SPRINKLER CONTRACTOR TO COORDINATE WITH OTHER TRADES TO PREVENT CONFLICT WITH OTHER BUILDING SYSTEMS. ANY INSTALLATION WITHOUT PRIOR COORDINATION IS SUBJECT TO REMOVAL AND REINSTALLATION AT THE INSTALLING CONTRACTOR'S EXPENSE.

FIRE PROTECTION LEGEND	
SYMBOL	DESCRIPTION
	PENDENT SPRINKLER, PLAN - ELEVATION
	UPRIGHT SPRINKLER, PLAN - ELEVATION
	SIDEWALL SPRINKLER, PLAN - ELEVATION
	BACK TO BACK ATTIC SPRINKLER, PLAN
	FIRE SPRINKLER WET SYSTEM PIPE
	FIRE SPRINKLER DRY SYSTEM PIPE
	FIRE SPRINKLER PREACTION SYSTEM PIPE
	FIRE SPRINKLER PREACTION SYSTEM PIPE
	FIRE SPRINKLER DRAIN PIPE
	CONNECT TO EXISTING
	NEW PIPING
	EXISTING PIPING
	PIPING TO BE REMOVED
	TAMPER SWITCH
	FLOW SWITCH
	PRESSURE SWITCH
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION, SIAMESE
	HORN/STROBE ASSEMBLY
	FIRE SPRINKLER WET SYSTEM RISER

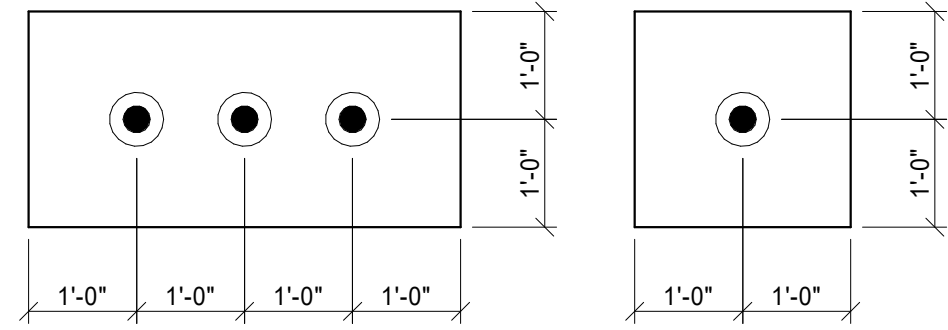
FIRE PROTECTION ABBREVIATIONS	
FL	FLANGED
GR	GROOVED
GALV	GALVANIZED
SF	SQUARE FEET
FDC	FIRE DEPARTMENT CONNECTION
AUX	AUXILIARY
(E)	EXISTING
SCH	SCHEDULE
N.C.	NORMALLY CLOSED

WATER SUPPLY INFORMATION		
TEST PRESSURE HYDRANT: # XX	LOCATION:	XXX
FLOW HYDRANT: # XX	LOCATION:	XXX
BY: XXX	DATE:	X/XX/20XX
STATIC PRESSURE: XX PSI	RESIDUAL PRESSURE: XX PSI	
PITOT PRESSURE: XX PSI WITH XXX GPM FLOWING		

NOTE: NEW WATER FLOW TEST WILL BE REQUIRED FOR SHOP DRAWING SUBMITTALS.

**KEYNOTES**

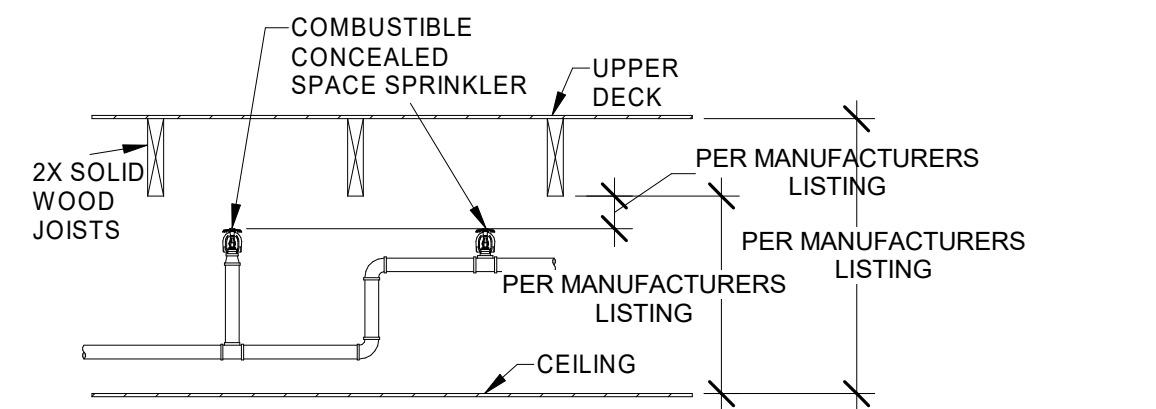
1. X" FIRE SERVICE TO WITHIN 5'-0" OF BUILDING BY OTHERS. SEE SITE UTILITY PLAN.
2. X" TRANSITION COUPLING.
3. X" CLASS 52 CEMENT LINED DUCTILE IRON FIRE SERVICE UNDER BUILDING FOOTING AND THROUGH FLOOR SLAB. SEE DETAIL X/FPXXX.
4. FIRE SERVICE ENTRANCE AND RISER. SEE DETAIL X/FPXXX.
5. FDC AND HORN/STROBE ASSEMBLY. SEE DETAIL X/FPXXX.



ALL SPRINKLERS SHALL BE CENTERED WITH 1" +/- OF CENTER POINTS OF CEILING TILES. (QUARTER POINTS ARE ACCEPTABLE AS SHOWN ON PLANS)

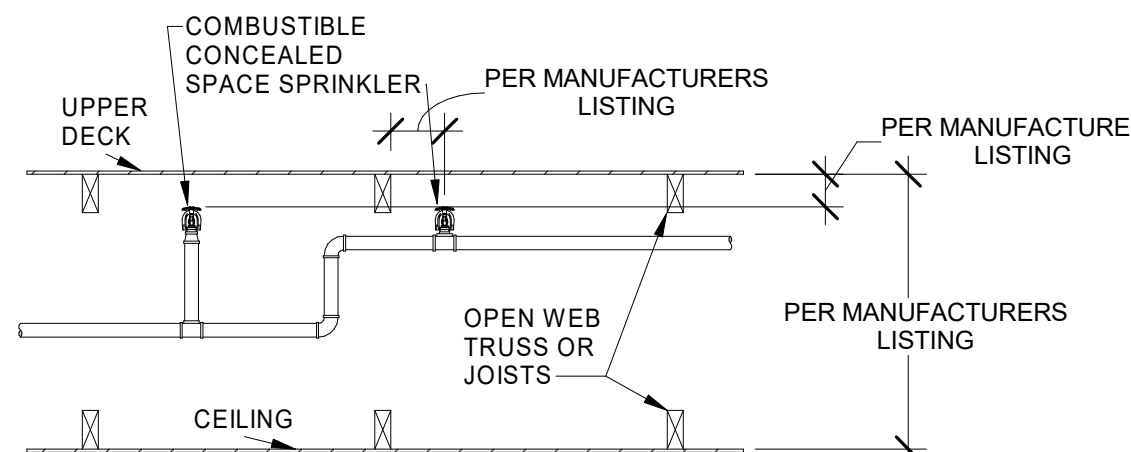
**2 SPRINKLER HEAD IN CENTER PLACEMENT**

F001 NOT TO SCALE



**GENERAL NOTES**

- A. SPRINKLER HEADS REQUIRED IN HORIZONTAL CONCEALED SPACES LESS THAN 36" DEEP SHALL BE LISTED FOR SUCH USE. USE TYCO MODEL CC1 OR CC2 SPRINKLERS (OR EQUAL) INSTALLED PER THEIR LISTING.
- B. THE SPACE TO BE PROTECTED SHALL BE DIVIDED INTO AREAS OF 1000 SF OR LESS BY DRAFT CUTRAINS OF MINIMUM DEPTH 6" OR 1/3 THE DEPTH OF THE SPACE (WHICHEVER IS GREATER). DRAFT CURTAIN MAXIMUM SPACING IS 31 FEET.
- C. SEE MANUFACTURER'S LISTING AND NFPA 13 FOR ADDITIONAL REQUIREMENTS AND ALTERNATE INSTALLATIONS.



**GENERAL NOTES**

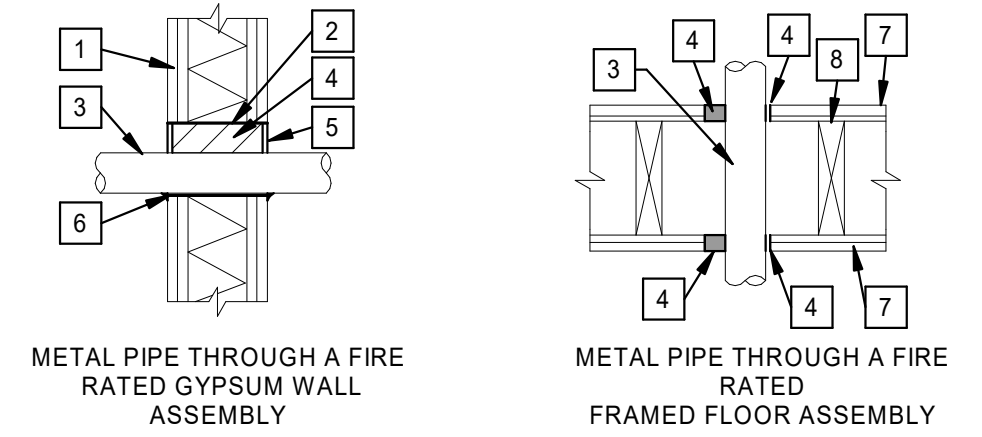
- A. SPRINKLER HEADS REQUIRED IN HORIZONTAL CONCEALED SPACES LESS THAN 36" DEEP SHALL BE LISTED FOR SUCH USE. USE TYCO MODEL CC1 OR CC2 SPRINKLERS (OR EQUAL) INSTALLED PER THEIR LISTING.
- B. THE SPACE TO BE PROTECTED SHALL BE DIVIDED INTO AREAS OF 1000 SF OR LESS BY DRAFT CUTRAINS OF MINIMUM DEPTH 8" OR 1/3 THE DEPTH OF THE SPACE (WHICHEVER IS GREATER) IN OPEN TRUSS CONSTRUCTION.
- C. SEE MANUFACTURER'S LISTING AND NFPA 13 FOR ADDITIONAL REQUIREMENTS AND ALTERNATE INSTALLATIONS.

**5 CONCEALED SPACE SPRINKLER**

F001 NOT TO SCALE

**3 FIRE STOPPING PIPE PENETRATION DETAILS**

F001 NOT TO SCALE

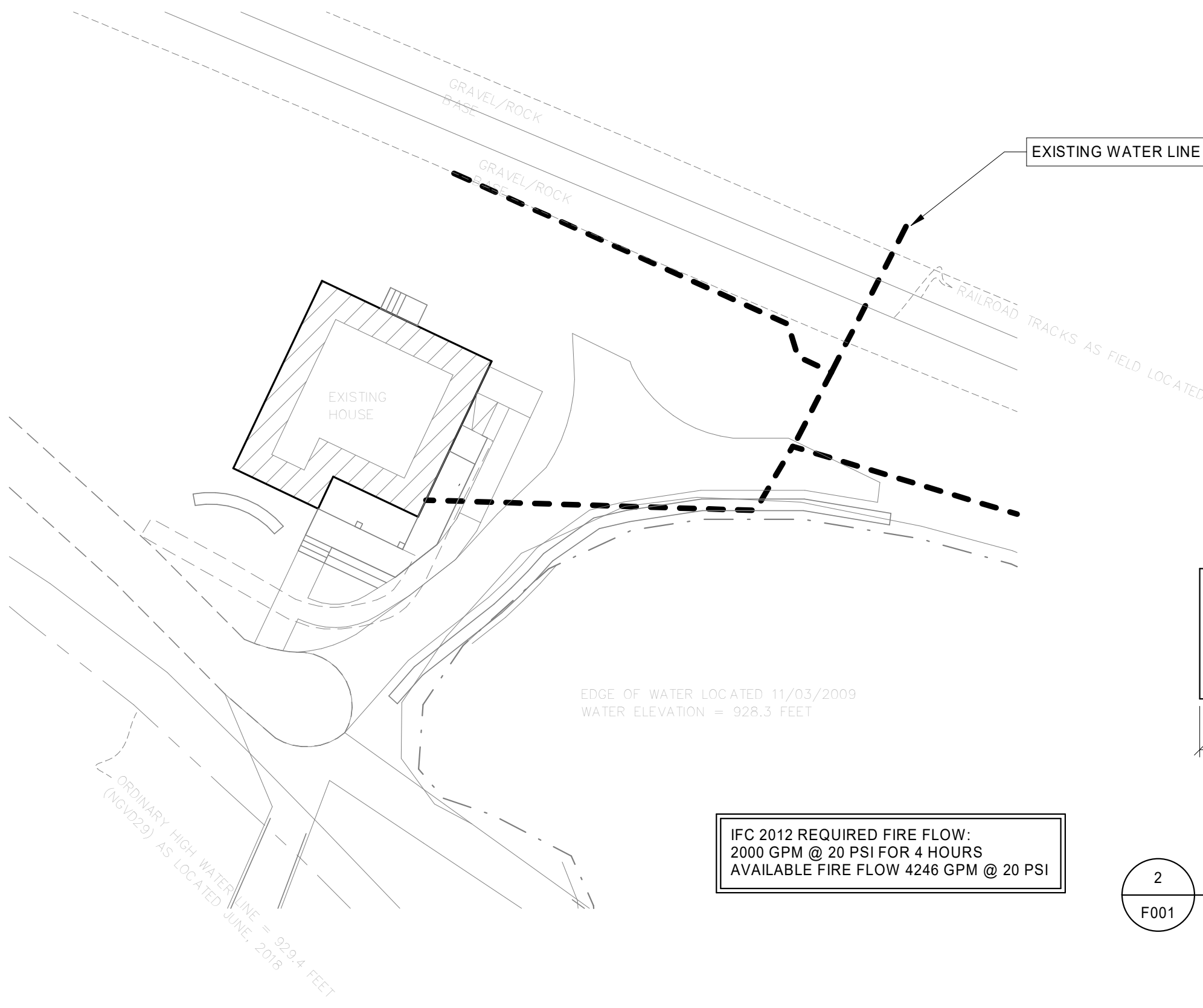


**# FIRE STOPPING DETAIL NOTES**

1. GYPSUM WALL ASSEMBLY.
2. SLEEVE.
3. PENETRATING PIPE.
4. FORMING MATERIAL TIGHTLY PACKED.
5. INTUMESCENT FIRESTOP SEALANT.
6. MINIMUM 1/2" BEAD INTUMESCENT FIRESTOP SEALANT AT POINT OF CONTACT.
7. FLOOR - CEILING ASSEMBLY.
8. WOOD JOISTS.
9. FILL VOID OR CAVITY MATERIAL - SEALANT -- MIN. 5/8" OR 1-1/4" THICKNESS OF SEALANT APPLIED WITHIN ANNULAR SPACE. FLUSH WITH THE BOTTOM SURFACE OF GYPSUM WALLBOARD OR LOWER TOP PLATE FOR 1 AND 2 HR FLOORS RESPECTIVELY. MIN. 3/4" THICKNESS OF SEALANT APPLIED WITH ANNULAR SPACE. FLUSH WITH TOP SURFACE OF FLOOR.
10. PROVIDE PIPE STOPPING SYSTEMS IN SUBMITTALS.

**6 FIRE STOPPING PIPE PENETRATION DETAILS**

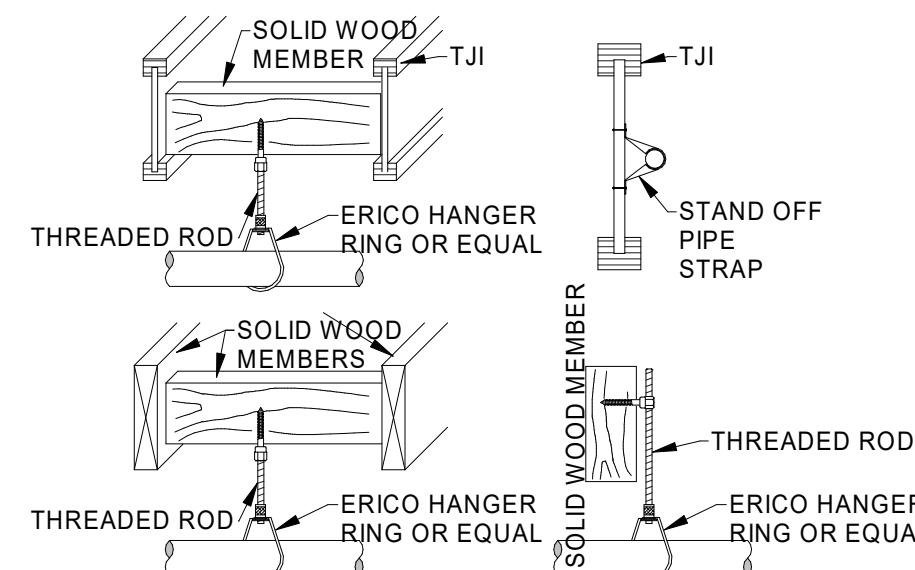
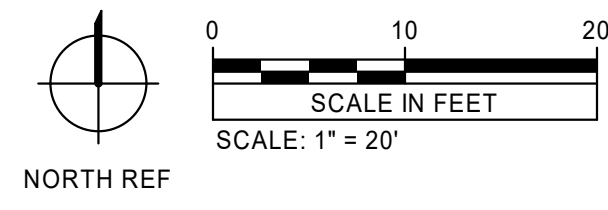
F001 NOT TO SCALE



IFC 2012 REQUIRED FIRE FLOW: 2000 GPM @ 20 PSI FOR 4 HOURS  
AVAILABLE FIRE FLOW 4248 GPM @ 20 PSI

**1 FIRE PROTECTION SITE PLAN**

F001 1" = 20'-0"



**MAXIMUM PIPE/TUBING SUPPORT SPACING, FEET**

NOM. THRU SIZE	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"	8"
STEEL N.A.	12	12	15	15	15	15	15	15	15	15

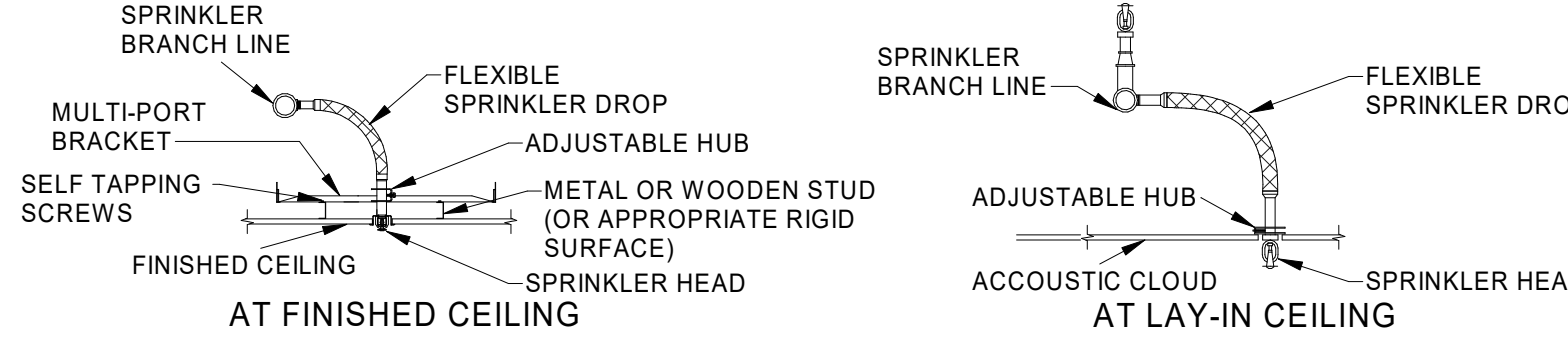
- NOTES:
1. UNSUPPORTED LENGTHS BETWEEN THE END SPRINKLER ON A BRANCH AND THE LAST HANGER SHALL NOT BE GREATER THAN 12'.
  2. THE LENGTH OF AN UNSUPPORTED ARM OVER MUST NOT BE GREATER THAN 12'.
  3. ALL HANGERS LOCATED WITHIN 12" OF THE LAST SPRINKLER ON A BRANCH LINE OR ARMOVER MUST BE FITTED WITH A SURGE SUPPRESSOR OR EQUIVALENT.

**4 FIRE SPRINKLER PIPE HANGER DETAILS**

F001 NOT TO SCALE

NOTE: SPRINKLER HEADS REQUIRED IN HORIZONTAL CONCEALED SPACES LESS THAN 36" DEEP SHALL BE LISTED FOR SUCH USE. USE TYCO MODEL CC1 OR CC2 SPRINKLERS (OR EQUAL) INSTALLED PER THEIR LISTING.

THE SPACE TO BE PROTECTED SHALL BE DIVIDED INTO AREAS OF 1000 SF OR LESS BY DRAFT CURTAINS OF MINIMUM DEPTH 8" OR 1/3 THE DEPTH OF THE SPACE (WHICHEVER IS GREATER) IN OPEN TRUSS CONSTRUCTION. SEE MANUFACTURER'S LISTING FOR ADDITIONAL REQUIREMENTS AND ALTERNATE INSTALLATIONS.



**7 FLEXIBLE SPRINKLER DETAILS**

F001 NOT TO SCALE

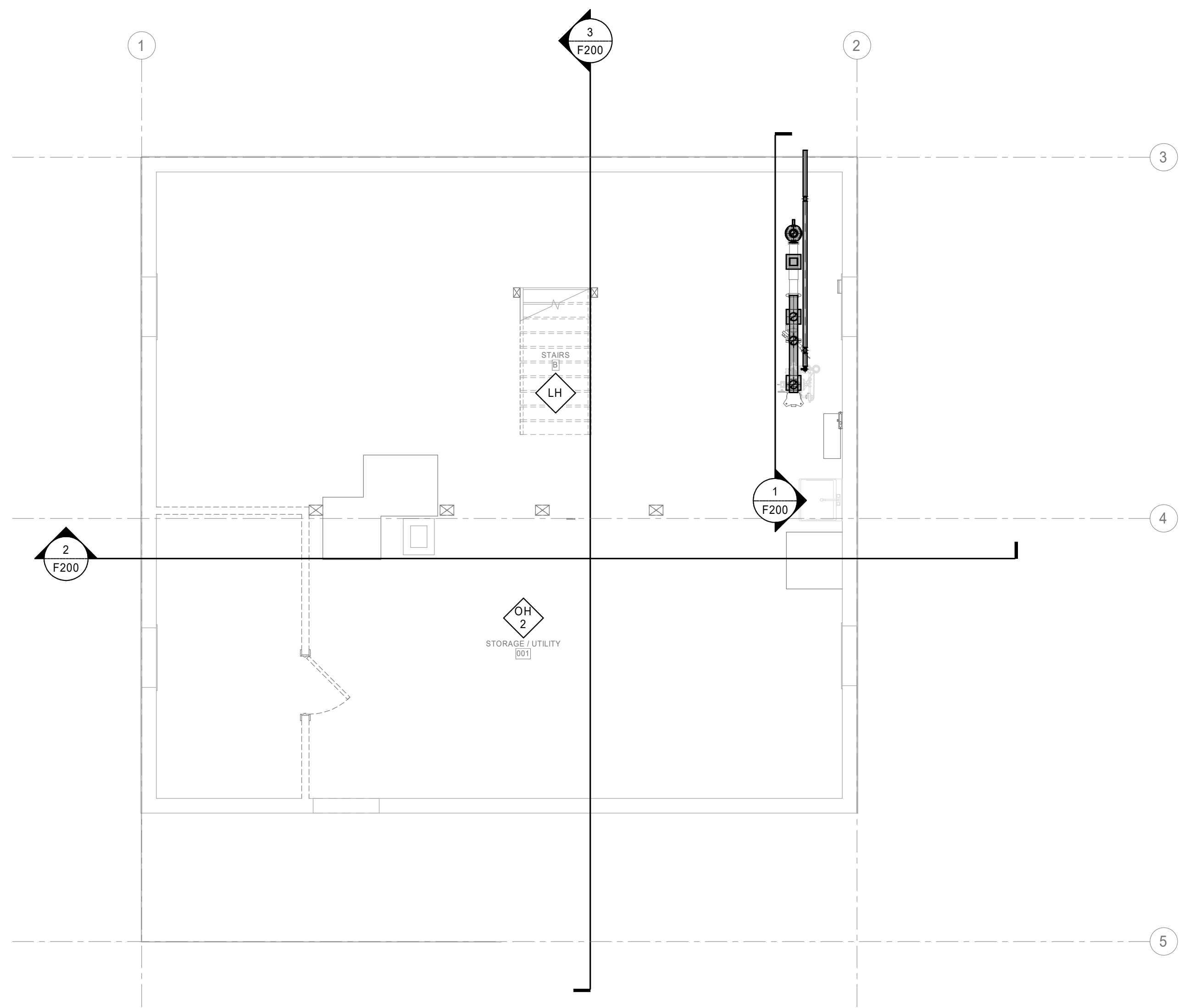
HAZARD CLASSIFICATION SCHEDULE

SYMBOL	HAZARD	DES. DENSITY-GPM/SF
LH	LIGHT	0.10
OH 1	ORDINARY GROUP 1	0.15
OH 2	ORDINARY GROUP 2	0.20
EH	EXTRA GROUP 1	0.30
NAS	NO AUTOMATIC SPRINKLERS	0.00

NOTE: HAZARD SYMBOLS AT ROOM NAMES INDICATE NEW SPRINKLER AND PIPE AS REQUIRED FOR THESE AREAS.

GENERAL NOTES

- A. THE SPRINKLER SYSTEM SHOWN IS CONCEPTUAL ONLY. THE CONTRACTOR SHALL PROVIDE A COMPLETE SPRINKLER SYSTEM SHOWING ALL REQUIRED PIPING, OFFSETS, HEADS, RISERS AND DROPS.
- B. SHOP DRAWINGS MUST BE FIELD VERIFIED AND REVISED BY THE CONTRACTOR PRIOR TO SUBMITTAL FOR REVIEW BY ENGINEER.
- C. FIELD INVESTIGATION BEFORE BIDDING IS REQUIRED. BID SHALL BE COMPLETE AND ACCOUNT FOR ALL REQUIRED PIPE, ROUTING, SPRINKLERS, ETC.



1  
F101  
1/4" = 1'-0"  
NORTH REF  
SCALE IN FEET  
SCALE: 1/8" = 1'-0"

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CITY OF WAYZATA  
SECTION FOREMAN HOUSE REHABILITATION

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REVISIONS

FIRE PROTECTION BASEMENT FLOOR PLAN

F101

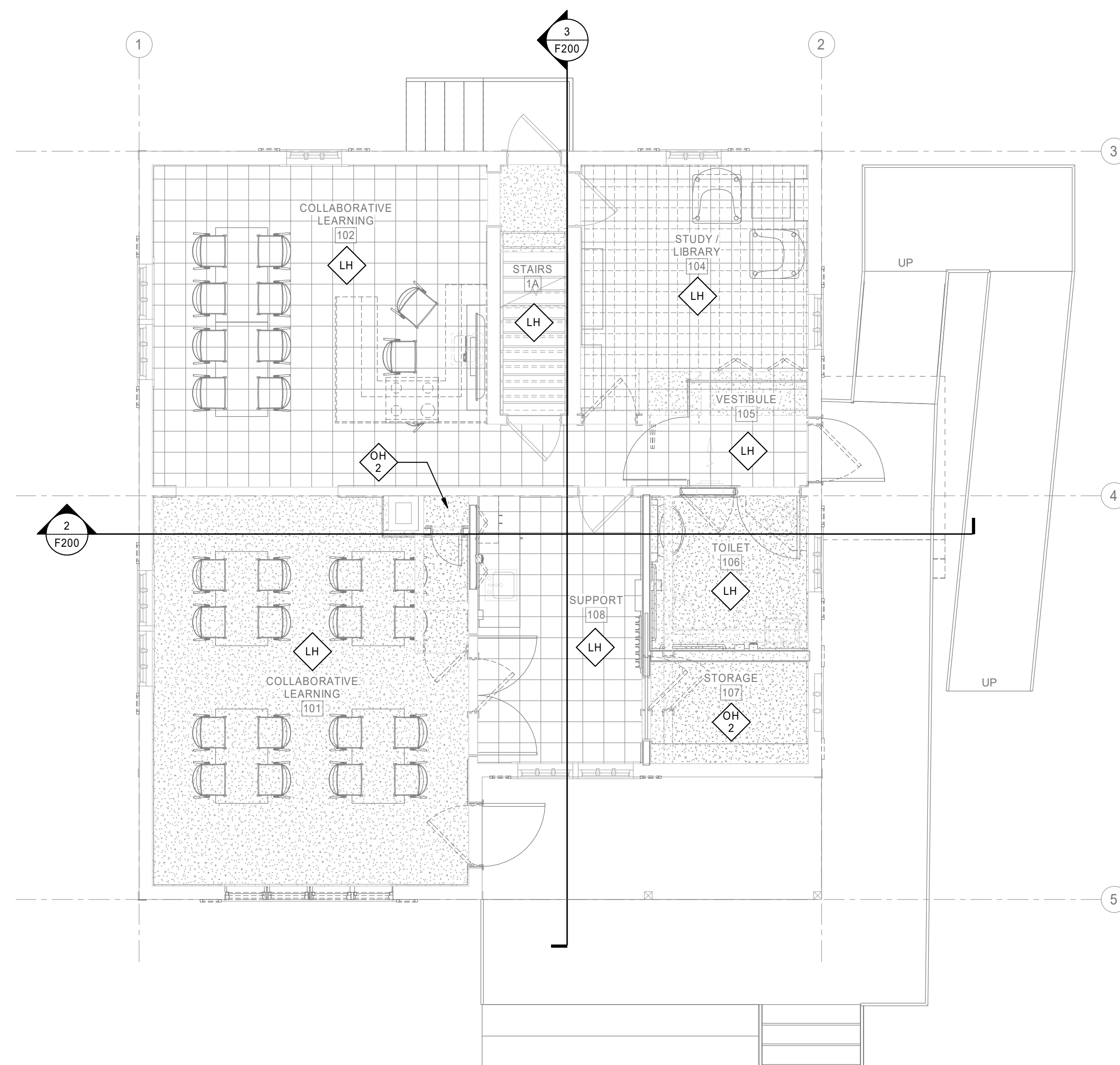
**HAZARD CLASSIFICATION SCHEDULE**

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NOTE: HAZARD SYMBOLS AT ROOM NAMES INDICATE NEW SPRINKLER AND PIPE AS REQUIRED FOR THESE AREAS.

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1  
F102  
FIRE PROTECTION FIRST FLOOR PLAN  
1/4" = 1'-0"

NORTH REF

0 8 16  
SCALE IN FEET  
SCALE: 1/8" = 1'-0"

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 DRAWN BY | MARJERISON  
 REVISIONS  
 FIRE PROTECTION  
 FIRST FLOOR PLAN  
**F102**

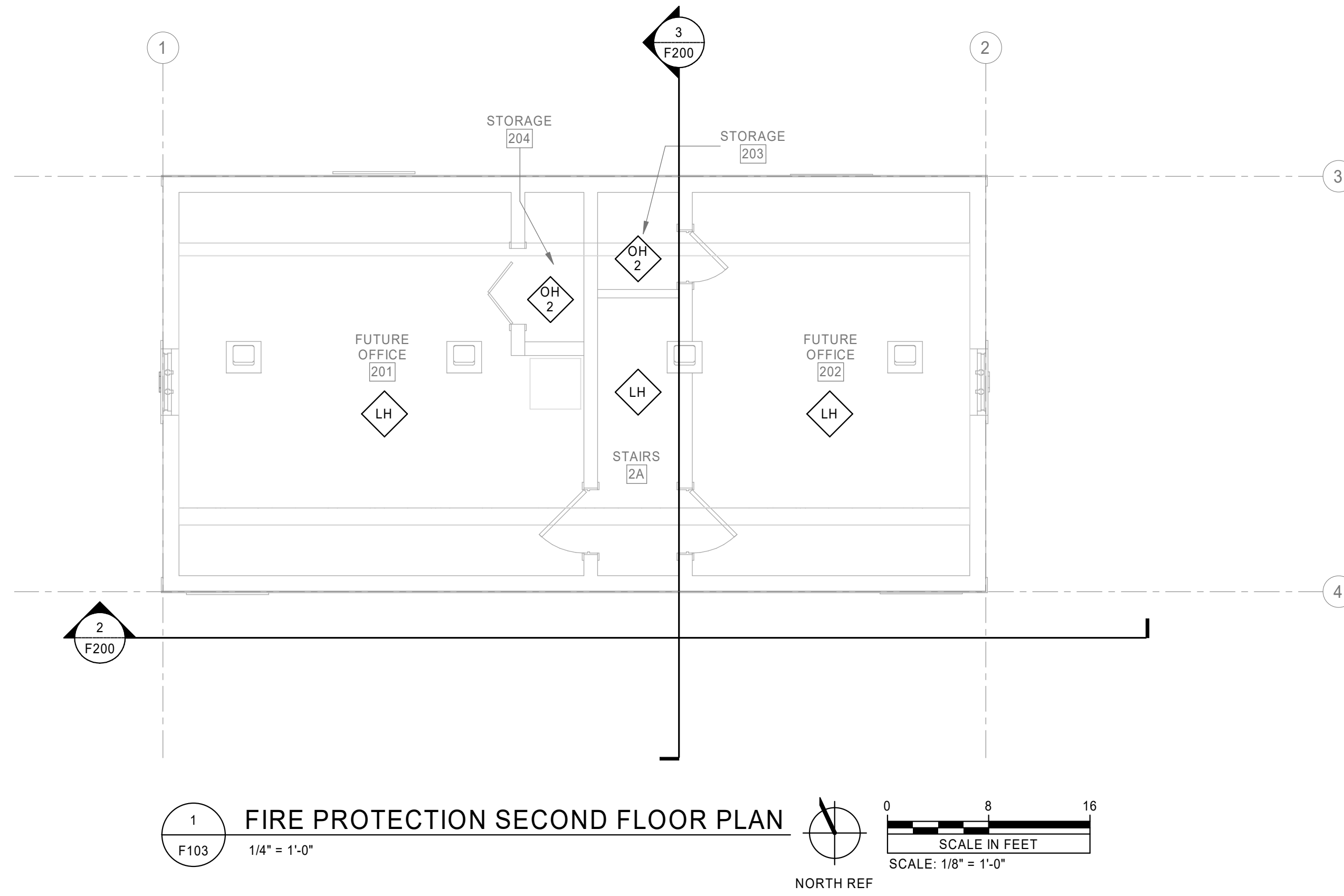
**HAZARD CLASSIFICATION SCHEDULE**

SYMBOL	HAZARD	DES. DENSITY-GPM/SF
LH	LIGHT	0.10
OH 1	ORDINARY GROUP 1	0.15
OH 2	ORDINARY GROUP 2	0.20
EH	EXTRA GROUP 1	0.30
NAS	NO AUTOMATIC SPRINKLERS	0.00

NOTE: HAZARD SYMBOLS AT ROOM NAMES INDICATE NEW SPRINKLER AND PIPE AS REQUIRED FOR THESE AREAS.

**GENERAL NOTES**

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SECTION FOREMAN HOUSE REHABILITATION

CITY OF WAYZATA

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FIRE PROTECTION  
SECOND FLOOR PLAN

**F103**

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FIRE PROTECTION SECTIONS, FIRE RISER, AND DETAILS

**F200**

**HAZARD CLASSIFICATION SCHEDULE**

SYMBOL	HAZARD	DES. DENSITY-GPM/SF
LH	LIGHT	0.10
OH 1	ORDINARY GROUP 1	0.15
OH 2	ORDINARY GROUP 2	0.20
EH	EXTRA GROUP 1	0.30
NAS	NO AUTOMATIC SPRINKLERS	0.00

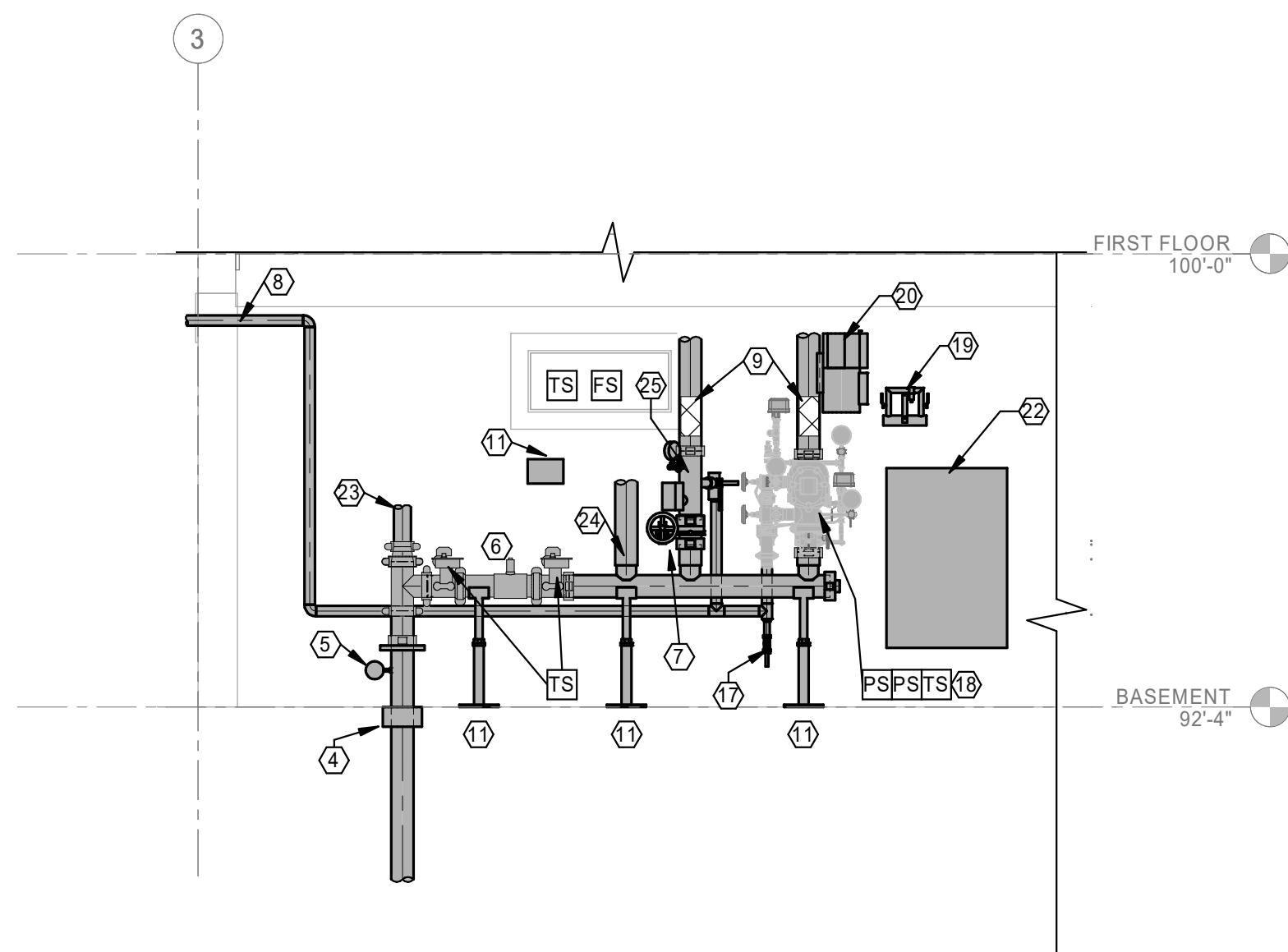
NOTE: HAZARD SYMBOLS AT ROOM NAMES INDICATE NEW SPRINKLER AND PIPE AS REQUIRED FOR THESE AREAS.

**GENERAL NOTES**

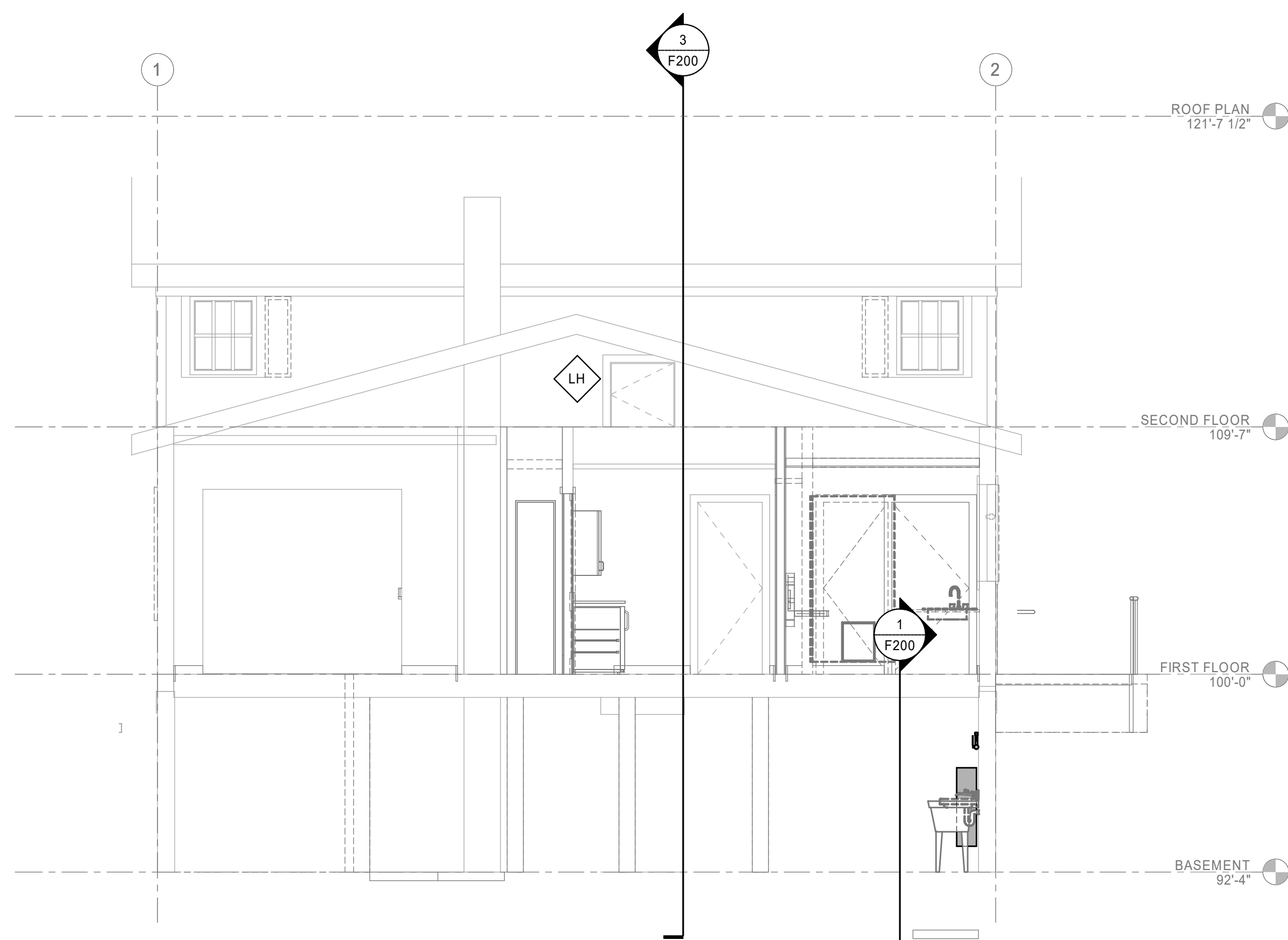
- THE SPRINKLER SYSTEM SHOWN IS CONCEPTUAL ONLY. THE CONTRACTOR SHALL PROVIDE A COMPLETE SPRINKLER SYSTEM SHOWING ALL REQUIRED PIPING, OFFSETS, HEADS, RISERS AND DROPS.
- SHOP DRAWINGS MUST BE FIELD VERIFIED AND REVISED BY THE CONTRACTOR PRIOR TO SUBMITTAL FOR REVIEW BY ENGINEER.
- FIELD INVESTIGATION BEFORE BIDDING IS REQUIRED. BID SHALL BE COMPLETE AND ACCOUNT FOR ALL REQUIRED PIPE, ROUTING, SPRINKLERS, ETC.

**RISER KEYNOTES**

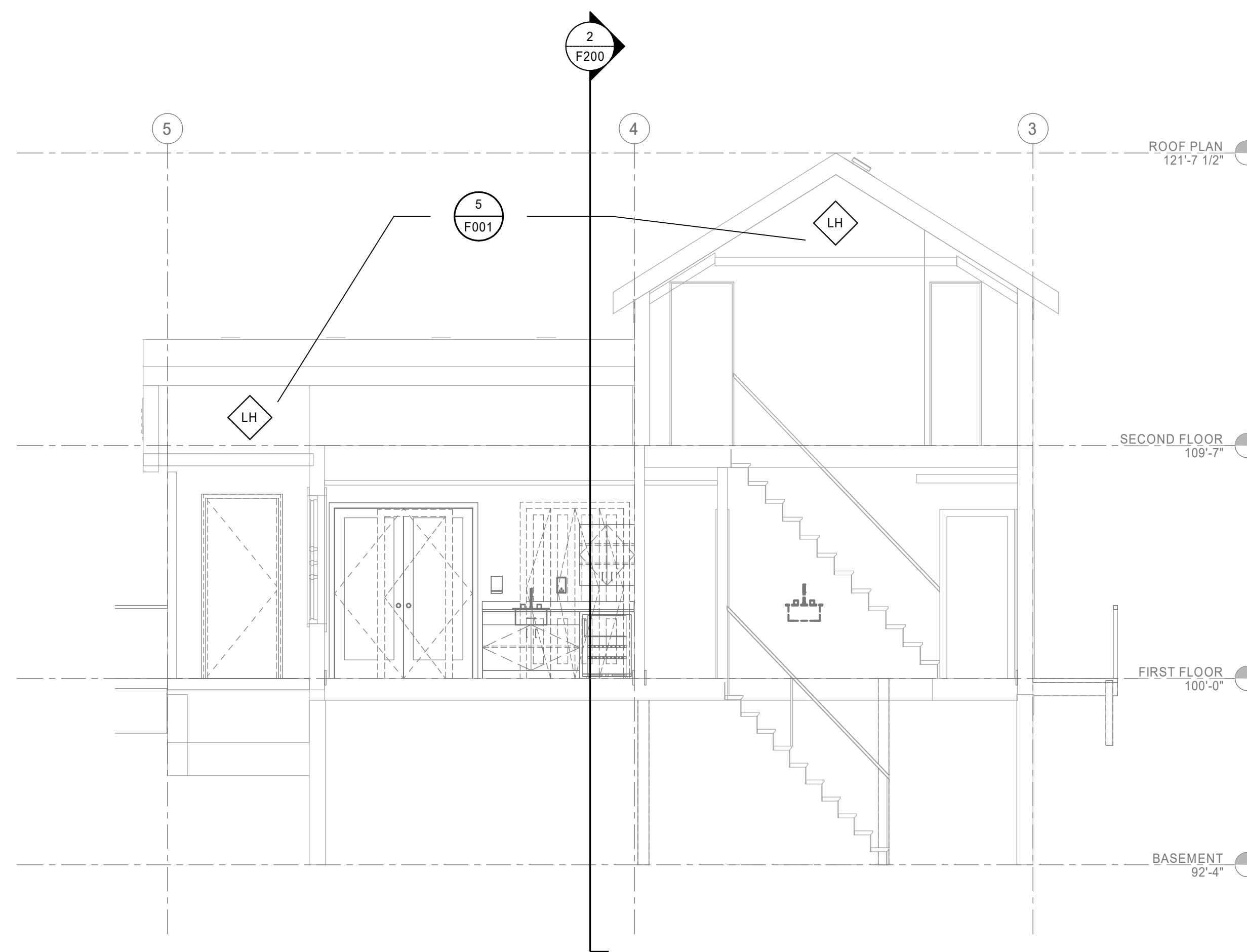
- 4" FIRE SERVICE TO WITHIN 5'-0" OF BUILDING BY OTHERS. SEE CIVIL SITE UTILITY PLAN.
  - 4" TRANSITION COUPLING.
  - 4" CLASS 52 CEMENT LINED DUCTILE IRON MECHANICALLY RESTRAINED PIPE WITH MECHANICALLY RESTRAINED JOINTS AND FITTINGS. MECHANICAL JOINT PIPING SHALL BE AWWA C151 WITH MECHANICAL JOINT BELL AND PLAN SPIGOT ENDS. MECHANICAL JOINT FITTINGS SHALL BE AWWA C110 (STANDARD) OR AWWA C153 (COMPACT) DUCTILE IRON PATTERNS. GLANDS, GASKETS, AND BOLTS SHALL BE IN COMPLIANCE WITH AWWA C111 DUCTILE IRON GLANDS, RUBBER GASKETS, AND COR-TEN STEEL BOLTS AND NUTS WITH CERAMIC FILLED BAKED-ON FLUOROCARBON RESIN COATING.
  - 8" GALV. STEEL SLEEVE THROUGH FLOOR, SEAL ANNULAR SPACE WITH WATERPROOF MASTIC.
  - PRESSURE GAUGE LOCATED PRIOR TO BACKFLOW.
  - 4" DOUBLE CHECK DETECTOR ASSEMBLY BACKFLOW PREVENTER WITH TAMPER SWITCHES.
  - 4" GR ISOLATION VALVE WITH TAMPER SWITCH (TYPICAL).
  - 2" GALV MAIN TEST AND DRAIN LINE.
  - PERMANENTLY AFFIXED HYDRAULIC DESIGN INFORMATION SIGN PER NFPA 13.
  - SPARE SPRINKLER HEAD CABINET WITH WRENCH, QUANTITY AS REQUIRED.
  - 2" PIPE STAND IN ACCORDANCE WITH NFPA 13.
  - 4" GR ISOLATION VALVE, NORMALLY CLOSED, WITH TAMPER SWITCH.
  - 4" GR CHECK VALVE.
  - THREE SNOOT FORWARD FLOW TEST HEADER WITH WALL PLATE BRANDED "TEST CONNECTION".
  - 4" X 2-1/2" X 2-1/2" POLISHED BRASS FDC WITH WALL PLATE BRANDED "AUTO SPKR." FDC IS TO BE LOCATED NOT LESS THAN 18" AND NOT MORE THAN 48" ABOVE FINISHED GRADE. FIRE SPRINKLER CONTRACTOR SHALL VERIFY THREAD DIAMETER AND PITCH MATCH THE LOCAL FIRE DEPARTMENT REQUIREMENTS.
  - EXTERIOR HORN/STROBE, COORDINATE WITH ELECTRICAL CONTRACTOR.
  - 1" AUXILIARY DRAIN AND BALL VALVE FROM DRAIN ELBOW.
  - 3" DRY SYSTEM VALVE WITH TRIM.
  - GENERAL AIR MAINTENANCE DEVICE AMD-1 (OR EQUAL).
  - RISER MOUNTED OILESS AIR COMPRESSOR. PROVIDE MANUFACTURER'S VIBRATION ISOLATION PADS, BRAIDED STAINLESS STEEL FLEX HOSE ASSEMBLY AND MAGNETIC LINE STARTER. COORDINATE WITH ELECTRICAL CONTRACTOR.
  - 1-1/4" TEST DRAIN TO EXTERIOR.
  - NITROGEN GENERATOR, ENGINEERED CORROSION SOLUTIONS AG - 675 OR EQUAL.
  - TO DOMESTIC WATER RISER. SEE PLUMBING PLANS
  - 4" TO REMOTE FDC
  - 4" COMMERCIAL RISER MANIFOLD WITH PRESSURE RELIEF, PRESSURE GAUGE, AND MAIN DRAIN.
- UTILITY TRENCH SHALL BE BACKFILLED FULL DEPTH TO GRADE AND FULL WIDTH OF TRENCH BEGINNING AT THE BUILDING FOUNDATION AND EXTENDING TO 30 FEET OUTSIDE THE BUILDING FOOTPRINT. USE ONSITE LEAN CLAY FILL, SATURATED TO OPTIMAL MOISTURE AND COMPACTED TO 95 PERCENT PROCTOR. COORDINATE BACKFILL AND COMPACTION WITH UTILITY. DO NOT CRUSH UTILITY. INCORPORATE WARNING TAPE AND UTILITY IDENTIFIER TAPE WITHIN THE CLAY BACKFILL.



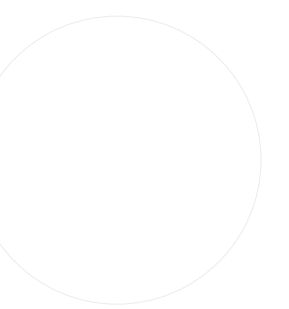
**1 FIRE RISER ELEVATION FACING EAST**  
3/8" = 1'-0"



**2 FIRE PROTECTION SECTION FACING NORTH**  
1/4" = 1'-0"



**3 FIRE PROTECTION SECTION FACING WEST**  
1/4" = 1'-0"



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FIRE ALARM  
BASEMENT FLOOR  
PLAN

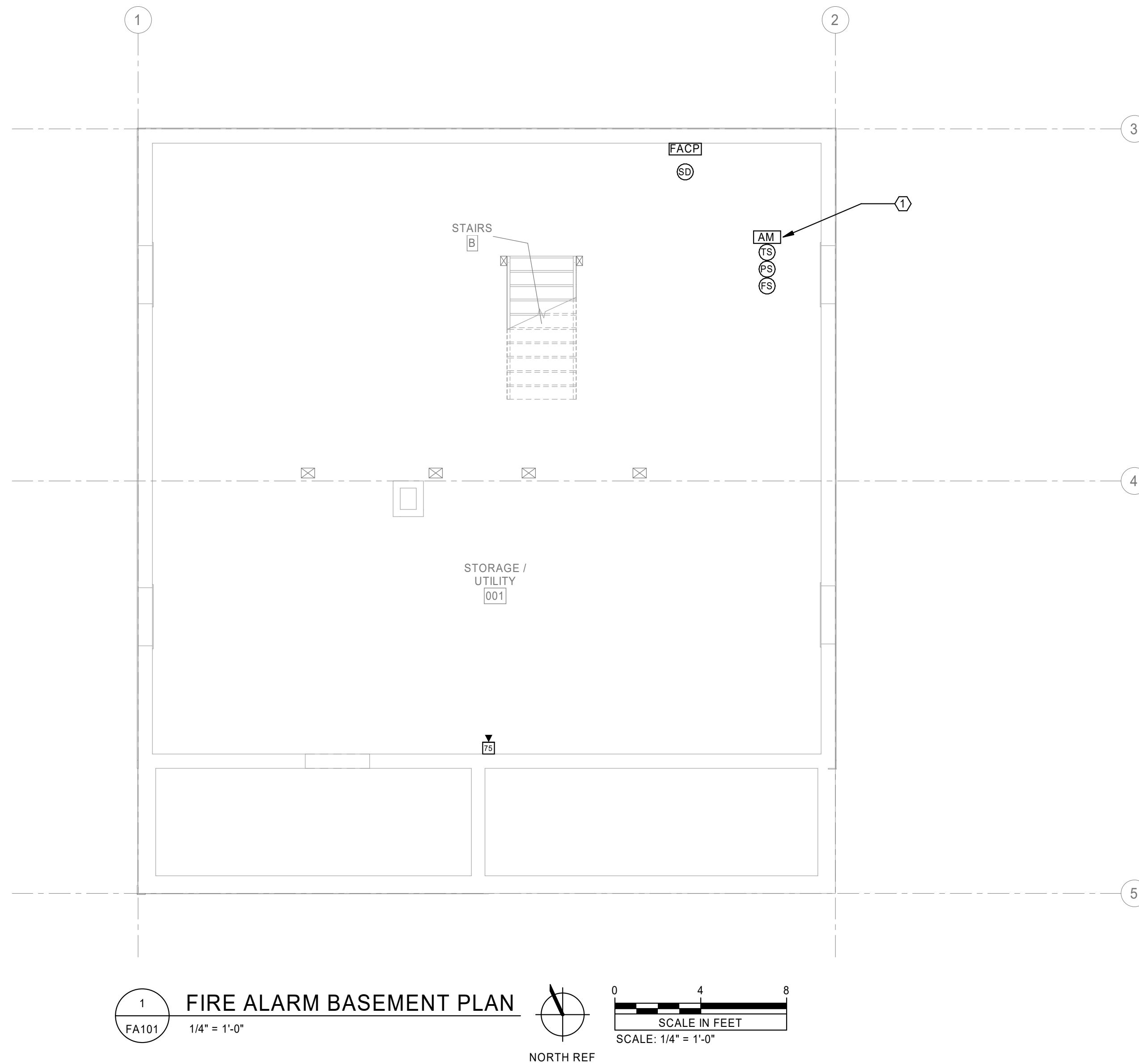
FA101

**GENERAL NOTES - FIRE ALARM**

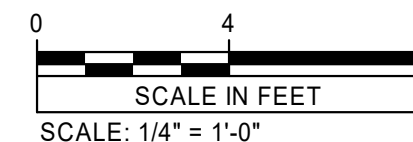
- A. COMPLY WITH LATEST ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL FIRE CODE (IFC), FIRE ALARM AND SIGNALING CODE (NFPA 72) AND NATIONAL ELECTRICAL CODE (NFPA 70) INCLUDING ANY LOCAL AMENDMENTS. ALL REFERENCES TO CODES AND STANDARDS SHALL BE AS NOTED IN THE FIRE ALARM CODE SUMMARY REFERENCES NOTED ON FA001.
- B. ALL FIRE ALARM CABLE SHALL BE INSTALLED IN MINIMUM 3/4" CONDUIT PAINTED RED IN COLOR AND CONCEALED WITHIN WALLS OR ABOVE CEILINGS. SURFACE MOUNTED CONDUIT SHALL BE ALLOWED IN UNFINISHED MECHANICAL AREAS AND PARKING GARAGE.
- C. ALL FIRE ALARM DEVICES SHALL BE MOUNTED TO A STEEL BACKBOX OR ELECTRICAL BOX. SURFACE MOUNT LOCATIONS SHALL INCLUDE A FACTORY MATCHED BOX SPECIFIC TO THE DEVICE.
- D. REMOTE POWER SUPPLIES (NAC PANELS) SHALL BE PROVIDED IN SUFFICIENT QUANTITIES AND SHALL BE DETERMINED BY THE CONTRACTOR'S FINAL SHOP DRAWING DESIGN. PANEL LOCATIONS NOTED ON THESE DRAWINGS MERELY INDICATE ACCEPTABLE LOCATIONS.
- E. CONTRACTOR SHALL COORDINATE WITH OWNER UPON SUBSTANTIAL COMPLETION TO PROVIDE CONNECTION TO REMOTE SUPERVISING STATION AS APPROVED BY THE OWNER.
- F. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND LOCAL AHJ BEFORE PROGRAMMING FINAL DEVICE DESCRIPTIONS IN SYSTEM MEMORY. OBTAIN APPROVAL FROM BOTH PRIOR TO FINAL COMPLETION.
- G. REFER TO SHEET E900 ELECTRICAL SPECIFICATIONS FOR FIRE ALARM EQUIPMENT AND INSTALLATION REQUIREMENTS.

**KEYNOTES**

- 1. COORDINATE EXACT QUANTITIES OF VALVE SUPERVISORY SWITCHES AND FLOW ALARM SWITCHES WITH THE FIRE SPRINKLER CONTRACTOR (TYPICAL OF ALL. ALL SWITCHES SHALL BE MONITORED AND ANNUNCIATED INDIVIDUALLY. EXCEPTION: TAMPER SWITCHES ASSOCIATED WITH A SINGLE BACKFLOW PREVENTER SHALL BE MONITORED AND ANNUNCIATED AS A SINGLE POINT.)



1 FIRE ALARM BASEMENT PLAN  
FA101 1/4" = 1'-0"



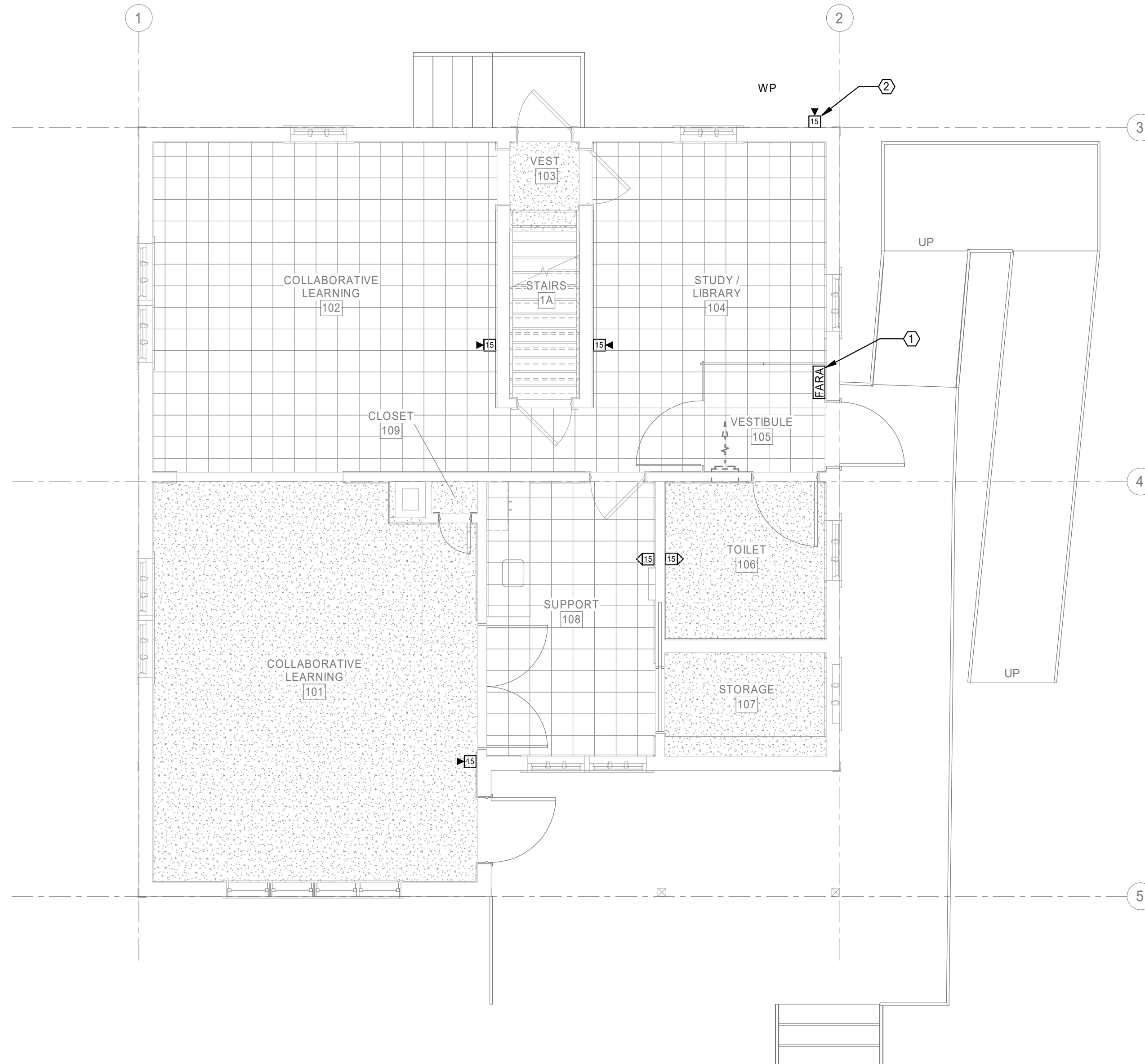
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**GENERAL NOTES - FIRE ALARM**

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- C. ALL FIRE ALARM DEVICES SHALL BE MOUNTED TO A STEEL BACKBOX OR ELECTRICAL BOX. SURFACE MOUNT LOCATIONS SHALL INCLUDE A FACTORY MATCHED BOX SPECIFIC TO THE DEVICE.
- D. REMOTE POWER SUPPLIES (NAC PANELS) SHALL BE PROVIDED IN SUFFICIENT QUANTITIES AND SHALL BE DETERMINED BY THE CONTRACTOR'S FINAL SHOP DRAWING DESIGN. PANEL LOCATIONS NOTED ON THESE DRAWINGS MERELY INDICATE ACCEPTABLE LOCATIONS.
- E. CONTRACTOR SHALL COORDINATE WITH OWNER UPON SUBSTANTIAL COMPLETION TO PROVIDE CONNECTION TO REMOTE SUPERVISING STATION AS APPROVED BY THE OWNER.
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- G. REFER TO SHEET E900 ELECTRICAL SPECIFICATIONS FOR FIRE ALARM EQUIPMENT AND INSTALLATION REQUIREMENTS.

**KEYNOTES**

- 1. THE LOCATION OF THE REMOTE ANNUNCIATOR SHALL BE APPROVED BY THE LOCAL AHJ PRIOR TO ROUGH-IN.
- 2. COORDINATE LOCATION OF EXTERIOR WATER FLOW HORN/STROBE WITH FIRE SPRINKLER CONTRACTOR. MOUNT DIRECTLY ABOVE FIRE DEPARTMENT CONNECTION.



**1 FIRE ALARM FIRST FLOOR PLAN**  
FA102 1/4" = 1'-0"  
NORTH REF  
SCALE IN FEET  
SCALE: 1/4" = 1'-0"

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NOT FOR CONSTRUCTION

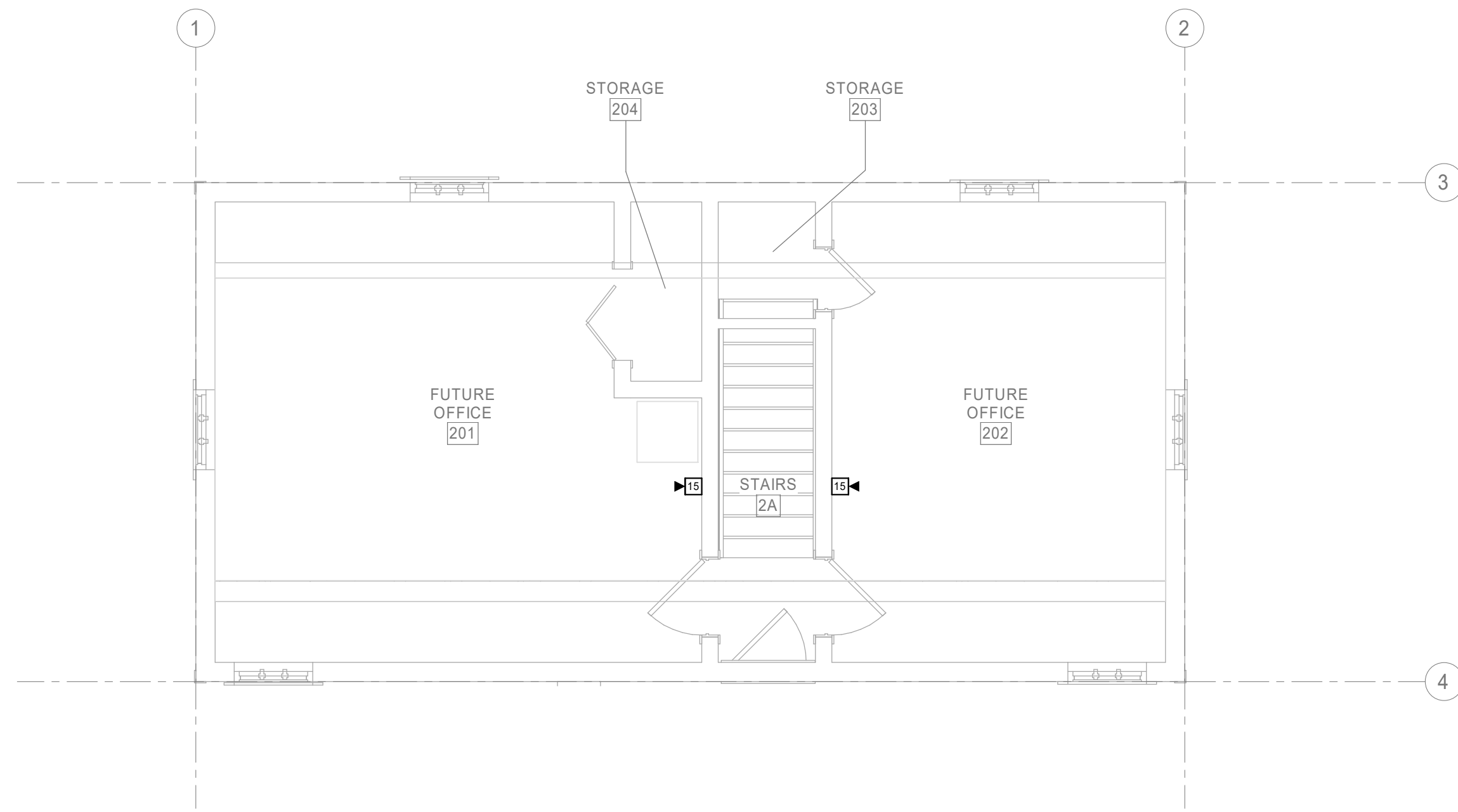
100% DD SUBMISSION  
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PROJECT# | WAYZATA\_FORE  
CHECKED BY | BINGHAM  
DRAWN BY | MARJERISON  
REVISIONS

FIRE ALARM FIRST FLOOR PLAN

**FA102**

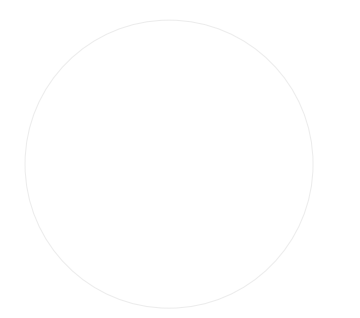
**GENERAL NOTES - FIRE ALARM**

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- F. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND LOCAL AHJ BEFORE PROGRAMMING FINAL DEVICE DESCRIPTIONS IN SYSTEM MEMORY. OBTAIN APPROVAL FROM BOTH PRIOR TO FINAL COMPLETION.
- G. REFER TO SHEET E900 ELECTRICAL SPECIFICATIONS FOR FIRE ALARM EQUIPMENT AND INSTALLATION REQUIREMENTS.



**1 FIRE ALARM SECOND FLOOR PLAN**  
FA103 1/4" = 1'-0"  
NORTH REF  
SCALE IN FEET  
SCALE: 1/4" = 1'-0"

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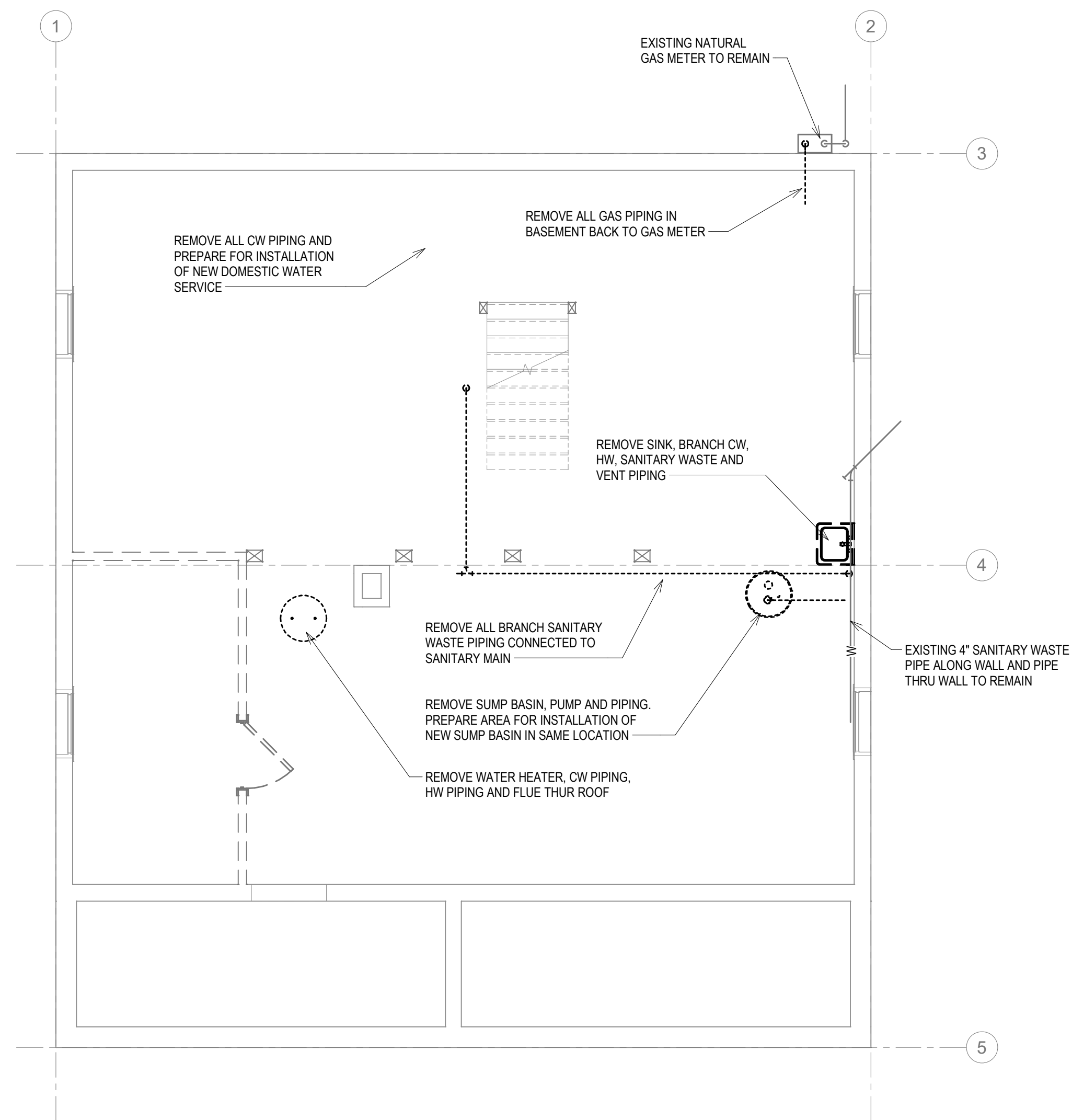
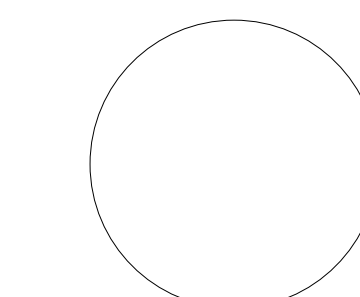


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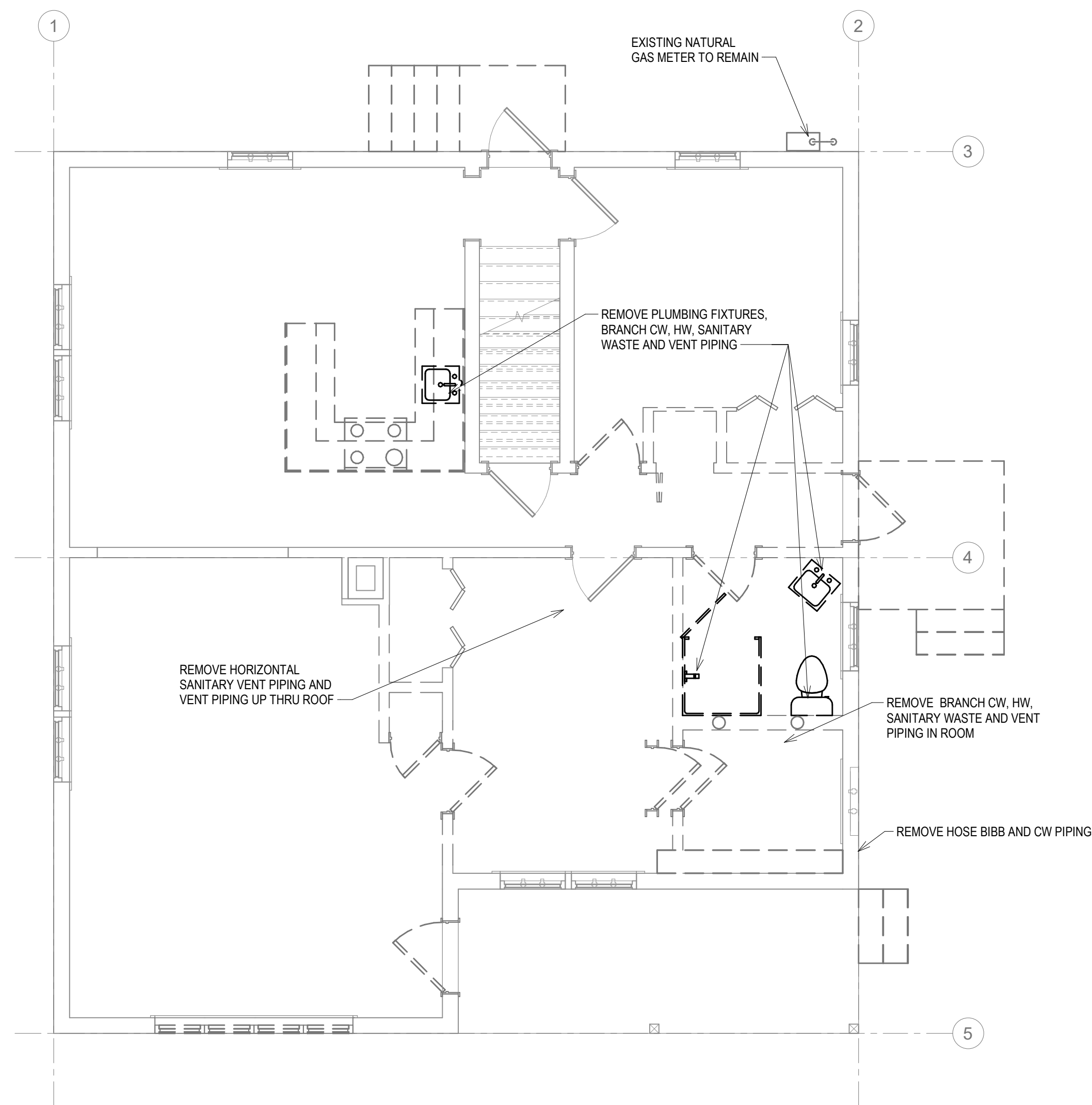
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DRAWN BY | MARJERISON  
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FIRE ALARM SECOND FLOOR PLAN

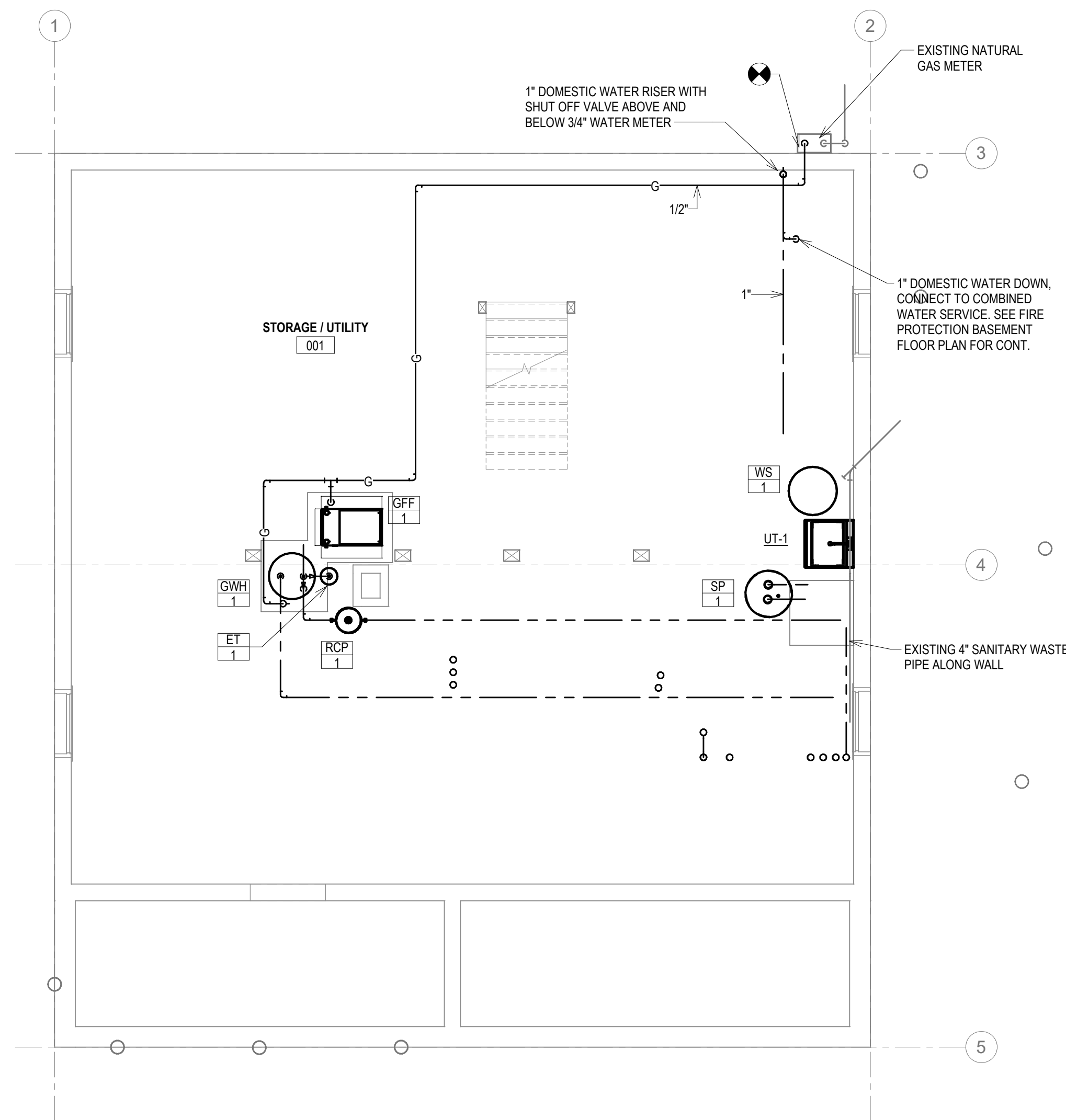
**FA103**



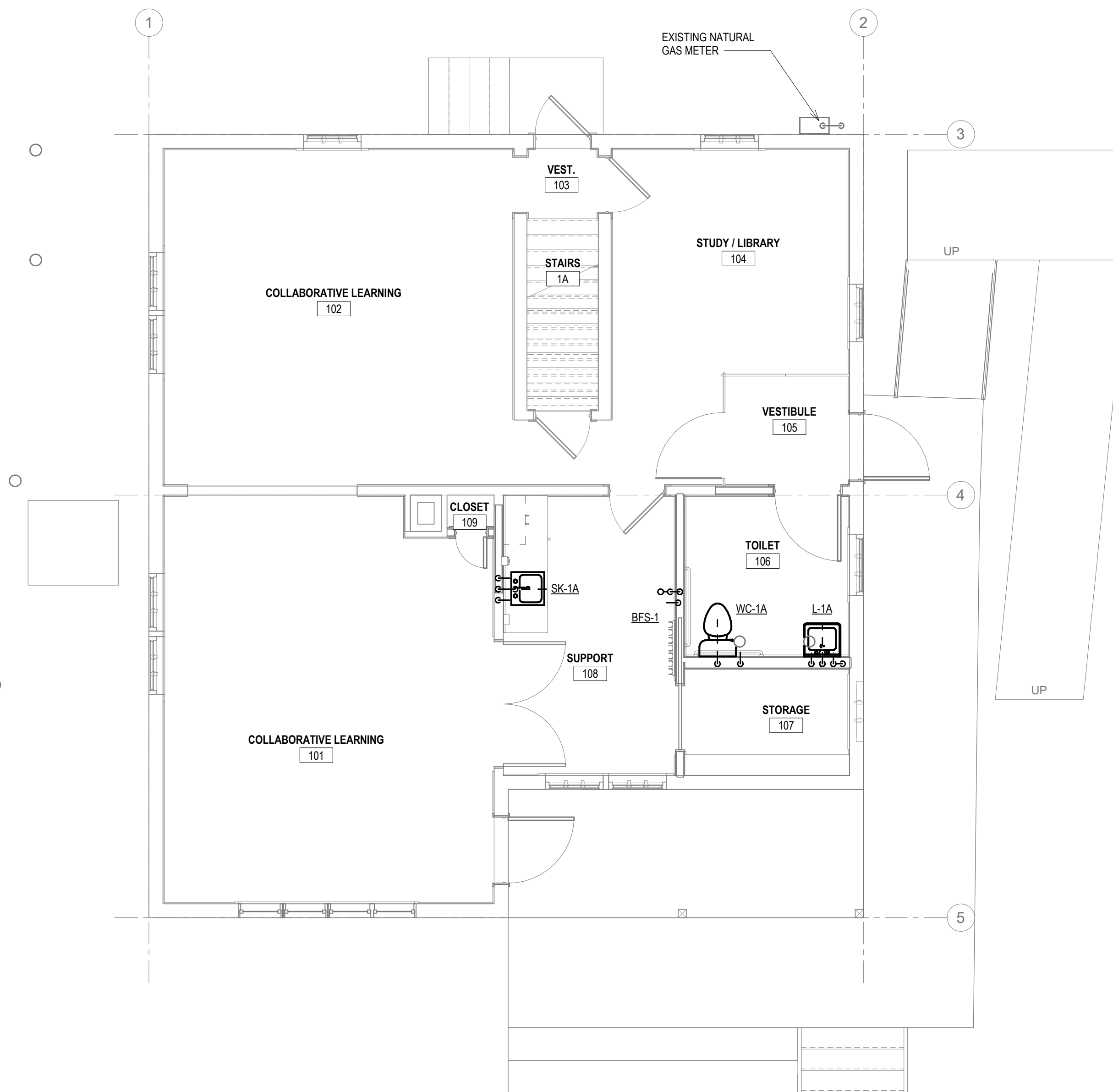
**1** DEMOLITION PLUMBING FLOOR PLAN - BASEMENT  
1/4" = 1'-0"



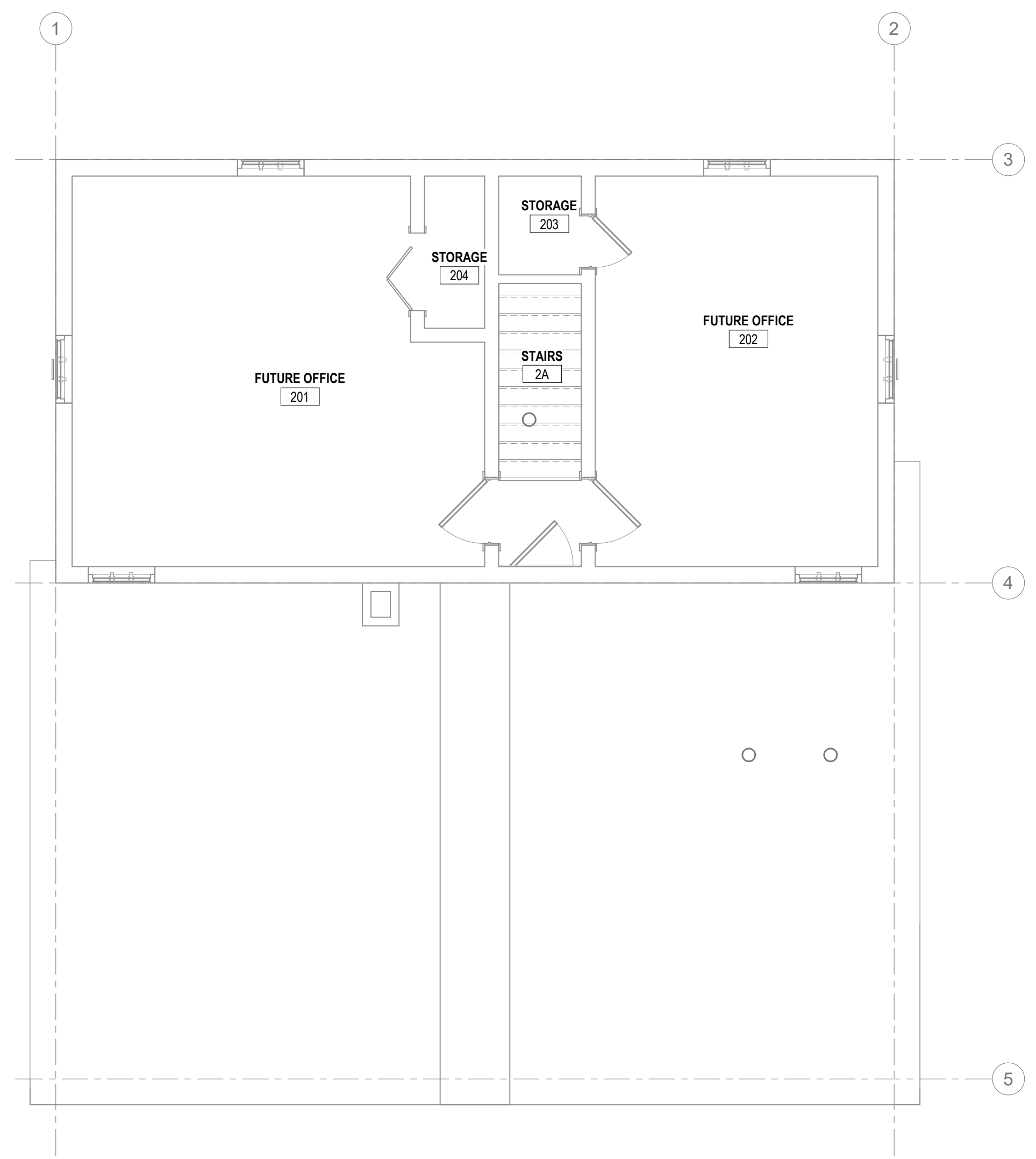
**2** DEMOLITION PLUMBING FLOOR PLAN - FIRST FLOOR  
1/4" = 1'-0"



**1** PLUMBING FLOOR PLAN - BASEMENT  
1/4" = 1'-0"



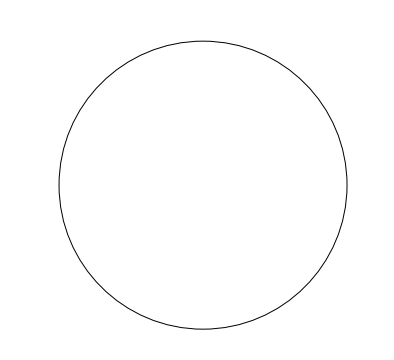
**2** PLUMBING FLOOR PLAN - FIRST FLOOR  
1/4" = 1'-0"



2 PLUMBING FLOOR PLAN - SECOND FLOOR  
1/4" = 1'-0"

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

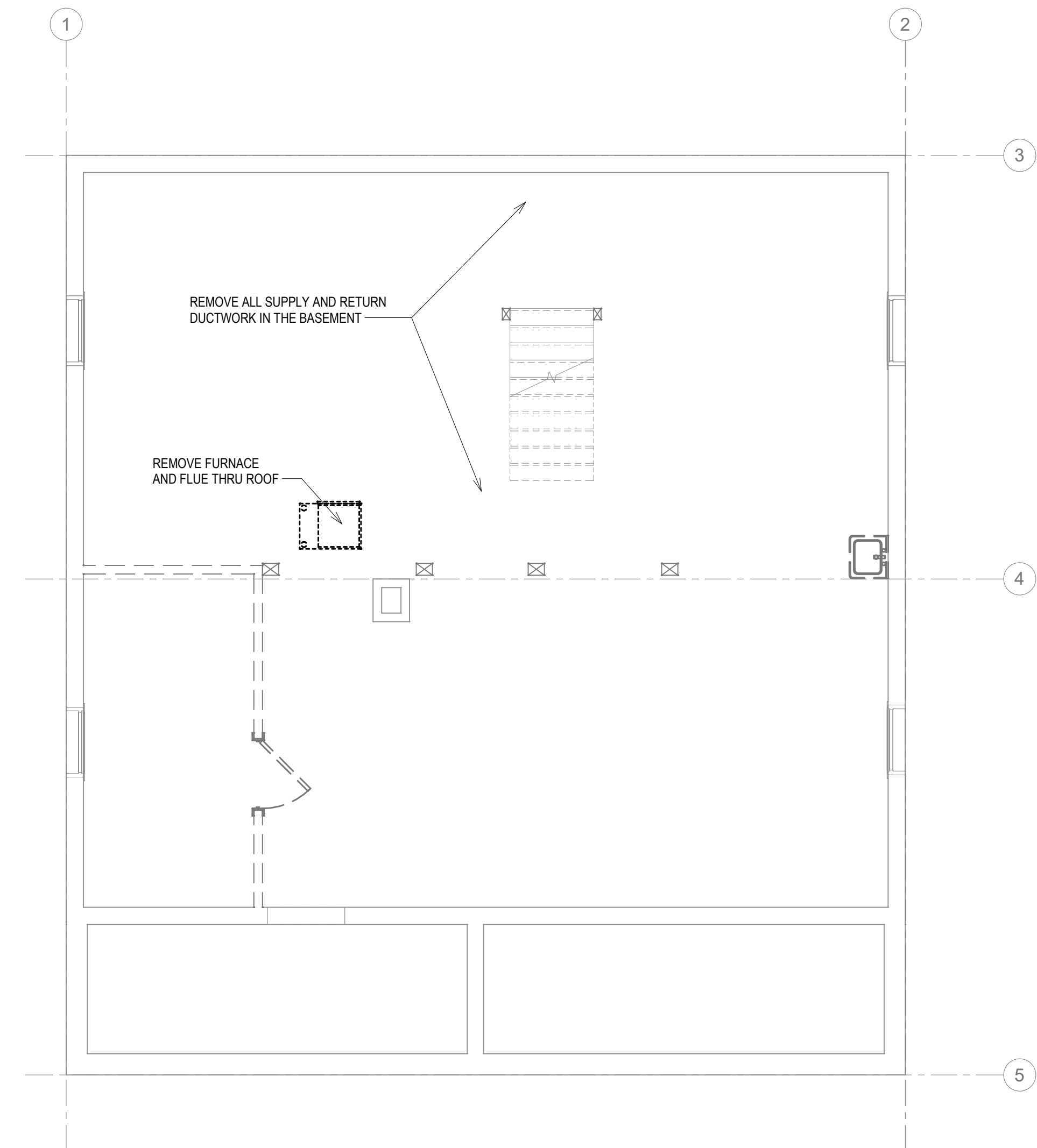
CITY OF WAYZATA  
**SECTION FOREMAN HOUSE REHABILITATION**



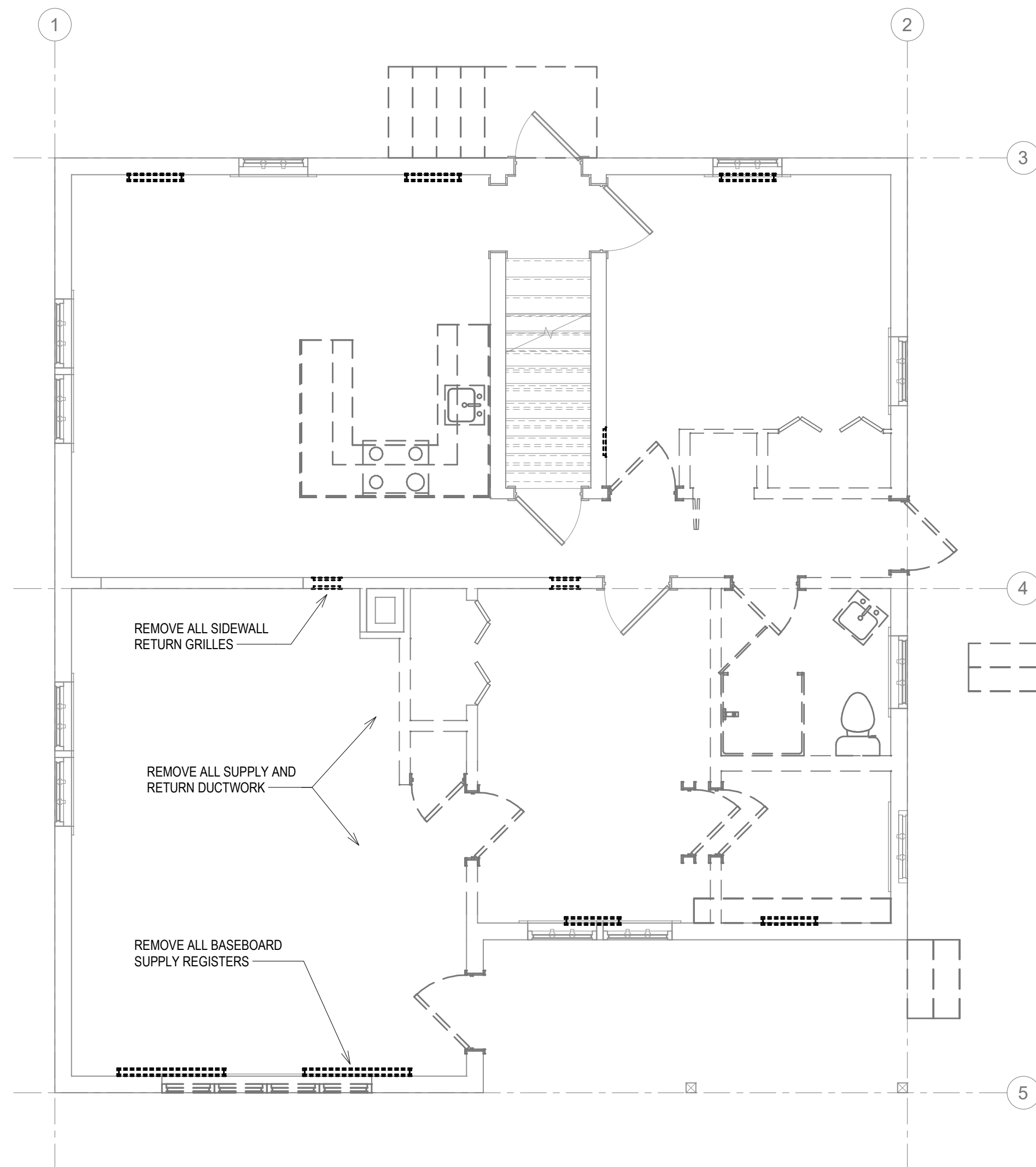
100% DD SUBMISSION  
07/29/2022  
PROJECT# | 210660  
CHECKED BY | ISB  
DRAWN BY | BCP  
REVISIONS

PLUMBING FLOOR  
PLANS

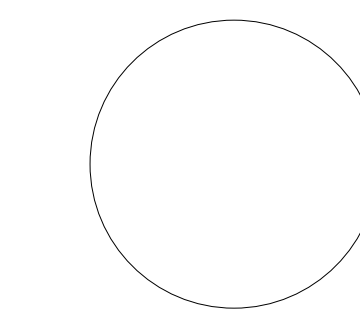
**P102**



1 DEMOLITION MECHANICAL FLOOR PLAN - BASEMENT  
1/4" = 1'-0"



2 DEMOLITION MECHANICAL FLOOR PLAN - FIRST FLOOR  
1/4" = 1'-0"

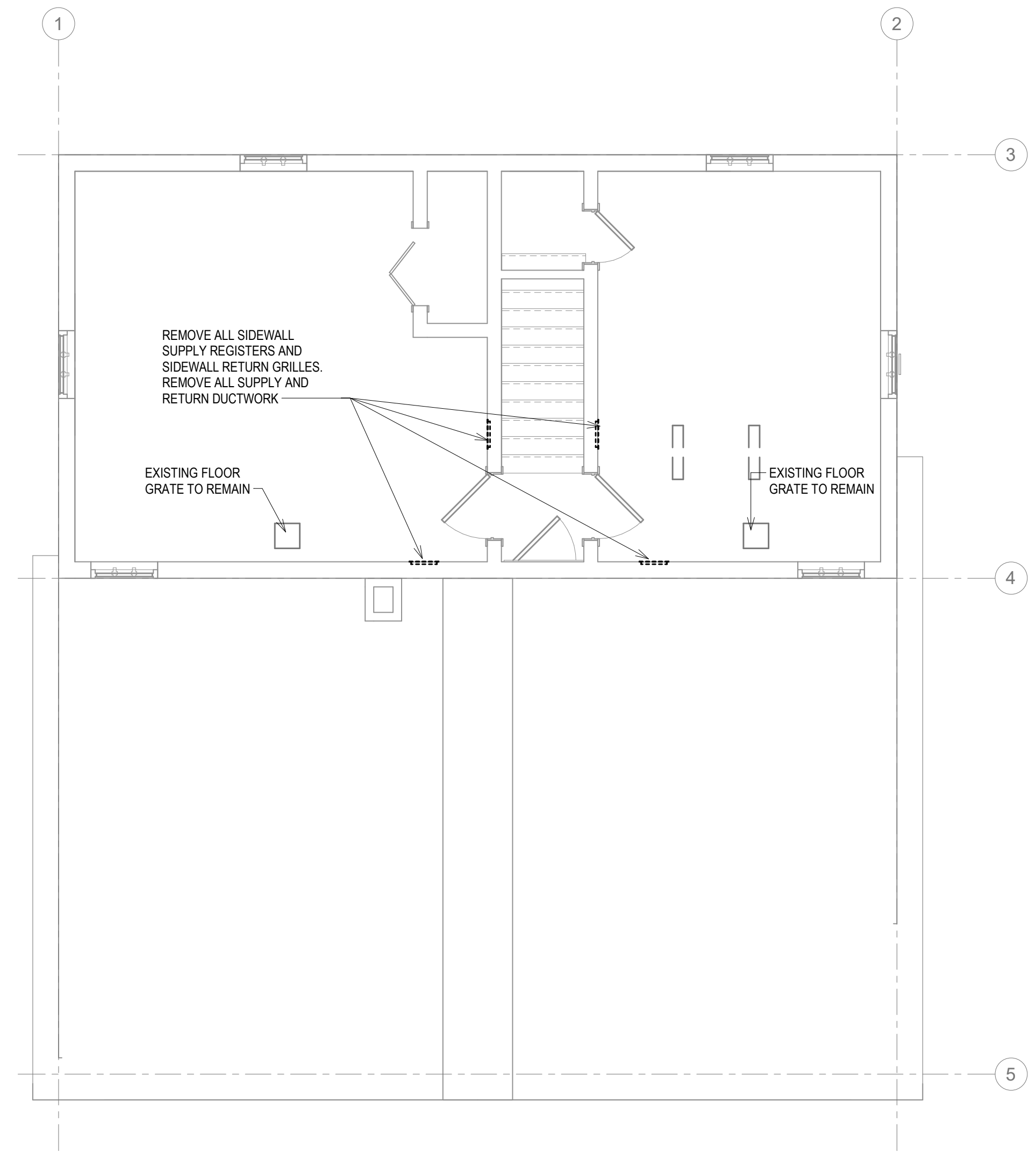


NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

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07/29/2022  
PROJECT# | 210660  
CHECKED BY | SB  
DRAWN BY | BCP  
REVISIONS

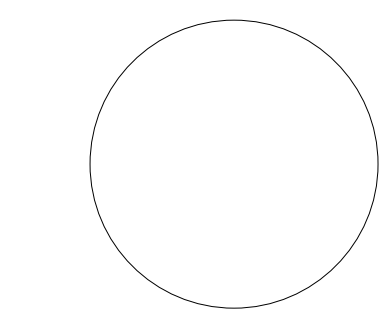
DEMOLITION  
MECHANICAL FLOOR  
PLANS

**DM102**



1 DEMOLITION MECHANICAL FLOOR PLAN - SECOND FLOOR  
1/4" = 1'-0"

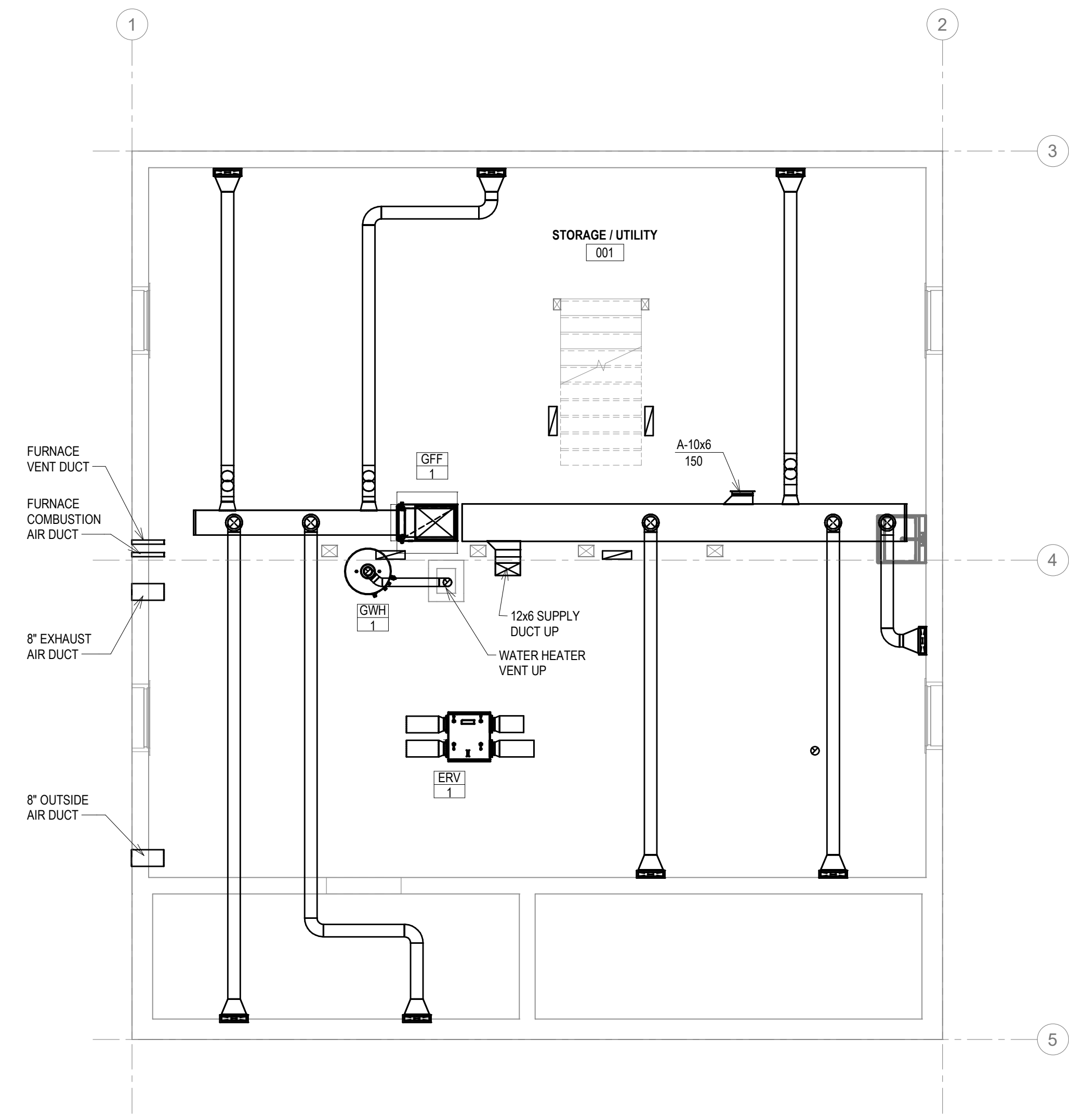
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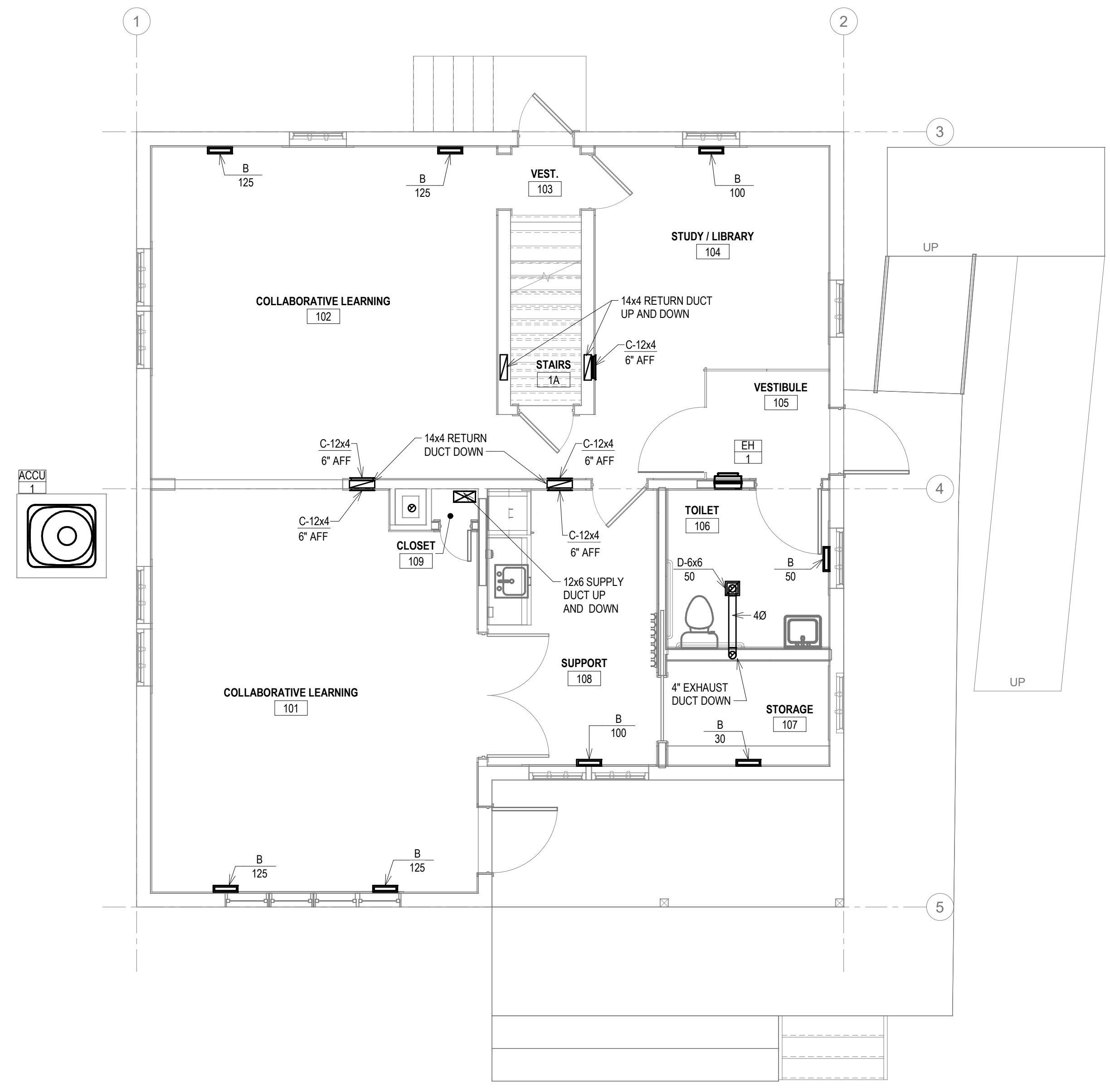
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07/29/2022  
PROJECT# | 210660  
CHECKED BY | ISB  
DRAWN BY | BCP  
REVISIONS

MECHANICAL FLOOR PLANS

**M101**



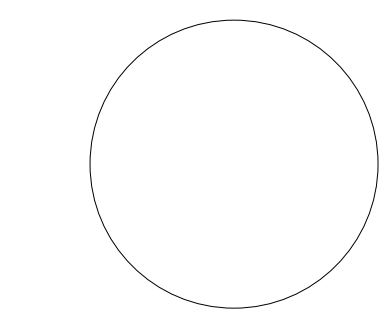
1 MECHANICAL FLOOR PLAN - BASEMENT  
1/4" = 1'-0"



2 MECHANICAL FLOOR PLAN - FIRST FLOOR  
1/4" = 1'-0"

CITY OF WAYZATA  
**SECTION FOREMAN HOUSE REHABILITATION**

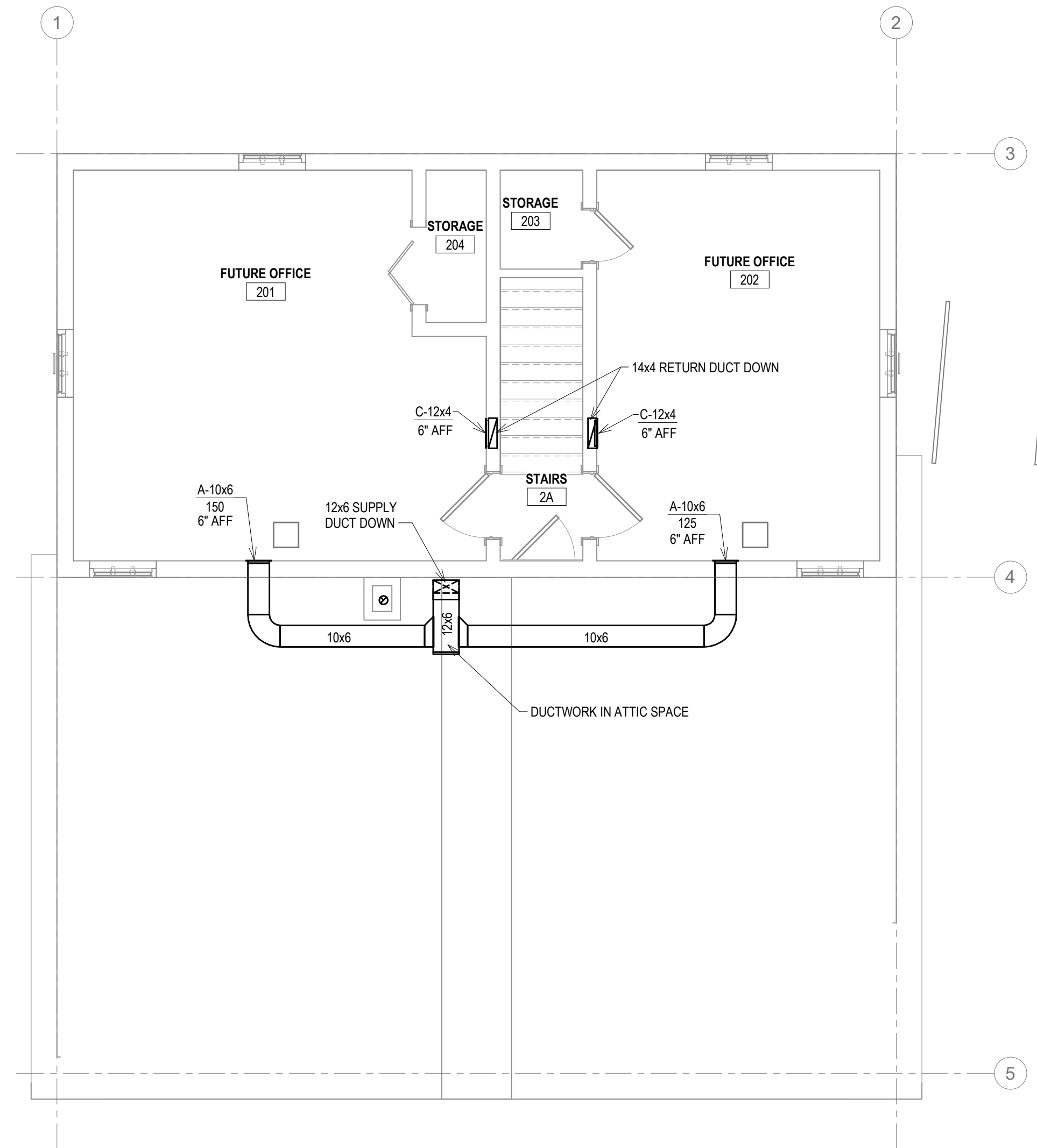
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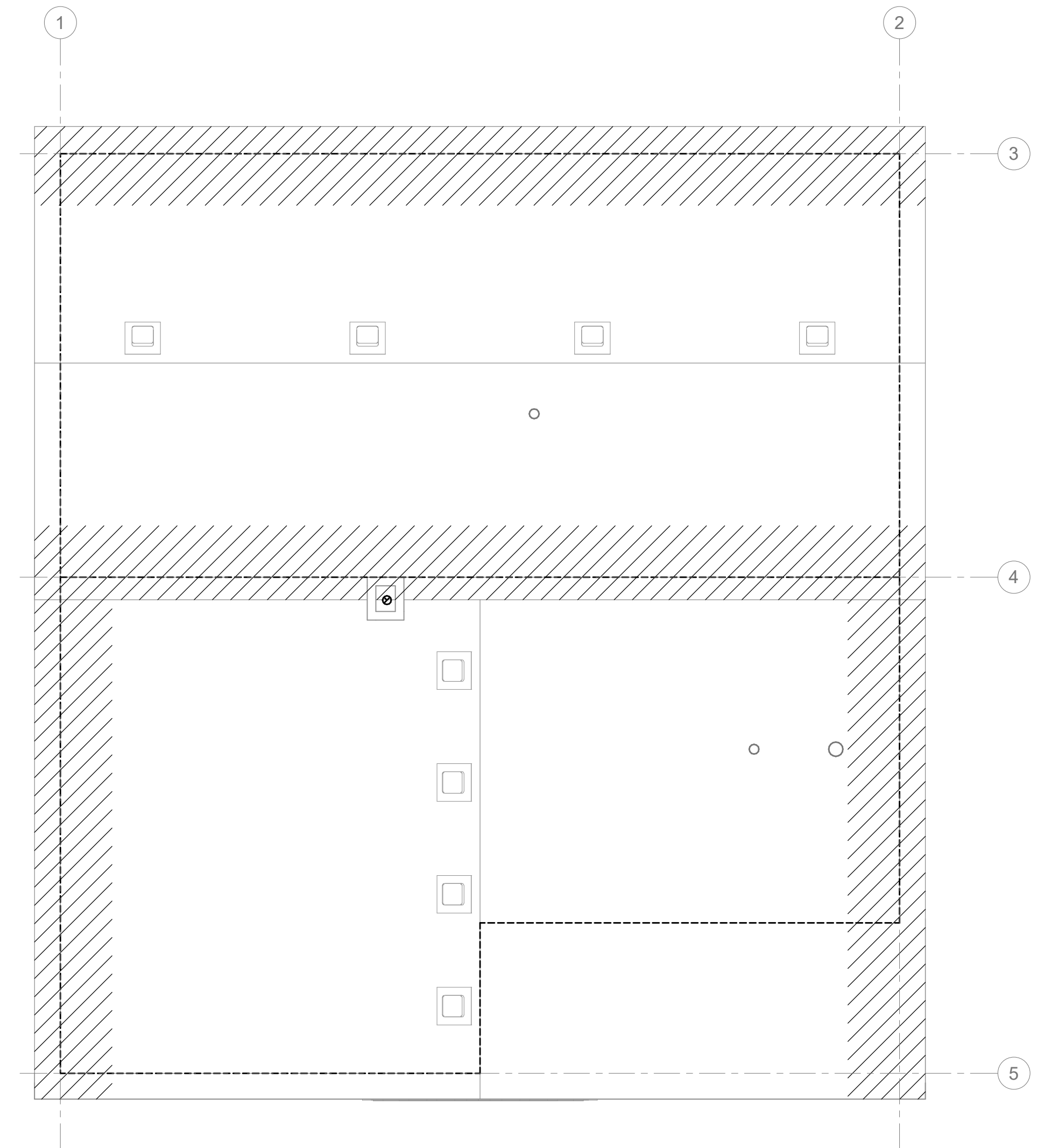
100% DD SUBMISSION  
07/29/2022  
PROJECT# | 210660  
CHECKED BY | ISB  
DRAWN BY | BCP  
REVISIONS

MECHANICAL FLOOR  
PLANS

**M102**



1 MECHANICAL FLOOR PLAN - SECOND FLOOR  
1/4" = 1'-0"



2 MECHANICAL ROOF PLAN  
1/4" = 1'-0"



1 ELECTRICAL SITE PLAN  
1/16" = 1'-0"

ELECTRICAL SITE GENERAL NOTES	
A.	COORDINATE ELECTRICAL SITE WORK WITH CIVIL ENGINEER TO ENSURE CONFLICTS WITH OTHER SITE UTILITIES ARE AVOIDED.
B.	ALL UNDERGROUND CONDUIT PATHWAYS SHALL BE SCHEDULE 80 PVC.
C.	ALL UNDERGROUND BRANCH CIRCUIT CONDUCTORS SHALL BE #8 XHHW, MINIMUM. CONDUCTORS MAY BE PIGTAILED TO A SMALLER SIZE AT TERMINATIONS.
D.	PROVIDE PHOTOSENSOR CONTROLS FOR EXTERIOR LIGHTING TO AUTOMATICALLY SWITCH OFF EXTERIOR LIGHTING DURING DAYLIGHT HOURS. PROVIDE MOTION SENSOR CONTROLS FOR EXTERIOR LIGHTING TO AUTOMATICALLY SWITCH ON EXTERIOR LIGHTING DURING NIGHTTIME HOURS.

KEYNOTES	
ES01	PROVIDE TWO (2) UNDERGROUND HANDHOLES: ONE EACH FOR LOW-VOLTAGE AND CONTROL VOLTAGE CONDUCTORS.
ES02	PROVIDE TWO (2) UNDERGROUND 1-1/2 INCH CONDUIT PATHWAYS: ONE EACH FOR LOW-VOLTAGE AND CONTROL VOLTAGE CONDUCTORS.
ES03	PROVIDE CONDUIT PATHWAY WITHIN POLE FOR CONTROL-VOLTAGE (E.G., CCTV, WIFI ACCESS POINT) DEVICE CABLING.
ES04	PROVIDE MOUNTING ARM AND SECURITY CAMERA AT AREA LIGHT POLE.
ES05	PROVIDE UNDERGROUND HANDHOLE AT PROPERTY LINE AND 1-1/2 INCH UNDERGROUND CONDUIT PATHWAY BETWEEN BASEMENT AND HANDHOLE FOR TELECOM UTILITY SERVICE. COORDINATE HANDHOLE LOCATION WITH TELECOM UTILITY.

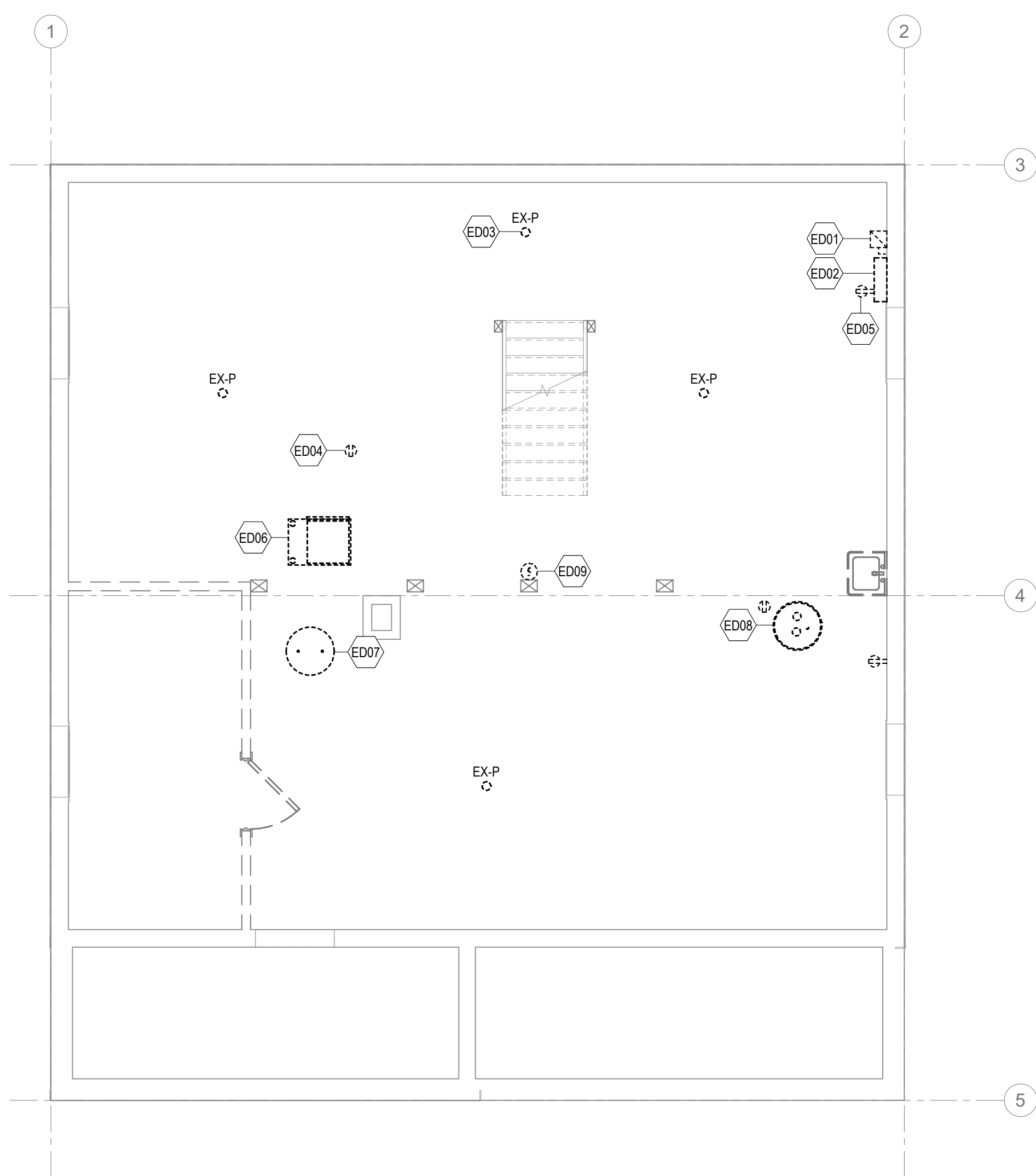
NEW LIGHT FIXTURE SCHEDULE - EXTERIOR				
LABEL	DESCRIPTION	VOLTAGE	MANUFACTURER	MODEL
AL	FLOODLIGHT CLUSTER ON 13-FOOT POLE	120 V	LIGMAN LIGHTING	UOD-21061

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

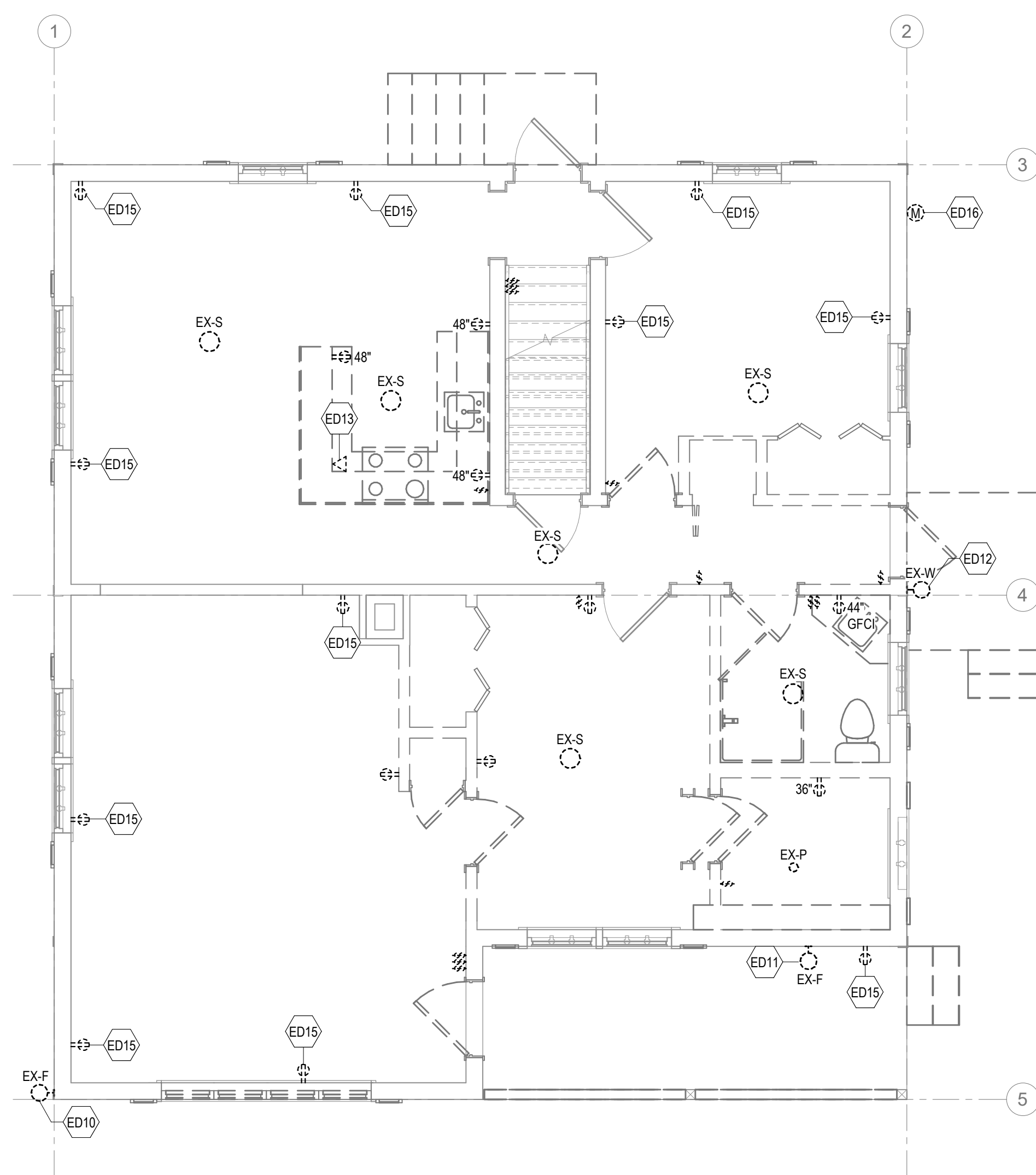
100% DD SUBMISSION  
07/29/2022  
PROJECT# | 210660  
CHECKED BY | [Checker]  
DRAWN BY | Author  
REVISIONS

ELECTRICAL SITE PLAN

**E001**



1 DEMOLITION ELECTRICAL FLOOR PLAN - BASEMENT  
1/4" = 1'-0"



2 DEMOLITION ELECTRICAL FLOOR PLAN - FIRST FLOOR  
1/4" = 1'-0"

**GENERAL ELECTRICAL DEMOLITION NOTES**

- A. ALL WORK SHALL COMPLY WITH REQUIREMENTS OF NATIONAL AND LOCAL CODES, WHICHEVER IS MORE STRINGENT.
- B. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR PHASES OF DEMOLITION AND CONSTRUCTION. COORDINATE WITH GENERAL CONSTRUCTION.
- C. SCOPE OF DEMOLITION WORK IS COMPLETE ELECTRICAL DEMOLITION OF SECTION FOREMAN HOUSE, WITH NOTED EXCEPTIONS.
- D. ELECTRICAL CIRCUITS THAT ARE TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. CONDUCTORS SHALL BE REMOVED FROM THE ITEM TO BE DEMOLISHED TO THE SOURCE OVERCURRENT DEVICE. RACEWAYS WHICH ARE INSTALLED IN OR BELOW FLOORS OR WITHIN WALLS MAY BE ABANDONED, BUT ALL OVERHEAD OR EXPOSED RACEWAYS SHALL BE REMOVED.
- E. REMOVE CABLING BACK TO SOURCE FOR ALL TEL/DATA OUTLETS BEING REMOVED.

**EXISTING LIGHT FIXTURE SCHEDULE**

LABEL	DESCRIPTION
EX-F	SECURITY/FLOOD LIGHT
EX-P	PORCELAIN SOCKET
EX-S	RESIDENTIAL-STYLE SURFACE MOUNTED LIGHT
EX-W	EXTERIOR WALL SCONCE

**KEYNOTES**

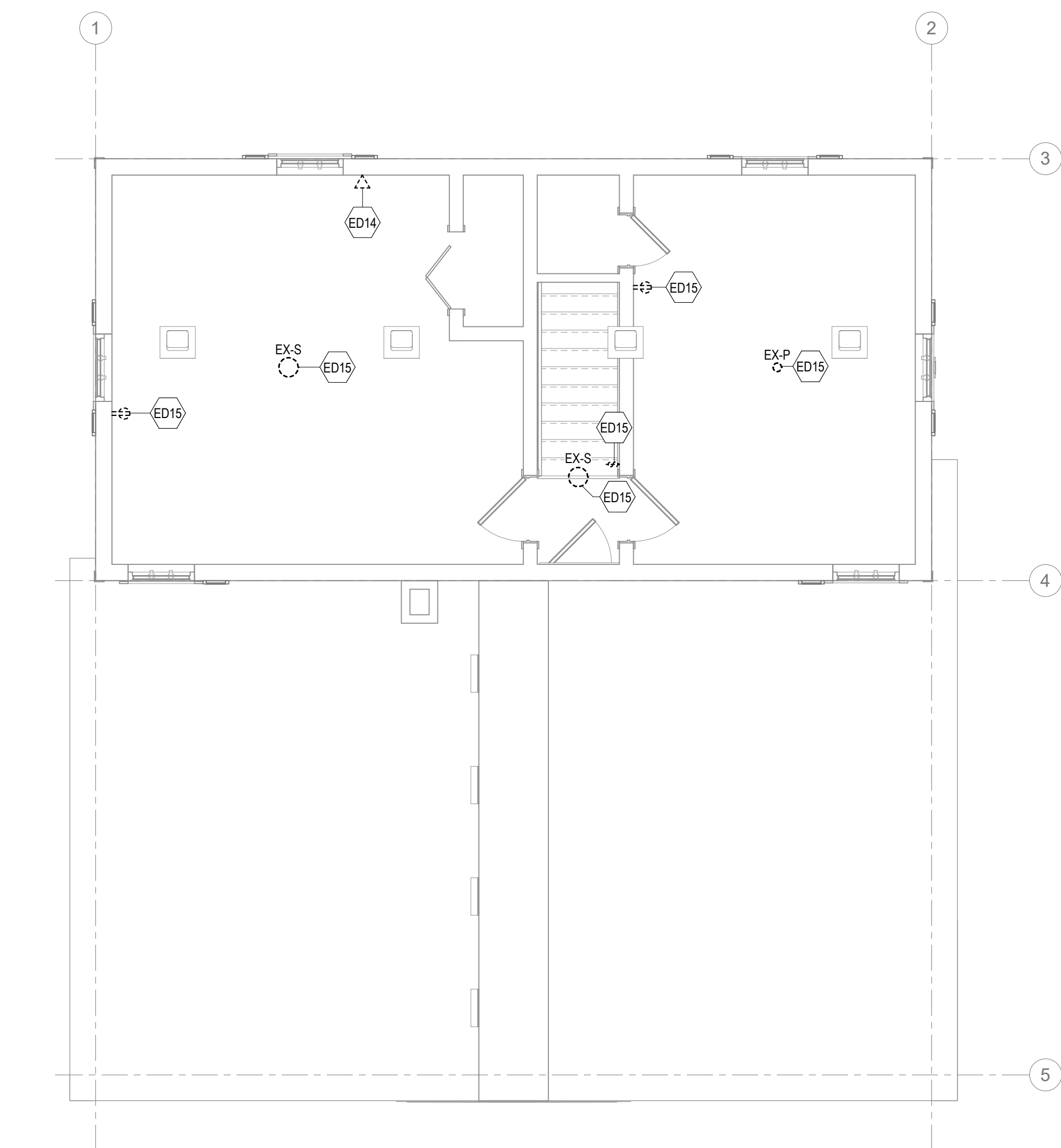
ED01	DISCONNECT AND REMOVE SERVICE ENTRANCE FUDS.
ED02	DISCONNECT AND REMOVE PANELBOARD.
ED03	DISCONNECT AND REMOVE PORCELAIN SOCKET. (TYPICAL)
ED04	DISCONNECT AND REMOVE CEILING-MOUNTED DUPLEX RECEPTACLE. (TYPICAL)
ED05	DISCONNECT AND REMOVE DUPLEX RECEPTACLE. (TYPICAL)
ED06	DISCONNECT FURNACE UNIT FROM ELECTRICAL POWER AND PREPARE EQUIPMENT FOR REMOVAL.
ED07	DISCONNECT WATER HEATER FROM ELECTRICAL POWER AND PREPARE EQUIPMENT FOR REMOVAL.
ED08	DISCONNECT SUMP PUMP FROM ELECTRICAL POWER AND PREPARE EQUIPMENT FOR REMOVAL.
ED09	REMOVE SMOKE DETECTOR.
ED10	DISCONNECT AND REMOVE EAVE-MOUNTED FLOODLIGHT. PATCH AND REPAIR ENVELOPE.
ED11	DISCONNECT AND REMOVE WALL-MOUNTED FLOODLIGHT. PATCH AND REPAIR ENVELOPE.
ED12	DISCONNECT AND REMOVE WALL-MOUNTED SCONCE. PATCH AND REPAIR ENVELOPE.
ED13	DISCONNECT AND REMOVE TELEPHONE OUTLET AT COUNTER. DEMOLISH ASSOCIATED CABLING BACK TO SOURCE. PATCH AND REPAIR ENVELOPE AT CABLE PENETRATION.
ED15	DISCONNECT AND REMOVE DEVICE. PROTECT DEVICE BOX AND PREPARE FOR INSTALLATION OF NEW DEVICE AT SAME LOCATION.
ED16	DISCONNECT AND REMOVE ELECTRICAL UTILITY METER AND SOCKET. COORDINATE WORK WITH ELECTRICAL UTILITY.

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

100% DD SUBMISSION  
07/29/2022  
PROJECT# | 210660  
CHECKED BY | IWSN  
DRAWN BY | JAB  
REVISIONS

DEMOLITION  
ELECTRICAL FLOOR  
PLANS

**DE101**



1 DEMOLITION ELECTRICAL FLOOR PLAN - SECOND FLOOR  
1/4" = 1'-0"

GENERAL ELECTRICAL DEMOLITION NOTES	
A.	ALL WORK SHALL COMPLY WITH REQUIREMENTS OF NATIONAL AND LOCAL CODES, WHICHEVER IS MORE STRINGENT.
B.	SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR PHASES OF DEMOLITION AND CONSTRUCTION. COORDINATE WITH GENERAL CONSTRUCTION.
C.	SCOPE OF DEMOLITION WORK IS COMPLETE ELECTRICAL DEMOLITION OF SECTION FOREMAN HOUSE, WITH NOTED EXCEPTIONS.
D.	ELECTRICAL CIRCUITS THAT ARE TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. CONDUCTORS SHALL BE REMOVED FROM THE ITEM TO BE DEMOLISHED TO THE SOURCE OVERCURRENT DEVICE. RACEWAYS WHICH ARE INSTALLED IN OR BELOW FLOORS OR WITHIN WALLS MAY BE ABANDONED, BUT ALL OVERHEAD OR EXPOSED RACEWAYS SHALL BE REMOVED.
E.	REMOVE CABLING BACK TO SOURCE FOR ALL TEL/DATA OUTLETS BEING REMOVED.

EXISTING LIGHT FIXTURE SCHEDULE	
LABEL	DESCRIPTION
EX-F	SECURITY/FLOOD LIGHT
EX-P	PORCELAIN SOCKET
EX-S	RESIDENTIAL-STYLE SURFACE MOUNTED LIGHT
EX-W	EXTERIOR WALL SCONCE

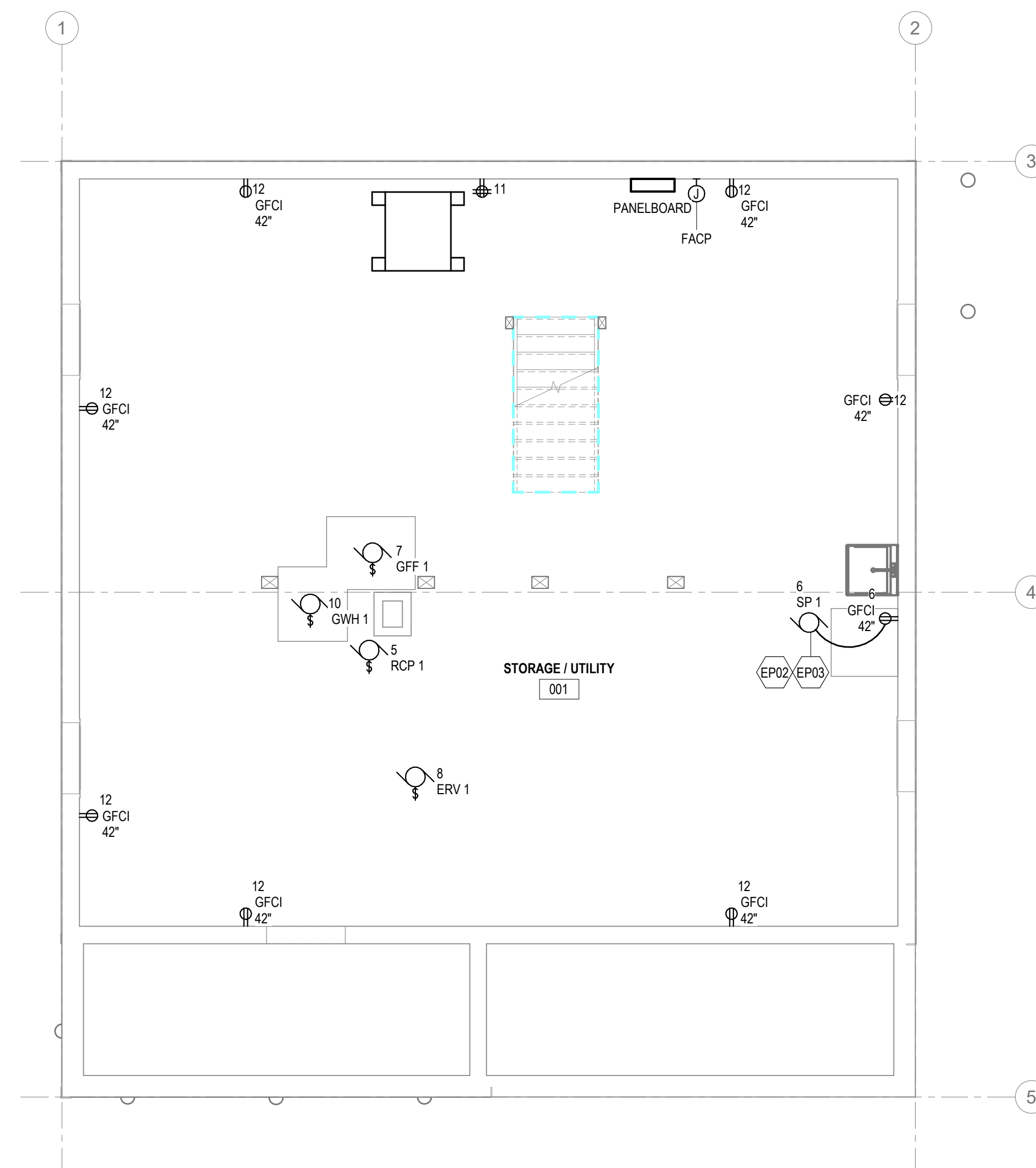
KEYNOTES	
ED14	DISCONNECT AND REMOVE COAXIAL OUTLET. DEMOLISH ASSOCIATED CABLING BACK TO SOURCE. PATCH AND REPAIR ENVELOPE AT CABLE PENETRATION.
ED15	DISCONNECT AND REMOVE DEVICE. PROTECT DEVICE BOX AND PREPARE FOR INSTALLATION OF NEW DEVICE AT SAME LOCATION.

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

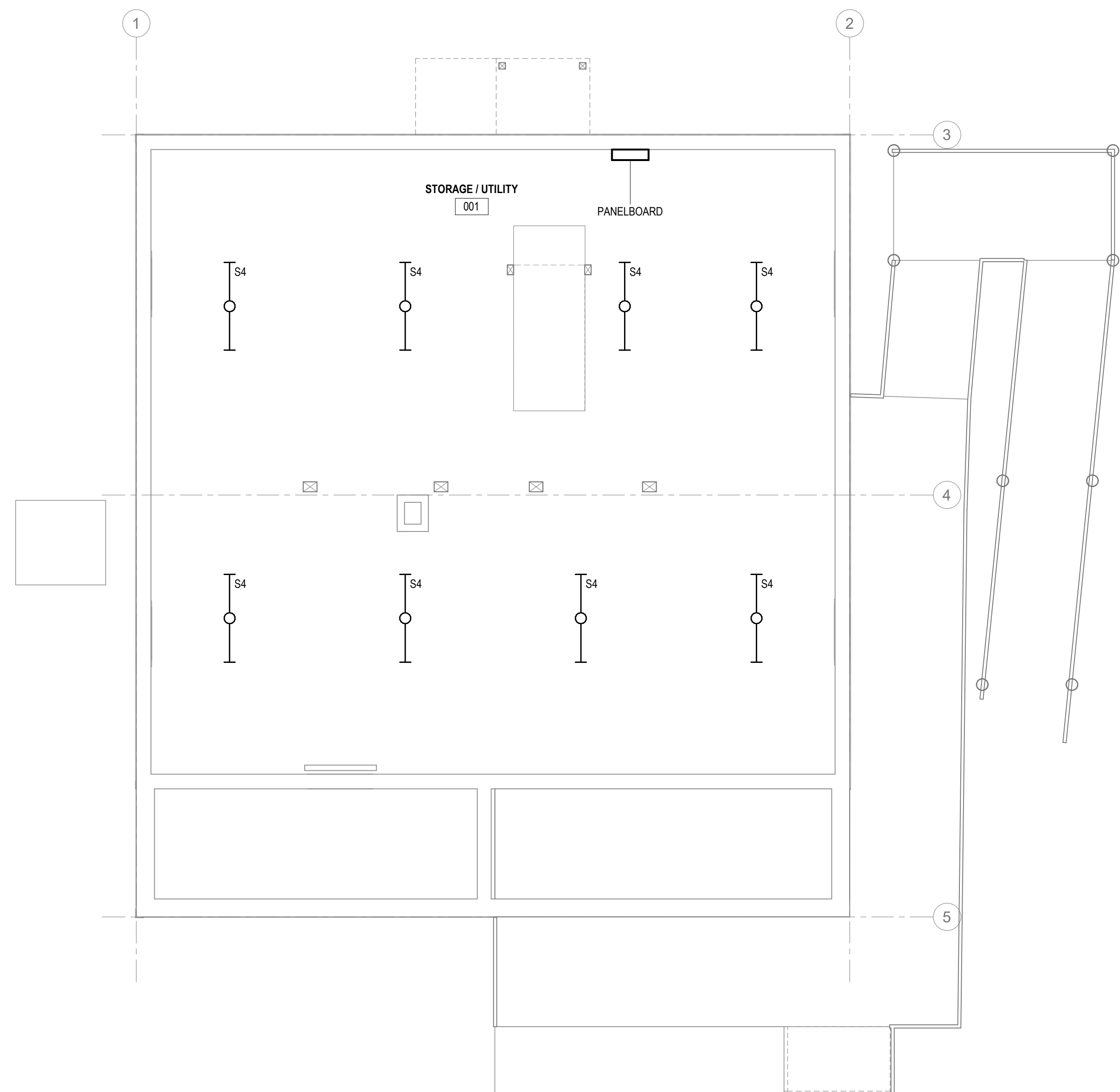
100% DD SUBMISSION  
07/29/2022  
PROJECT# | 210660  
CHECKED BY | IWSN  
DRAWN BY | JAB  
REVISIONS

DEMOLITION  
ELECTRICAL FLOOR  
PLANS

**DE102**



1 POWER AND SYSTEMS FLOOR PLAN - BASEMENT  
1/4" = 1'-0"



2 LIGHTING CEILING PLAN - BASEMENT  
1/4" = 1'-0"

**ELECTRICAL POWER GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW, 200 A, 120/240 V ELECTRICAL SERVICE TO THE BUILDING AND TO PROVIDE A COMPLETELY NEW ELECTRICAL POWER DISTRIBUTION SYSTEM.

**ELECTRICAL SYSTEMS GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW TELECOM UTILITY SERVICE, WIRED DATA NETWORK, WIRELESS DATA NETWORK, VIDEO SURVEILLANCE/INTRUSION DETECTION SYSTEM, AND ACCESS CONTROL SYSTEM TO SERVE THE BUILDING.

B. PROVIDE MARCH NETWORKS VIDEO SURVEILLANCE SYSTEM TO MONITOR INTERIOR, EXTERIOR, AND ENTRIES OF THE BUILDING. HEAD END SHALL BE LOCATED IN THE EQUIPMENT RACK IN THE BASEMENT. SYSTEM SHALL INFORM INTRUSION DETECTION RESPONSE AND NOTIFY CENTRAL STATION DISPATCHING COMPANY UPON DETECTION OF UNAUTHORIZED ENTRY. PROVIDE STROBE/HORN ACTIVATED AS A DETERRENT UPON DETECTION OF UNAUTHORIZED ENTRY.

**ELECTRICAL LIGHTING GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW LIGHTING AND LIGHTING CONTROLS SYSTEM THROUGHOUT THE BUILDING INTERIOR AND EXTERIOR.

B. REFER TO ARCHITECTURAL FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF FIXTURES AND EQUIPMENT.

C. SET TIME DELAY OF ALL OCCUPANCY/VACANCY SENSING DEVICES TO TWENTY (20) MINUTES, UNLESS NOTED OTHERWISE.

**KEYNOTES**

EP02 PROVIDE CORD AND PLUG CONNECTION FROM SUMP PUMP TO RECEPTACLE.

EP03 PROVIDE ELERICAL HEAT TRACE TO PROTECT SUMP LINE TO LAKE.

**NEW LIGHT FIXTURE SCHEDULE - INTERIOR**

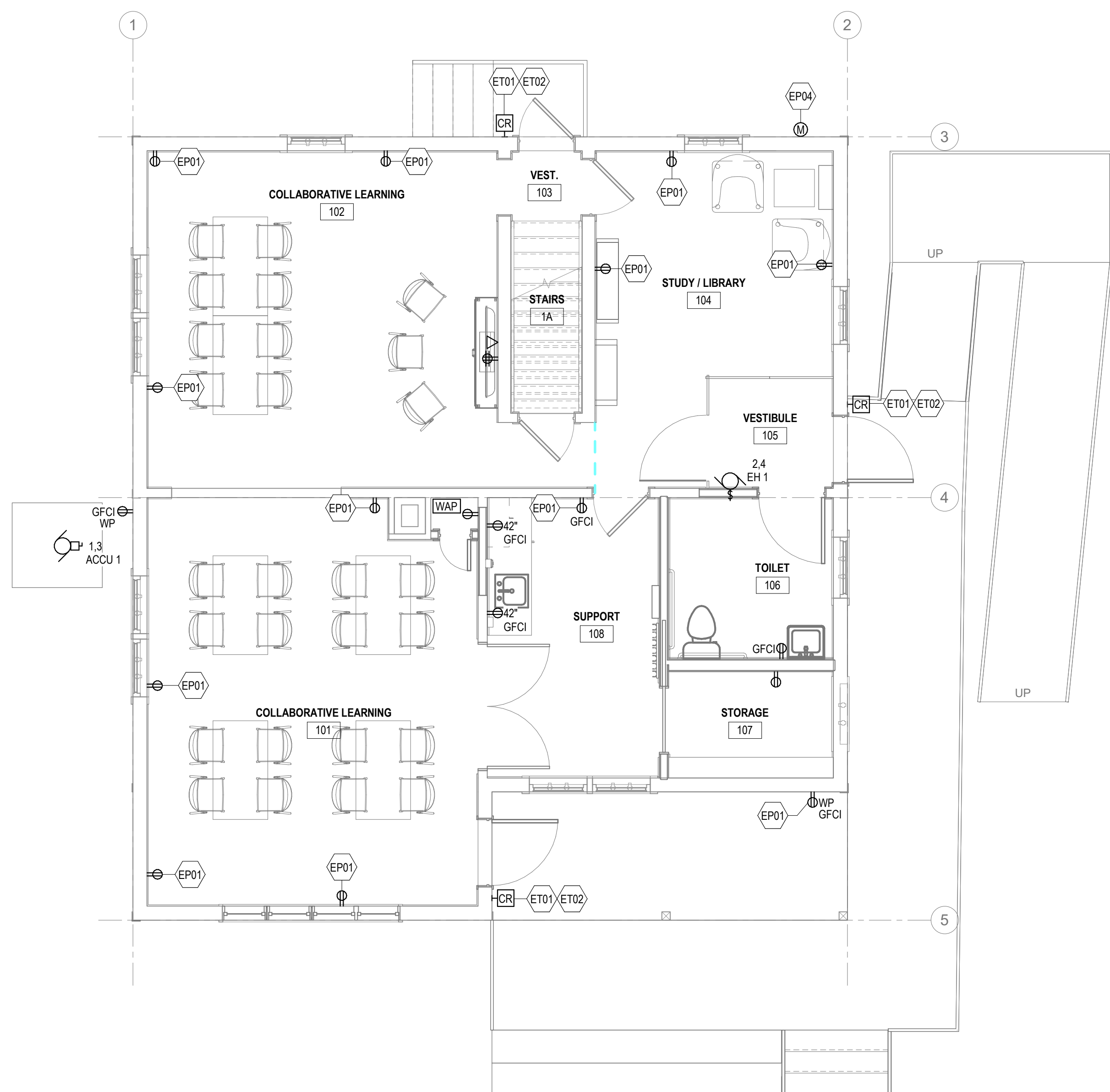
LABEL	DESCRIPTION	VOLTAGE	MANUFACTURER	MODEL
CH	LED TAPE LIGHT IN LENSED ALUMINUM CHANNEL	120 V	LEDLINEAR	XOOLUM IP67
D2	2-INCH RECESSED LED DOWNLIGHT	120 V	GOTHAM	EVO2
S2	LED VANITY LIGHT	120 V	LITHONIA	CLX
S4	4-FOOT LENSED LED STRIP	120 V	LITHONIA	CSS
SL	SURFACE MOUNTED LED SLOT	120 V	MARK	SLOT1
SP	SURFACE MOUNTED LED PUCK	120 V	JUNO	JSF SERIES
WV	LED VANITY LIGHT	120 V	LITHONIA	FMVCL

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

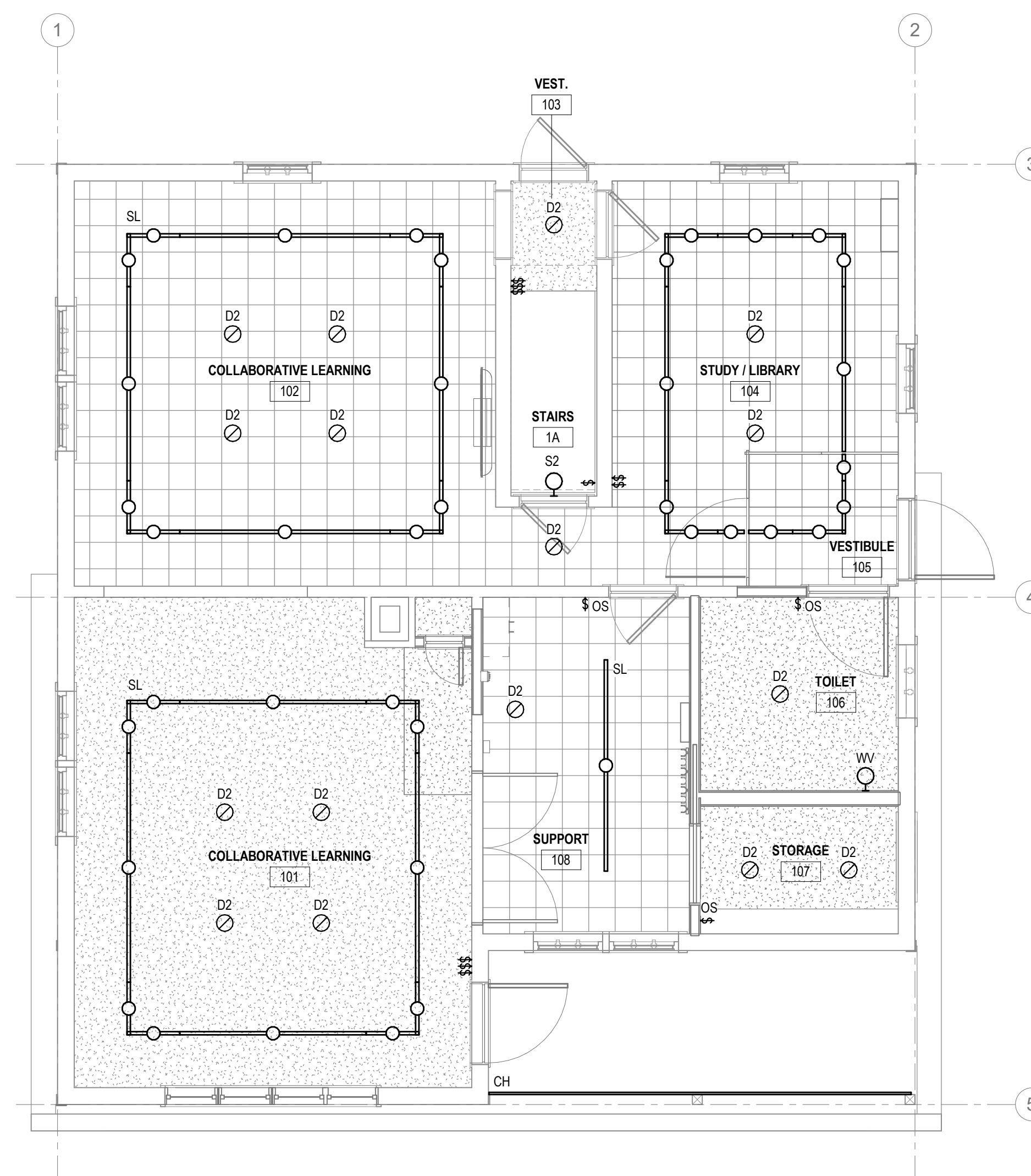
100% DD SUBMISSION  
07/29/2022  
PROJECT# 1210660  
CHECKED BY IWSN  
DRAWN BY JAB  
REVISIONS

ELECTRICAL PLANS -  
BASEMENT

**E100**



**1** POWER AND SYSTEMS FLOOR PLAN - FIRST FLOOR  
1/4" = 1'-0"



**2** LIGHTING CEILING PLAN - FIRST FLOOR  
1/4" = 1'-0"

**ELECTRICAL POWER GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW, 200 A, 120/240 V ELECTRICAL SERVICE TO THE BUILDING AND TO PROVIDE A COMPLETELY NEW ELECTRICAL POWER DISTRIBUTION SYSTEM.

**ELECTRICAL SYSTEMS GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW TELECOM UTILITY SERVICE, WIRED DATA NETWORK, WIRELESS DATA NETWORK, VIDEO SURVEILLANCE/INTRUSION DETECTION SYSTEM, AND ACCESS CONTROL SYSTEM TO SERVE THE BUILDING.

B. PROVIDE MARCH NETWORKS VIDEO SURVEILLANCE SYSTEM TO MONITOR INTERIOR, EXTERIOR, AND ENTRIES OF THE BUILDING. HEAD END SHALL BE LOCATED IN THE EQUIPMENT RACK IN THE BASEMENT. SYSTEM SHALL INFORM INTRUSION DETECTION RESPONSE AND NOTIFY CENTRAL STATION DISPATCHING COMPANY UPON DETECTION OF UNAUTHORIZED ENTRY. PROVIDE STROBE/HORN ACTIVATED AS A DETERRENT UPON DETECTION OF UNAUTHORIZED ENTRY.

**ELECTRICAL LIGHTING GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW LIGHTING AND LIGHTING CONTROLS SYSTEM THROUGHOUT THE BUILDING INTERIOR AND EXTERIOR.

B. REFER TO ARCHITECTURAL FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF FIXTURES AND EQUIPMENT.

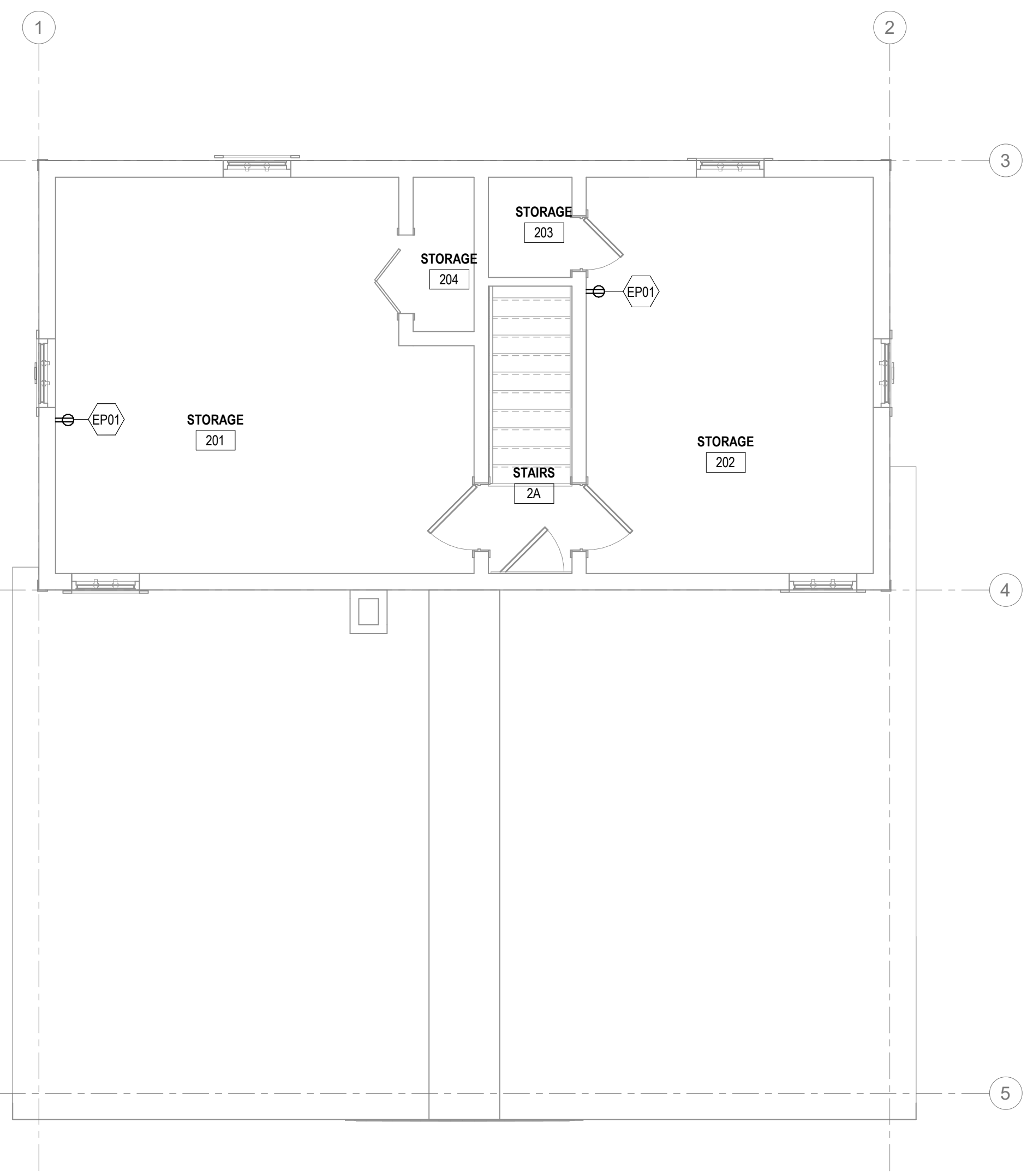
C. SET TIME DELAY OF ALL OCCUPANCY/VACANCY SENSING DEVICES TO TWENTY (20) MINUTES, UNLESS NOTED OTHERWISE.

**KEYNOTES**

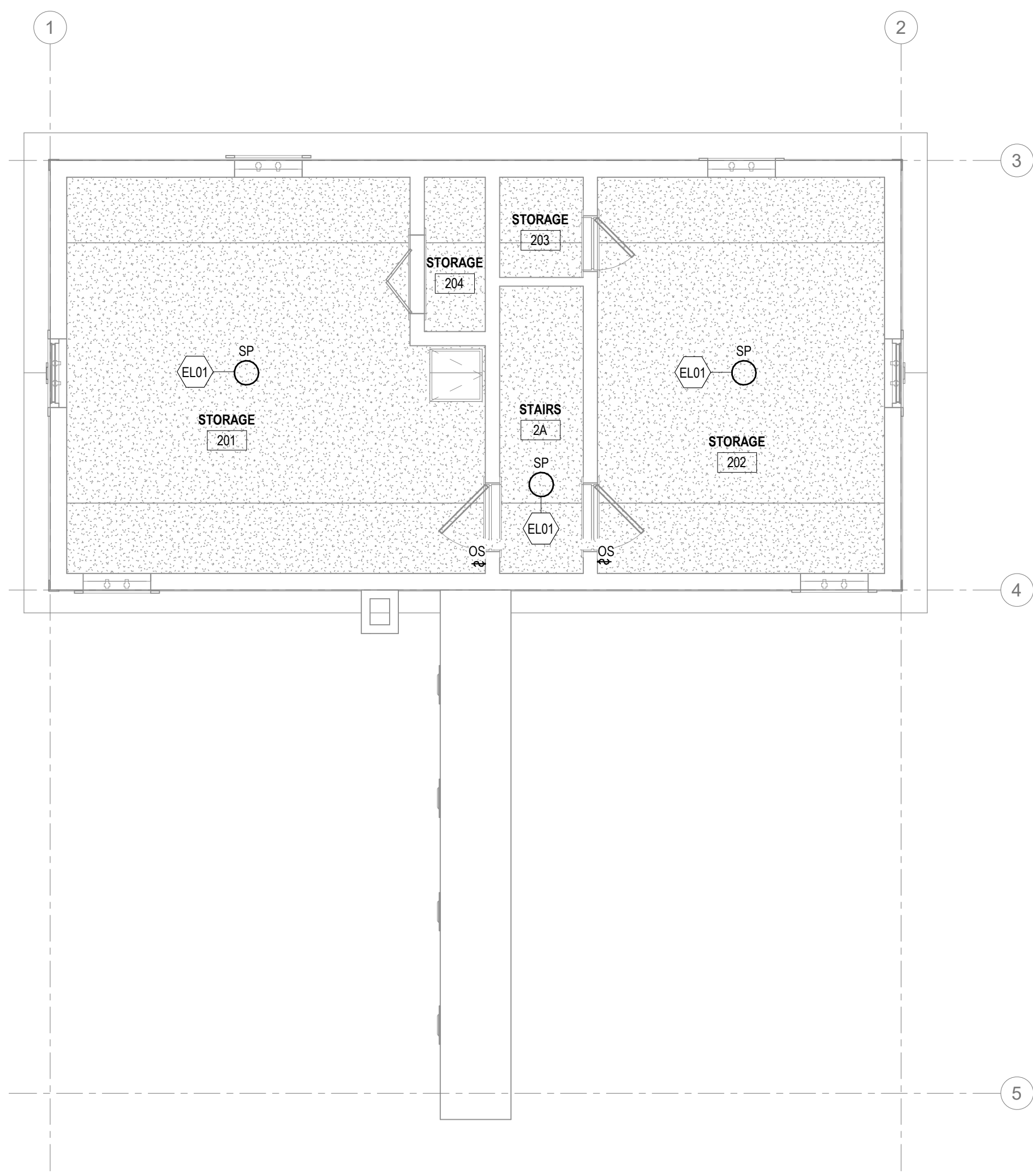
EP01 INSTALL NEW DEVICE IN EXISTING DEVICE BOX.  
EP04 PROVIDE NEW ELECTRICAL UTILITY METER SOCKET ON NORTH WALL OF BUILDING. COORDINATE LOCATION WITH ARCHITECT AND ELECTRICAL UTILITY.  
ET01 PROVIDE PROXIMITY CARD READER AND ASSOCIATED DOOR HARDWARE.  
ET02 PROVIDE WALL MOUNTED SECURITY CAMERA, MOUNTED AT 60" AFF. AT ENTRY.

**NEW LIGHT FIXTURE SCHEDULE - INTERIOR**

LABEL	DESCRIPTION	VOLTAGE	MANUFACTURER	MODEL
CH	LED TAPE LIGHT IN LENSED ALUMINUM CHANNEL	120 V	LEDLINEAR	XOOLUM IP67
D2	2-INCH RECESSED LED DOWNLIGHT	120 V	GOTHAM	EVO2
S2	LED VANITY LIGHT	120 V	LITHONIA	CLX
S4	4-FOOT LENSED LED STRIP	120 V	LITHONIA	CSS
SL	SURFACE MOUNTED LED SLOT	120 V	MARK	SLOT1
SP	SURFACE MOUNTED LED PUCK	120 V	JUNO	JSF SERIES
WW	LED VANITY LIGHT	120 V	LITHONIA	FMVCL



1 POWER AND SYSTEMS FLOOR PLAN - SECOND FLOOR  
1/4" = 1'-0"



2 LIGHTING CEILING PLAN - SECOND FLOOR  
1/4" = 1'-0"

**ELECTRICAL POWER GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW, 200 A, 120/240 V ELECTRICAL SERVICE TO THE BUILDING AND TO PROVIDE A COMPLETELY NEW ELECTRICAL POWER DISTRIBUTION SYSTEM.

**ELECTRICAL SYSTEMS GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW TELECOM UTILITY SERVICE, WIRED DATA NETWORK, WIRELESS DATA NETWORK, VIDEO SURVEILLANCE/INTRUSION DETECTION SYSTEM, AND ACCESS CONTROL SYSTEM TO SERVE THE BUILDING.  
B. PROVIDE MARCH NETWORKS VIDEO SURVEILLANCE SYSTEM TO MONITOR INTERIOR, EXTERIOR, AND ENTRIES OF THE BUILDING. HEAD END SHALL BE LOCATED IN THE EQUIPMENT RACK IN THE BASEMENT. SYSTEM SHALL INFORM INTRUSION DETECTION RESPONSE AND NOTIFY CENTRAL STATION DISPATCHING COMPANY UPON DETECTION OF UNAUTHORIZED ENTRY. PROVIDE STROBE/HORN ACTIVATED AS A DETERRENT UPON DETECTION OF UNAUTHORIZED ENTRY.

**ELECTRICAL LIGHTING GENERAL NOTES**

A. SCOPE OF WORK IS TO PROVIDE A NEW LIGHTING AND LIGHTING CONTROLS SYSTEM THROUGHOUT THE BUILDING INTERIOR AND EXTERIOR.  
B. REFER TO ARCHITECTURAL FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF FIXTURES AND EQUIPMENT.  
C. SET TIME DELAY OF ALL OCCUPANCY/VACANCY SENSING DEVICES TO TWENTY (20) MINUTES, UNLESS NOTED OTHERWISE.

**KEYNOTES**

EL01 INSTALL NEW LIGHT FIXTURE IN EXISTING DEVICE BOX.  
EP01 INSTALL NEW DEVICE IN EXISTING DEVICE BOX.

**NEW LIGHT FIXTURE SCHEDULE - INTERIOR**

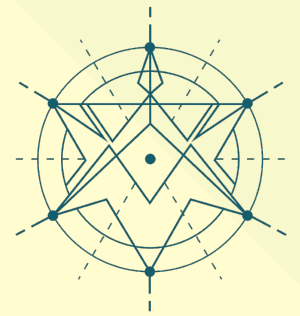
LABEL	DESCRIPTION	VOLTAGE	MANUFACTURER	MODEL
CH	LED TAPE LIGHT IN LENSED ALUMINUM CHANNEL	120 V	LEDLINEAR	XOOLUM IP67
D2	2-INCH RECESSED LED DOWNLIGHT	120 V	GOTHAM	EVO2
S2	LED VANITY LIGHT	120 V	LITHONIA	CLX
S4	4-FOOT LENSED LED STRIP	120 V	LITHONIA	CSS
SL	SURFACE MOUNTED LED SLOT	120 V	MARK	SLOT1
SP	SURFACE MOUNTED LED PUCK	120 V	JUNO	J5F SERIES
WV	LED VANITY LIGHT	120 V	LITHONIA	FMVCL

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

100% DD SUBMISSION  
07/29/2022  
PROJECT# | 210660  
CHECKED BY | IWSN  
DRAWN BY | JAB  
REVISIONS

ELECTRICAL PLANS -  
SECOND FLOOR

**E102**



ONYX  
STRATEGIC PARTNERS

August 16, 2022

# Panoway - Design + Construction Update

# Onyx Strategic Partners



- Consulting, Development and Construction Management Firm
- Engaged with the City of Wayzata and its partners to provide ongoing project management services and support in the oversight of:
  - Design,
  - Pre-construction planning,
  - Contractor selection and management.
- Project team:
  - Jessie Houlihan, CEO
  - Kyle Manske, PM

# Risk Management Approach

As it relates to the upcoming Panoway phases, we have identified and are working to best manage the following risks:

- **Section Foreman's House:**
  - Historically significant design - close attention to materials
  - Construction cost / fee relative to the volume
  
- **Boardwalk + Docks:**
  - Steel and Pre-cast - Price and long lead times to get materials
  - Access + Logistics - We will be utilizing a barge, loading large and heavy materials, transporting them and placing them carefully during installation





# Market Engagement Process



- We **focus first on the areas of greatest risk**, ensuring we're driving the areas of greatest value for the projects
- Due to the aggressive construction market, we have been **engaged directly with general contractors, subcontractors and material suppliers** to directly monitor cost, labor and availability
- Ongoing data is provided to the City and related design teams so the project can proceed with vital information incorporated

# Timeline + Next Steps



- **End of Summer 2022**- All cost estimating + constructability review complete at DD level
- **Fall 2022:**
  - Determine contractor selection and contract approach for both projects while design is being finalized
  - Create RFP or work scope documentation for taking the projects to market
- **Winter 2022-23:** Take both projects to market, select the appropriate execution partners
- **Spring 2023:**
  - Integrate construction execution partners with the City and design team
  - Late Spring: Boardwalk + Docks project starts
- **Summer 2023:** Section Foreman House project starts (pending funding)
- **Fall 2023:** Amenities Open!